

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

City Council Meeting Final Agenda - Final-revised

Wednesday, November 3, 2021

Closed Session Council Board Room 4:30 PM

Open Session Council Chambers 6:30 PM



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor
Wes Speake, Vice Mayor
Tony Daddario, Council Member
Tom Richins, Council Member
Jim Steiner, Council Member**

**Revised agenda on November 1, 2021 at 3:00 p.m.

Item 6 was added to the agenda.**

CONVENE CLOSED SESSION

CITY COUNCIL

1. **CLOSED SESSION - [CONFERENCE WITH LEGAL COUNSEL - EXISTING LITIGATION](#)**
[Pursuant to Government Code Section 54956.9\(d\)\(1\)](#)
[Name of Case: Douglas Doty v. City of Corona](#)
[WCAB Case Number: unassigned](#)
2. **CLOSED SESSION - [CONFERENCE WITH LEGAL COUNSEL - EXISTING LITIGATION](#)**
[Pursuant to Government Code Section 54956.9\(d\)\(1\)](#)
[Name of Case: Steve Nolan v. City of Corona, et al.](#)
[Case Number: Riverside County Superior Court Case No. RIC1904098](#)
3. **CLOSED SESSION - [CONFERENCE WITH LABOR NEGOTIATORS](#)**
[Pursuant to Government Code Section 54957.6](#)
[Agency Designated Representative: Jacob Ellis, City Manager](#)
[Employee Organizations: Corona General Employees Association, Corona Fire Association, Corona Police Employees Association, Corona Police Supervisors Association and Corona Supervisors Association](#)
4. **CLOSED SESSION - [CONFERENCE WITH LABOR NEGOTIATORS](#)**
[Pursuant to Government Code Section 54957.6](#)
[Agency Designated Representative: Jacob Ellis, City Manager](#)
[Unrepresented Employee Group: Management/Confidential Group Employees](#)
5. **CLOSED SESSION - [CONFERENCE WITH LABOR NEGOTIATORS](#)**
[Pursuant to Government Code Section 54957.6](#)
[Agency Designated Representative: Jacob Ellis, City Manager](#)
[Unrepresented Employee Group: Executive Group Employees](#)

INVOCATION - Pastor Shannon Scott, Grace Baptist Church

The invocation may be offered by a person of any religion, faith, belief or non-belief, as well as Council Members. A list of volunteers is maintained by the City Clerk and interested persons should contact the Clerk for further information.

PLEDGE OF ALLEGIANCE

CONVENE OPEN SESSION

Individuals wishing to address the City Council are requested to complete a speaker card available at the rear of the Council Chambers. Please deliver the card to the City Clerk prior to the item being heard by the City Council or, for items not listed on the agenda, before the "Communications" section of the agenda is called. Please observe a

three-minute limit for communications and please note that the Communications section of the agenda is limited to items within the subject matter jurisdiction of the City Council that are not listed on the agenda. Once called upon to speak, you are requested to state your name and city of residence for the record.

PROCLAMATIONS/RECOGNITIONS/PRESENTATIONS

6. [Proclamation: National Diabetes Awareness Month.](#)
7. [Presentation: Veteran Suicide Prevention](#)
8. [Presentation: Covid-19 Update](#)

MEETING MINUTES

9. **MINUTES** - [Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority Committee of the Whole Meeting of October 13, 2021.](#)
10. **MINUTES** - [Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority City Council Meeting of October 20, 2021.](#)

CONSENT CALENDAR

All items listed on the Consent Calendar are considered to be routine matters, status reports or documents covering previous City Council action. The items listed on the Consent Calendar may be enacted in one motion. With the concurrence of the City Council, a Council Member or any person in attendance may request that an item be removed for further consideration.

11. **LEGISLATIVE MATTER - SECOND READING** - [City Council adoption of Ordinance No. 3337, second reading of an Ordinance of the City of Corona, California, Amending Chapter 12.24 of the Corona Municipal Code Relating to Rules and Regulations for Parks and Recreation Areas to Authorize Implementation and Enforcement by City Manager.](#)
12. **AGREEMENT** - [Cooperative Agreement between the County of Riverside University Health System - Behavioral Health and the Corona Police Department.](#)

That the City Council:

- a. Approve the Cooperative Agreement between Riverside University Health System - Behavioral Health and the Corona Police Department for a three-year term ending June 30, 2024.

- b. Authorize the City Manager, or his designee, to execute the Cooperative Agreement between the Riverside University Health System - Behavioral Health and the Corona Police Department.
- c. Authorize the City Manager, or his designee, to negotiate and execute any extensions, addendums, and/or amendments to this Cooperative Agreement which are either non-substantive or otherwise in compliance with the City Council's actions hereunder.

13. BID & PURCHASE - [Master Services Agreement with Paymentus Corporation for electronic processing of utility payments.](#)

That the:

- a. City Council approve and authorize the City Manager, or his designee, to reinstate and execute the Master Services Agreement from 2016 with Paymentus Corporation of Charlotte, NC (Paymentus).
- b. City Council approve an extension of the Master Services Agreement from 2016 through June 30, 2023.
- c. City Council authorize the Purchasing Manager to issue purchase orders for Electronic Processing of Utility Payments to Paymentus Corporation of Charlotte, NC for \$500,000 per fiscal year for Fiscal Years 2022 and 2023.
- d. City Council authorizes the General Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders, and amendments up to \$50,000 or 10% of the original contract amount as authorized in the Corona Municipal Code [Section 3.08.060\(J\)](#).
- e. City Council make a determination under Corona Municipal Code [Section 3.08.140\(E\)](#) that competitive bidding is not required for this purchase based upon the reasons provided in the "Basis for Exception to Competitive Bidding" section of this report.
- f. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

14. BID & PURCHASE - [Award a Professional Services Agreement with JMDiaz, Inc. DBA JMD, and approve a Preliminary Engineering Services Agreement with BNSF Railway Company for the Quiet Zone Feasibility Study.](#)

That the City Council:

- a. Award Request for Proposals No. 22-022AS for the Quiet Zone Feasibility Study

to J.M. Diaz, Inc., for the total amount of \$80,000.

- b. Approve a Preliminary Engineering Services Agreement with BNSF Railway Company in the amount of \$53,000 for the reimbursement of reviews and work performed by BNSF.
- c. Authorize the City Manager, or his designee, to execute the Professional Services Agreement with JMDiaz, Inc. DBA JMD in the amount of \$80,000 and approve necessary change orders and amendments up to \$8,000, approximately 10% of the contract amount. The total contract amount with change orders is not to exceed \$88,000.
- d. Authorize the City Manager, or his designee, to execute the Preliminary Engineering Services Agreement with BNSF Railway Company in the amount of \$53,000.
- e. Authorize the Purchasing Manager to issue a Purchase Order to JMDiaz, Inc. DBA JMD in the amount of \$80,000 and a Purchase Order to BNSF Railway Company in the amount of \$53,000
- f. Authorize the creation of a new Capital Improvement Project titled "Quiet Zone Feasibility Study."
- g. Authorize an appropriation from the Gas Tax Fund (222) to the new Capital Improvement Project titled "Quiet Zone Feasibility Study" in the amount of \$141,000.

15. BID & PURCHASE - [Professional Services Agreement with MeterSYS for analysis, planning, and full procurement support for the Advanced Metering Infrastructure Meter Replacement Project.](#)

That the:

- a. City Council approve and authorize the City Manager, or his designee, to execute the Professional Services Agreement with MeterSYS for \$76,930.
- b. City Council authorize the General Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders, and amendments up to \$7,693 or 10% of the total contract cost as authorized by Corona Municipal [Code Section 3.08.070\(I\)](#).
- c. City Council authorize the Purchasing Manager to issue a purchase order to MeterSYS for \$76,930 for Fiscal Year 2022.
- d. City Council make a determination under Corona Municipal Code [Section](#)

[3.08.140\(E\)](#) that competitive bidding is not required for the award of an agreement to MeterSYS based upon the reasons provided in the "Basis for Exception to Competitive Bidding" section of this report.

- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council take the above actions.

16. BUDGETARY - [Fiscal Year 2022 Quarter 1 Budgetary Adjustments.](#)

That the:

- a. City Council approve the following General Fund budgetary adjustments:
 - 1. Transfer \$14,000, within the Community Services Department, from the salaries/benefits budget to the services/supplies budget for training.
 - 2. Appropriate \$33,000 and increase revenue estimates by the same amount for an additional location of the Kids Club After-school Program, located at Benjamin Franklin Elementary School.
 - 3. Reduce the Emergency 911 Phone System capital improvement project (CIP #70100) and decrease revenue estimates by \$45,483 for maintenance of the Dispatch Vesta 911 phone system.
- b. City Council appropriate \$32,000, in the Asset Forfeiture Fund 250, to the Police Department operating budget to purchase handheld radio batteries.
- c. City Council appropriate \$40,815, in the Residential Refuse/Recycling Fund 260, to the Utilities Department operating budget for solid waste compliance audits and approve a change order to MSW Consultant's purchase order for the same amount, for a total Purchase Order of \$127,315. Approve a potential cash transfer of \$40,815 from the General Fund to the Residential Refuse/Recycling Fund 260, with final amount to be determined based on year-end actuals.
- d. City Council appropriate \$120,000, in the Dwelling Development Tax Fund 289, to the Harrison Shelter Phase 2 project (CIP #75025).
- e. City Council appropriate \$2,000, in the Low Mod Income Housing Fund 291, to the Community Services operating budget for computer equipment.
- f. City Council appropriate \$65,964 and increase revenue estimates by the same amount (\$36,450 Family Literacy Services and \$29,514 Adult Family Literacy), in the Adult and Family Literacy Grant Fund 442, to the Community Services operating budget for the FY 2022 literacy services grant award.
- g. City Council appropriate \$15,000, in the LMD 84-2 Zone 10 Fund 460, to the Community Services operating budget for weed abatement costs.

- h. City Council appropriate \$100,000, in the Reclaimed Water System Fund 567, to the Booster Station Rehabilitation project (CIP #7034). Authorize a potential loan of \$19,109 from the Water Reclamation Utility Fund 572 to the Reclaimed Water Utility Fund 567, with the final amount to be determined based on year-end actuals.
- i. City Council approve an inter-fund and repayment agreement between the Water Reclamation Utility Fund 572 and the Reclaimed Water Utility Fund 567.
- j. Corona Utility Authority (CUA) and Corona Housing Authority (CHA) review, ratify, and to the extent necessary, direct that the City Council take the above actions.

17. BUDGETARY - [Appropriation of American Rescue Plan Act Funds.](#)

That the City Council:

- a. Approve an estimated revenue increase of \$29,158,725 in the American Rescue Plan Act (ARPA) Fund 413.
- b. Approve appropriations totaling \$29,077,125 in the American Rescue Plan Act (ARPA) Fund 413 to the following items that will be set up as capital improvement projects (CIP) to provide precise tracking of ARPA funds:
 - 1. \$10,000,000 to a new CIP titled Fire Station Rebuild.
 - 2. \$8,000,000 to a new CIP titled 6th Street Beautification and Revitalization Project.
 - 3. \$6,000,000 to a new CIP titled Traffic Signal Optimization.
 - 4. \$1,500,000 to the Corona Innovation Center CIP (CIP #7170).
 - 5. \$1,018,825 to a new CIP titled PPE/Vaccine Programs.
 - 6. \$1,000,000 to a new CIP titled Business Grants.
 - 7. \$500,000 to a new CIP titled Nonprofit Grant Program.
 - 8. \$370,000 to a new CIP titled Armored Rescue Vehicle.
 - 9. \$200,000 to a new CIP titled Communications Studio.
 - 10. \$200,000 to a new CIP titled Rental Assistance to Historic Civic Center (HCC) Non-Profit Tenants.
 - 11. \$120,000 to a new CIP titled Business Support.
 - 12. \$100,000 to a new CIP titled Broadcast System Overhaul.
 - 13. \$50,000 to a new CIP titled Open Air Stage - Circle City Center.
 - 14. \$18,300 to a new CIP titled Computer Equipment - Senior Center.
- c. Approve a cash transfer of \$50,000 from the American Rescue Act Plan Fund 413 to the General Fund to replenish unemployment trust funds.
- d. Approve a cash transfer of \$31,600 from the American Rescue Act Plan Fund 413 to

the General Fund for digital access and support activities. Appropriate \$27,600 to the Community Services' operating budget.

18. APPROPRIATION - [Appropriation of funding from various revenue sources to the McKinley Street Grade Separation Project.](#)

That the City Council authorize an appropriation totaling \$5,000,000 from various fund balances as outlined in this report to the McKinley Grade Separation Project.

19. GRANT - [Acceptance of the 2021 Bulletproof Vest Partnership award from the US Department of Justice, Bureau of Justice Assistance.](#)

That the City Council

- a. Authorize the acceptance of the federal Fiscal Year 2021 Bulletproof Vest Partnership funds in the amount of \$12,733.
- b. Appropriate \$12,733 of onetime money from the unappropriated General Fund Balance to be reimbursed from the US Department of Justice, Bureau of Justice Assistance and increase the General Fund estimated revenue by the same amount for the program award.
- c. Authorize the City Manager or his designee to execute any required documents that are in compliance with the City Council's actions hereunder.

20. RELEASE OF SECURITY - [Acceptance of public improvements for Assessor Parcel Numbers 279-084-008, 279-084-009, and 279-084-010 located at the northeast corner of Winton Street and Boyd Avenue in the unincorporated area of Riverside County, and release of the securities posted by Raul Castro et al.](#)

That the City Council:

- a. Accept the public improvements for APN's 279-084-008, 279-084-009 and 279-084-010 located at the northeast corner of Winton Street and Boyd Avenue.
- b. Retain twenty-five percent (25%) of the Faithful Performance Security for one year beyond acceptance of the improvements as security for repair or replacement of any improvements that fail to meet City Standards at the end of the one-year period (Faithful Performance Bond: 4431450, \$60,800).
- c. Retain the Labor and Material Security for six months beyond the acceptance of the improvements, and automatically release the security unless any claims are filed (Labor and Material Bond: 4431450, \$30,400).

- 21. RELEASE OF SECURITY - [Acceptance of public improvements for 1548 and 1552 West Maple Street and release of the securities posted by La Maple Partners LLC for grading and public improvements.](#)**

That the City Council:

- a. Accept the public improvements for 1548 and 1552 West Maple Street, Corona.
- b. Retain twenty-five percent (25%) of the Faithful Performance Security for one year beyond acceptance of the improvements as security for repair or replacement of any improvements that fail to meet City Standards at the end of the one-year period (Faithful Performance Cash Deposit R10024, \$18,200).
- c. Retain the Labor and Material Security for six months beyond the acceptance of the improvements, and automatically release the security unless any claims are filed (Labor and Material Cash Deposit R10024, \$9,100).
- d. Release the Precise Grading Security (Cash Deposit R10026, \$8,700).
- e. Release the Erosion Control Security (Cash Deposit R10025, \$2,500).

- 22. REPORT - [Personnel Report providing employee updates and details on various recruitment transactions.](#)**

That the City Council receive and file the Personnel Report.

- 23. RESOLUTION - [Resolution authorizing submittal of a grant application to the Bureau of Reclamation WaterSMART Grants: Water and Energy Efficiency Grants for Fiscal Year 2022.](#)**

That the:

- a. City Council adopt Resolution No. 2021-127 approving the application for grant funds for WaterSMART: Water and Energy Efficiency Grants for Fiscal Year 2022 Grant Program, Funding Opportunity Announcement No. R22AAS00023.
- b. City Council designate the City Manager, or his designee, to receive and spend Water SMART: Water and Energy Efficiency Grant funds in accordance with all applicable program guidelines and state and federal laws.
- c. City Council authorize the City Manager, or his designee, to act as an agent with legal authority to enter into the grant agreement, conduct all negotiations,

execute and submit all documents including, but not limited to, applications, agreements, payment requests, and any other grant required correspondence which may be necessary for the completion of the grant program that is consistent with or in furtherance of the City Council's actions hereunder.

- d. City Council authorize the Finance Director, or her designee, to prepare and process any budgetary adjustments to receive and record WaterSMART: Water and Energy Efficiency Grant funds.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct that the City Council take the above actions.

- 24. RESOLUTION** - [Resolution declaring the City's intention to annex territory to Community Facilities District No. 2016-3 \(Maintenance Services\) and adopting a map of the area proposed to be annexed thereto \(Annexation No. 26\).](#)

That the City Council adopt Resolution No. 2021-124, declaring intention to annex territory to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, and adopting a map of the area proposed to be annexed thereto (Annexation No. 26).

- 25. RESOLUTION** - [Resolution declaring the City's intention to annex territory to Community Facilities District No. 2016-3 \(Maintenance Services\) and adopting a map of the area proposed to be annexed thereto \(Annexation No. 31\).](#)

That the City Council adopt Resolution No. 2021-125, declaring intention to annex territory to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, and adopting a map of the area proposed to be annexed thereto (Annexation No. 31).

COMMUNICATIONS FROM THE PUBLIC

Persons wishing to address the City Council are requested to state their name and city of residence for the record. This portion of the agenda is intended for general public comment only, which means it is limited to items within the subject matter jurisdiction of the City Council that are not listed on the agenda. Please note that state law prohibits the City Council from discussing or taking action on items not listed on the agenda. The City Council will appreciate your cooperation in keeping your comments brief. Please observe a three-minute limit for communications.

PUBLIC HEARINGS

This portion of the agenda is for advertised public hearing items where formal public testimony on each individual item is accepted prior to City Council action.

- 26. PUBLIC HEARING** - [General Plan Amendment to update the Housing Element for the 6th Cycle Regional Housing Needs Assessment covering Planning Period 2021-2029.](#)

That the City Council:

- a. Authorize the Planning and Development Director to make non-legislative changes to the Housing Element Update that addresses final comments made from the State Department of Housing and Community Development.
- b. Adopt Resolution No. 2021-121 adopting an addendum to the General Plan Environmental Impact Report (SCH#2018081039) and approving an amendment to the City General Plan to update the Housing Element for the 6th Cycle Regional Housing Needs Assessment covering Planning Period 2021-2029 (GPA2021-0001).

27. PUBLIC HEARING - [Public Hearing and Election for Annexation Proceedings for Annexation No. 28 into Community Facilities District No. 2016-3 \(Maintenance Services\).](#)

That the City Council:

- a. Adopt Resolution No. 2021-122, calling a special election and submitting to the qualified electors of the territory proposed to be annexed to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona the question of levying special taxes within the territory proposed to be annexed (Annexation No. 28).
- b. Adopt Resolution No. 2021-123, declaring the results of the special election for Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona on the proposition of the annual levy of special taxes within the territory proposed to be annexed to said Community Facilities District to pay the costs of certain services to be provided by the Community Facilities District, determining that the territory proposed to be annexed is added to and part of said Community Facilities District with full legal effect (Annexation No. 28).

ADMINISTRATIVE REPORTS

This portion of the agenda is for Council discussion and action on staff reports and new topics that may not be routine status reports, or documents covering previous City Council action.

28. ADMINISTRATIVE REPORT - [Fiscal Year 2022 Quarter 1 Update.](#)

LEGISLATIVE MATTERS

This portion of the agenda is for proposed ordinances presented for the City Council's consideration.

29. LEGISLATIVE MATTER - [Ordinance amending Chapter 8.20 of the Corona Municipal Code relating to solid waste handling, organics recycling, and edible food recovery.](#)

That the City Council introduce, by title only, and waive the full reading of Ordinance No. 3338, amending [Chapter 8.20](#) of the Corona Municipal Code relating to solid waste handling, organics recycling, and edible food recovery.

BOARDS AND COMMISSIONS – REPORTS FROM CITY COUNCIL, COMMISSIONERS, AND STAFF FOR THE:

This portion of the agenda lists items from Commissions and Boards.

A) Planning & Housing Commission

- 30. PLANNING & HOUSING COMMISSION REPORT - [Parcel Map 37221 application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial \(EC\) designation of the Dos Lagos Specific Plan \(SP99-03\).](#)**

That the City Council approve PM 37221 subject to the findings and conditions as recommended by the Planning and Housing Commission and adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan.

- 31. PLANNING & HOUSING COMMISSION REPORT - [Precise Plan 2020-0006 is the review of two professional medical office buildings totaling 21,400 square feet on two acres, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial \(EC\) designation of the Dos Lagos Specific Plan \(SP99-03\).](#)**

That the City Council:

- a. Take no action, thereby affirming the Planning and Housing Commission's action granting PP2020-0006, based on the findings contained in the staff report and conditions of approval.

OR

- b. Set the item for review at a subsequent meeting.

- 32. PLANNING & HOUSING COMMISSION REPORT - [Variance 2021-0001 is an application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street.](#)**

That the City Council:

- a. Take no action, thereby affirming the Planning and Housing Commission's action granting V2021-0001, based on the findings contained in the staff report and conditions of approval.

OR

- b. Set the item for review at a subsequent

B) Parks & Recreation Commission

C) Regional Meetings

33. **REGIONAL MEETING REPORT** - [Update from Council Member Jim Steiner on the Riverside Transit Agency \(RTA\) Board Meeting of October 28, 2021.](#)
34. **REGIONAL MEETING REPORT** - [Update from Vice Mayor Wes Speake on the Riverside County Transportation Commission \(RCTC\) Western Programs Meeting of October 25, 2021.](#)
35. **REGIONAL MEETING REPORT** - [Update from Vice Mayor Wes Speake on the League of California Cities ACA 7 working group meeting of October 27, 2021.](#)
36. **REGIONAL MEETING REPORT** - [Update from Mayor Jacque Casillas on the Western Riverside Council of Governments \(WRCOG\) Meeting of November 1, 2021.](#)

CITY ATTORNEY'S REPORTS AND COMMENTS**CITY MANAGER'S REPORTS AND COMMENTS****CITY COUNCIL MEMBER REPORTS AND COMMENTS**

37. **CITY COUNCIL MEMBER REPORT** - [Appointment to the Library Board of Trustees.](#)

FUTURE AGENDA ITEMS

This portion of the agenda is for items requested by the Mayor or Council Members for consideration at a future meeting. No immediate action is taken on Future Agenda items; this section serves to highlight topics that will be considered at upcoming meetings. Council action on items that have appeared in this section takes place under Administrative Reports, when accompanied by a staff report.

1. Wild Pig Depredation (J. Casillas) November 10, 2021
2. Historic Preservation Code Revisions (W. Speake) TBD
3. Consideration of Civic Center Fountain Renovation (W. Speake) TBD
4. Options for Paving the Overlook Area (W. Speake) TBD
5. Non Profit/Sponsored Utility Box Wraps (W. Speake) TBD
6. Corona Municipal Airport Update (T. Daddario) TBD
7. Options to expedite Redevelopment of Main Street and Parkridge Avenue Area (J. Casillas) TBD
8. Review of building/permit fees (T. Richins) TBD
9. Infill fees in historic districts (W. Speake) TBD
10. Draft Agendas (T. Daddario) TBD

ADJOURNMENT

The next regular meeting of the City Council/Successor Agency to the Redevelopment Agency of the City of Corona/Corona Public Financing Authority/Corona Utility Authority/Corona Housing Authority is scheduled for Wednesday, November 17, 2021 at 4:30 P.M. or thereafter as noted on the posted agenda for closed session items in the City Council Board Room followed by the regular meeting at 6:30 p.m. or thereafter as noted on the posted agenda in the City Council Chambers.

Corona City Hall - Online, All the Time at www.CoronaCA.gov

Agendas for all City Council meetings are posted at least 72 hours prior to the meeting in the entry way display case at City Hall. A complete agenda packet is available for public inspection during business hours at the City Clerk's Office. Any materials relating to an item on the agenda which are distributed to all, or a majority of all, members of the City Council after the posting of the agenda will also be available at the same time for public inspection during business hours at the City Clerk's Office.

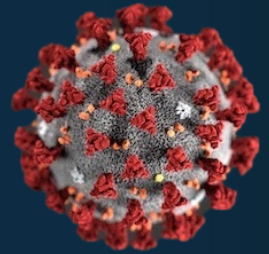
Written communications from the public for the agenda must be received by the City Clerk's Office seven (7) days prior to the City Council meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (951) 736-2235. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Meeting is Being Recorded



COVID-19 UPDATE



Brian Young
Fire Chief
November 3, 2021

21,292

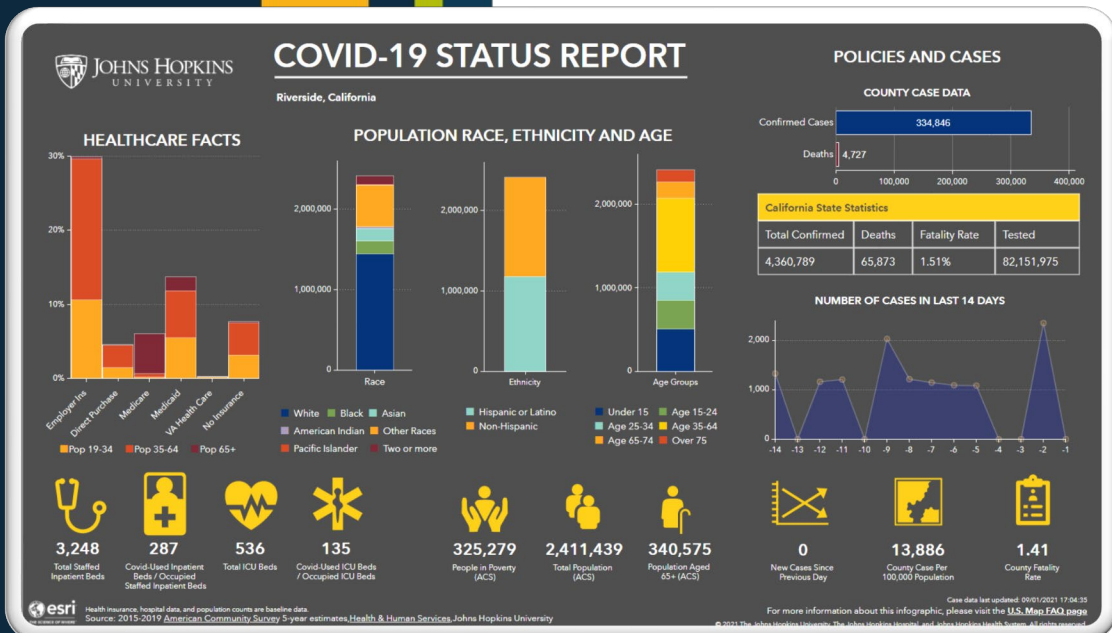
Corona cases

20,834

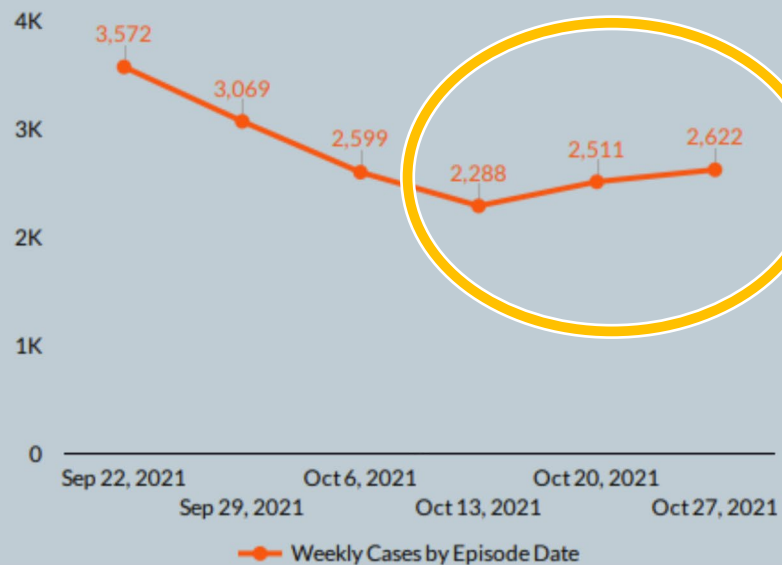
Corona recoveries

303

Corona fatalities



Recent COVID-19 in Riverside County

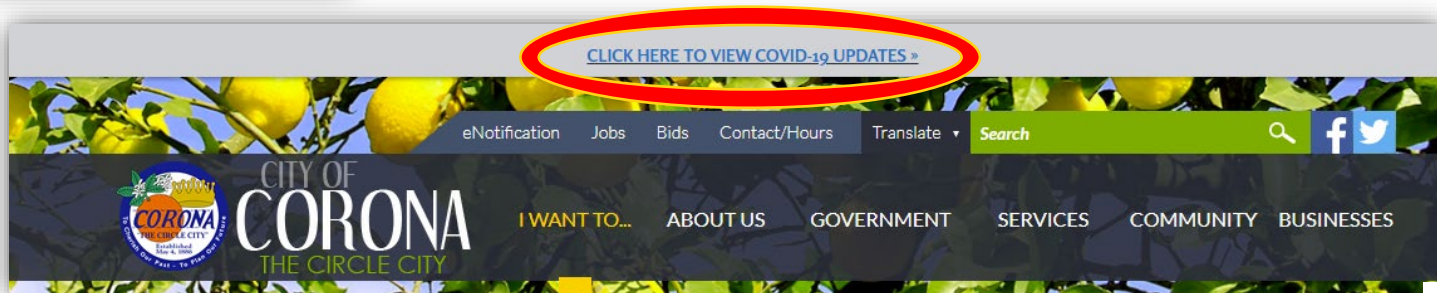


Testing in Corona



Day	Time	Location	District
Monday	7:30AM-2:30PM	Buena Vista Park	4
Tuesday	7:30AM-2:30PM	Santana Park	5
Wednesday	7:30AM-2:30PM	Parkview Park	1
Thursday	7:30AM-2:30PM	City Hall	3
Friday	7:30AM-2:30PM	Butterfield Park	2

2,272
October





Vaccination

City of Corona *-and-* adjacent communities

<https://rivcoph.org/COVID-19-Vaccine-with-Registration>

All booster doses of include those who received at least 6 months ago and are either:

- 65 and over
- Residents of long-term care facilities
- 18 to 64 with underlying medical conditions
- 18 to 64 with high-risk occupations

Vaccine

Riverside County

- 6.8% Partially vaccinated
- 60.7% Fully vaccinated
- 134,800 Boosters (3rd dose)

Corona

- 6.0% Partially vaccinated
- 63.2% Fully vaccinated

3,033,239

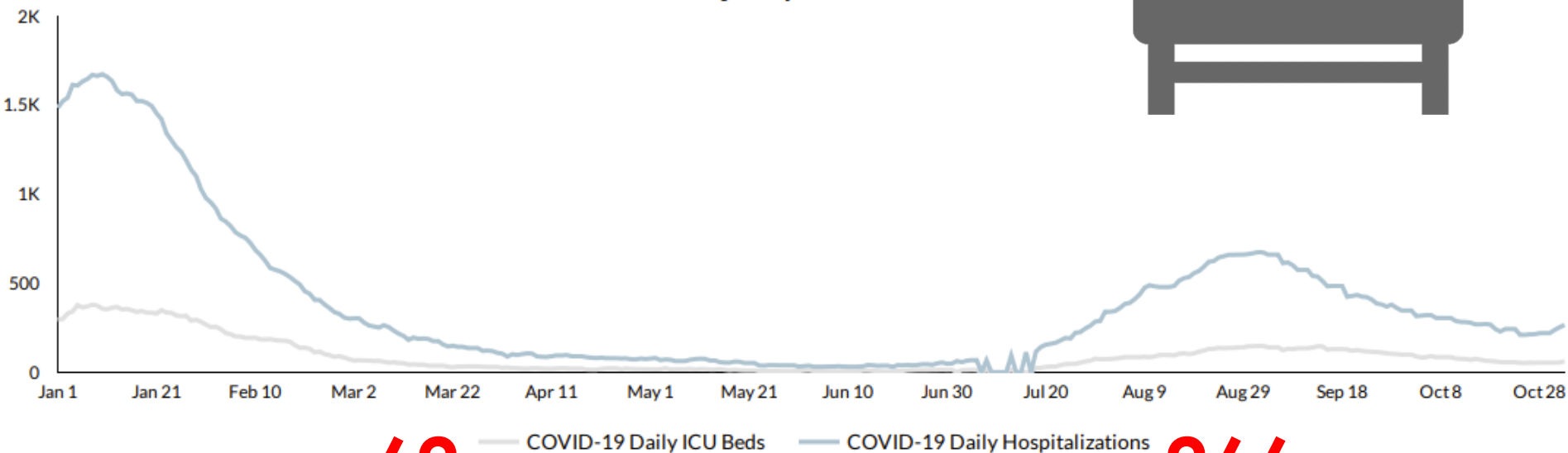


Hospitalizations

Riverside County



COVID-19 Daily Hospitalizations and ICU



62

266

Stay Informed

CALL US, EMAIL US, OR VISIT OUR WEBSITE FOR THE LATEST INFO!

Call: (951) 817-5800 | Text: (833) 482-0029

COVID19info@CoronaCA.gov

www.CoronaCA.gov/COVID-19

TO RECEIVE EMAIL NOTIFICATIONS, SIGN UP AT CORONACA.GOV/SUBSCRIBE

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Committee of the Whole Minutes - Draft

Wednesday, October 13, 2021

Council Board Room 4:00 PM



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor
Wes Speake, Vice Mayor
Tony Daddario, Council Member
Tom Richins, Council Member
Jim Steiner, Council Member**

Rollcall

Present: 5 - Jacque Casillas, Wes Speake, Tony Daddario, Tom Richins and Jim Steiner

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Mayor Casillas.

CONVENE OPEN SESSION

Mayor Casillas called the meeting to order at 4:03 p.m.

COMMUNICATIONS FROM THE PUBLIC

Bobby Spiegel, Corona Chamber of Commerce, commended the City Council and staff for the Wall that Heals.

AGENDA ITEMS

1. Update of Sales Tax Information by HdL Companies.

Ken Brown, HdL Companies, provided a presentation. He provided an overview of the following: 2nd Quarter Sales Tax update, Regional Report adjusted Sales Tax Growth, Corona Major Groups 2Q21 vs 2Q20, Corona Major Industry Groups (Top 5), Corona Major Industry Groups (Final 3), Corona Adjusted Point-Of-Sale - Sales Tax Trend, Corona Major Groups 2Q21 vs 2Q19, Corona Major Industry Groups (13 year history), Corona Adjusted Point-Of-Sale - Sales Tax Trend, Confidentiality Standards, Sales Tax vs. Use Tax, Allocation of Sales vs. Use Taxes, Company Operational Change, Local Tax Allocation Guidelines.

The Council had inquiries and Mr. Brown provided clarification.

Joe Morgan, resident, addressed the Council to express his concerns regarding the agreement between the City and LulaRoe.

2. Tow Policy Review.

Sergeant Bryan Snow introduced the item and provided an overview of the following: Abandoned Vehicles- Can we Tow, Traffic Team Staffing, Pending Abandoned Vehicles, Abandoned Vehicle, Community Caretaking, Parking Citation, Wrecked vs Non-op Vehicles, and Not Towable Vehicles.

Cynthia Marquez, Administrative Assistant, provided an overview of the following: Abandoned Vehicles Flow Chart, Parking Enforcement, and RV Parking Enforcement Flow Chart.

The City Council discussed the presentation and had inquiries. Chief Newman,

Lieutenant Chad Fountain, Sergeant Snow and Ms. Marquez provided clarification.

Joe Morgan, Resident, addressed the Council with concerns regarding parked and abandoned vehicles.

3. Economic Development Updates.

Jessica Gonzales, Economic Development Director, introduced the item. Ms. Gonzales, Amanda Wicker, Economic Development Administrator, and Ashley Zaragoza, Economic Development Administrator, provided an overview of the following: Economic Development Strategic Plan, Downtown Revitalization Plan, Corona Chamber of Commerce, Hispanic Entrepreneurship, Shop/Dine Corona, Live Work Corona, Manufacturing Assistance Program.

The Council had inquiries and Ms. Gonzales, Ms. Wicker, and Ms. Zaragoza provided clarification.

Joe Morgan, resident, addressed the Council and provided comments regarding the Economic Development Strategic Plan.

4. Presentation and discussion on sidewalk vendors within public rights-of-way pursuant to Senate Bill 946.

The Council took a break at 5:36 p.m. and returned at 5:38 p.m.

Joanne Coletta, Planning & Development Director, introduced the item and provided a presentation. She provided an overview of the following: Senate Bill 946 (sidewalk vendors), Corona Municipal Code Chapter 5.34, Peddlers and Solicitors, Comparison of Sidewalk Vending Ordinances for Riverside County and City of Riverside, New City Ordinance on Sidewalk Vending (Regulations to Consider), and Proposed Ordinance on Sidewalk Vending in the Public Right-of-Way.

The City Council had inquiries and Ms. Coletta, Dean Derleth, City Attorney, and Chief Newman provided clarification.

There was one written comment received from the public. The written comment will be maintained with the minutes.

The following residents addressed the Council to express concerns regarding the proposed item: Bobby Spiegel, Martha Cortez, and Joe Morgan.

Council Member Steiner left the boardroom at 6:31 p.m.

5. Mountain Gate Park Playground Re-Opening Update.

Jason Lass, Recreation Services Manager, introduced the item and provided a presentation. He provided an overview of the following: Recommended Action, Park Re-Opening Process, Social Media Efforts and Engagement, Ribbon Cutting Ceremony,

Photo Opportunity, and Woolly Mammoth Naming.

The Council had inquiries and Mr. Lass provided clarification.

The Council discussed the proposed item and provided staff with direction. The Council supported Jacob Ellis, City Manager, recommendation to have a community poll on the naming the Wally Mammoth.

ADJOURNMENT

The next scheduled meeting of the Council is October 20, 2021. Mayor Casillas adjourned the meeting at 6:57 p.m.

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

City Council Minutes - Draft

Wednesday, October 20, 2021

**Closed Session Council Board Room 4:30 PM
Open Session Council Chambers 6:30 PM**



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor
Wes Speake, Vice Mayor
Tony Daddario, Council Member
Tom Richins, Council Member
Jim Steiner, Council Member**

**Revised agenda on October 18, 2021 at 2:52 p.m.
Item 39 – an attachment was added as Exhibit 2.**

CONVENE CLOSED SESSION

Closed Session convened at 4:41 p.m. for the purposes listed below. Present were Mayor Casillas, Vice Mayor Speake, Council Member Daddario, Council Member Richins, and Council Member Steiner. Closed Session adjourned at 5:52 p.m.

CITY COUNCIL

1. CONFERENCE WITH LEGAL COUNSEL - EXISTING LITIGATION
Pursuant to Government Code Section 54956.9(d)(1)
Name of Case: City of Corona v. DD&E, LLC, et al.
Case Number: Riverside County Superior Court Case No. CVRI 2000548 and San Diego County Superior Court Case No. 37-2021-00016700-CU-EI-CTL
2. CONFERENCE WITH LABOR NEGOTIATORS
Pursuant to Government Code Section 54957.6
Agency Designated Representative: Jacob Ellis, City Manager
Employee Organizations: Corona General Employees Association, Corona Fire Association, Corona Police Employees Association, Corona Police Supervisors Association and Corona Supervisors Association
3. CONFERENCE WITH LABOR NEGOTIATORS
Pursuant to Government Code Section 54957.6
Agency Designated Representative: Jacob Ellis, City Manager
Unrepresented Employee Group: Management/Confidential Group Employees
4. CONFERENCE WITH LABOR NEGOTIATORS
Pursuant to Government Code Section 54957.6
Agency Designated Representative: Jacob Ellis, City Manager
Unrepresented Employee Group: Executive Group Employees

Rollcall

Present: 5 - Jacque Casillas, Wes Speake, Tony Daddario, Tom Richins, and Jim Steiner

INVOCATION - Lu Anne Hall, The Church of Jesus Christ of Latter-Day Saints

The Invocation was led by Lu Anne Hall.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Mayor Casillas.

CONVENE OPEN SESSION

Mayor Casillas called the meeting to order at 6:30 p.m.

PROCLAMATIONS/RECOGNITIONS/PRESENTATIONS

5. Proclamation: Corona Norco Unified School District - Red Ribbon Week
Mateo and Anna Meza accepted the Proclamation.
6. Proclamation: Italian Heritage Month
Council Member Daddario accepted the Proclamation.
7. Recognition: Dedicated and outstanding service to the City by Library Trustees Leonard Enlow and Anna Corridi-Meza
Leonard Enlow and Anna Corridi-Meza accepted their Recognitions.
8. Recognition: Mission LifeLine/ EMS Gold Award - American Heart Association
Corona Fire Department accepted the Recognition.
9. Commendation: Maria Fuentes
Maria Fuentes accepted the Commendation.
10. Presentation: Peppermint Ridge Presentation of the Golden Shoe Award
Dani McCarns, Executive Director, provided a presentation.
11. Presentation: Covid-19 Update
Brian Young, Fire Chief, provided an update.

MEETING MINUTES

A motion was made by Council Member Daddario, seconded by Council Member Steiner, that these Minutes be approved. The motion carried by the following vote:

Aye: 5 - Casillas, Speake, Daddario, Richins, and Steiner

12. Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority Fall Council Workshop of September 29, 2021.
These Minutes were approved.
13. Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority City Council Meeting of October 6, 2021.

These Minutes were approved.

CONSENT CALENDAR

A motion was made by Vice Mayor Speake, seconded by Council Member Daddario, that the Consent Calendar be approved. The motion carried by the following vote:

Aye: 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 14.** City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, and Corona Housing Authority to receive and file the Monthly Investment Portfolio Report for the month of August 2021.

This Financial Report was received and filed.

- 15.** City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, and Corona Housing Authority to receive and file the Monthly Fiscal Report for the month of August 2021.

This Financial Report was received and filed.

- 16.** A Wildland Protection Agreement between the City of Corona and the California Department of Forestry and Fire Protection (CAL FIRE).

This Agreement was approved.

- 17.** Professional Services Agreement with Econolite Systems, Inc. in the amount of \$152,741 for the deployment of Centracs system and initial configuration of the traffic management system.

This Agreement was approved.

- 18.** Second Amendment to a Professional Services Agreement with Advanced Applied Engineering, Inc., to continue augmenting Planning Division staff services by increasing Fiscal Year 2022 compensation from \$100,000 to \$180,000.

This Agreement was approved.

- 19.** Award of Contract to Houston and Harris PCS, Inc., for Sanitary Sewer System Cleaning Routine Maintenance and Emergency Services.

This Bid & Purchase was approved.

- 20.** Purchase Order for an Alfa Laval G3-95 Centrifuge for the Water Reclamation Facility 1 Centrifuge Installation Project.

This Bid & Purchase was approved.

- 21.** Award of Contract to Western State Builder, Inc. for the Proposition 68 Per Capita Playground Replacements at Cresta Verde and Tehachapi Parks Project.

This Bid & Purchase was approved.

22. Award of Contract to KASA Construction, Inc for the River Road Median Landscape Improvements Project.

This Bid & Purchase was approved.

23. Authorize the Purchase of a Stationary Emergency Generator Set from Quinn Power Systems and Generator Enclosure and Fuel Tank from ACS Manufacturing, Inc. in accordance with Public Contract Code (PCC) 3400 and City of Corona Resolution 2013-057.

This Bid & Purchase was approved.

24. Information Technology Service Agreement with E-Plus Inc. for storage area network (SAN) system replacement.

This Bid & Purchase was approved.

25. Acceptance and appropriation of Fiscal Year 2020 Assistance to Firefighters Grant Program award.

This Grant was approved.

26. Acceptance of certain public improvements associated with Tract Map 36294, located south of Eagle Glen Parkway and west of Interstate 15, and release of the public improvement securities posted by Arantine Hills Holdings LP.

This Release of Security was approved.

27. Acceptance of the public improvements associated with Parcel Map 37748, located on the northwest corner of Eighth and Main Streets, and release of securities posted by HHC Corona, LLC, a California Limited Liability Company for the grading, public improvement, and survey monumentation.

This Release of Security was approved.

28. Release of the grading security for 1216 Arbenz Circle posted by William G. Atkins and Sheri Christine Atkins, Trustees of the William G. Atkins and Sheri Christine Atkins Revocable Inter-Vivos Trust UTD.

This Release of Security was approved.

29. Release of the grading security posted by The Habit Restaurant, LLC for Parcel 1 of Parcel Map 36311, located at the northwest corner of Foothill Parkway and Interstate 15.

This Release of Security was approved.

30. Release of the grading security posted by Foothill Parkway Shopping Plaza LLC, for Parcel 2 of Parcel Map 36311 located at the northwest corner of Foothill Parkway and

Interstate 15.

This Release of Security was approved.

- 31.** Acceptance of the public improvements associated with 1345 Quarry Street, and release of the securities posted by Nanci Investments Inc.

This Release of Security was approved.

- 32.** Personnel Report providing employee updates and details on various recruitment transactions.

This Report was received and filed.

- 33.** Resolutions approving participation in the State Water Resources Control Board's California Water and Wastewater Arrearage Payment Program and the California Department of Community Services and Development's California Arrearage Payment Program.

This Resolution was adopted.

COMMUNICATIONS FROM THE PUBLIC

None.

PUBLIC HEARINGS

None.

ADMINISTRATIVE REPORTS

None.

LEGISLATIVE MATTERS

- 34.** Ordinance amending Chapter 12.24 of the Corona Municipal Code relating to rules and regulations for parks and recreation areas.

This motion was made by Council Member Richins, seconded by Council Member Daddario, that this Ordinance be approved.

Aye: 5 - Casillas, Speake, Daddario, Richins, and Steiner

BOARDS AND COMMISSIONS – REPORTS FROM CITY COUNCIL, COMMISSIONERS, AND STAFF FOR THE:

A) Planning & Housing Commission

None.

B) Parks & Recreation Commission

- 35.** Receive and file Parks and Recreation Commission updates at the October 12, 2021 meeting:
- a. City Council Fall Workshop
 - b. Fall/Winter Special Events overview
 - c. Community Clean-Up Schedule
 - d. Graffiti Abatement Update
 - e. Park Ranger Program Update
 - f. Park Re-opening Process
 - g. Park Equipment Standards
 - h. Playground Shade Options

This Parks & Recreation Commission Report was received and filed.

C) Regional Meetings

- 36.** Update from Vice Mayor Wes Speake on the Southern California Association of Governments (SCAG) Community, Economic and Human Development Committee Meeting of October 7, 2021.

Vice Mayor Speake provided an update.

- 37.** Update from Vice Mayor Wes Speake on the Riverside County Transportation Commission (RCTC) Meeting of October 13, 2021.

Vice Mayor Speake provided an update.

- 38.** Update from Mayor Jacque Casillas on the League of California Cities Riverside County Division, Executive Committee Meeting of October 11, 2021.

Mayor Casillas provided an update.

CITY ATTORNEY'S REPORTS AND COMMENTS

None.

CITY MANAGER'S REPORTS AND COMMENTS

None.

- 39.** Expense reimbursement claim for Vice Mayor Wes Speake dated October 13, 2021, per City of Corona Administrative Policy No. 01200.001.

Vice Mayor Speake provided comments regarding the conference.

A motion was made by Council Member Steiner, seconded by Council Member Richins, that this City Council Member Report be approved. The motion carried by the following vote:

Aye: 5 - Casillas, Speake, Daddario, Richins, and Steiner

CITY COUNCIL MEMBER REPORTS AND COMMENTS

Council Member Richins provided an overview of the Wall that Heals. He also acknowledged the hard work of City employees.

Council Member Steiner provided a brief overview and congratulated Officer Ambriz on his retirement.

Council Member Daddario announced the upcoming District 2 Town Hall meeting on November 13, 2021. He also provided an overview on the Santana Park Skate Park Cleanup.

Vice Mayor Speake provided an overview of the following: Appointment to the Amendment Constitution of California for the League of California Cities, Hispanic Heritage Month and Manufacturing Week, Wall that Heals, Santana Park Skate Park Cleanup, Norco State of the City, Good Morning Corona, District 2 Leadership Briefing, and Altura Credit Union re-grand opening. He announced the following: Amber Waves of Grain on October 23, 2021 and the opening of Mountain Gate Park playground on October 27, 2021, and I-15 South closure on October 21, 2021.

Mayor Casillas commended Roger Bradley, Assistant City Manager, for his hard work and announced the Youth Town Hall on October 21, 2021.

FUTURE AGENDA ITEMS

1. SR 91 and I 15 Traffic Congestion Mitigation Options (T. Richins) October 27, 2021
2. Historic Preservation Code Revisions (W. Speake) TBD
3. Consideration of Civic Center Fountain Renovation (W. Speake) TBD
4. Options for Paving the Overlook Area (W. Speake) TBD
5. Wild Pig Depredation (J. Casillas) TBD
6. Non Profit/Sponsored Utility Box Wraps (W. Speake) TBD
7. Corona Municipal Airport Update (T. Daddario) TBD
8. Options to expedite Redevelopment of Main Street and Parkridge Avenue Area (J. Casillas) TBD
9. Review of building/permit fees (T. Richins) TBD
10. Infill fees in historic districts (W. Speake) TBD
11. Draft Agendas (T. Daddario) TBD

ADJOURNMENT

The next scheduled meeting of the Council is the Study Session on September 8, 2021. Mayor Casillas adjourned the meeting at 7:28 p.m.

ORDINANCE NO. 3337

**AN ORDINANCE OF THE CITY OF CORONA,
CALIFORNIA, AMENDING CHAPTER 12.24 OF THE
CORONA MUNICIPAL CODE RELATING TO RULES AND
REGULATIONS FOR PARKS AND RECREATION AREAS
TO AUTHORIZE IMPLEMENTATION AND
ENFORCEMENT BY CITY MANAGER**

WHEREAS, Article XI, § 7 of the California Constitution authorizes cities to make and enforce within their limits all local, police, sanitary, and other ordinances and regulations not in conflict with general laws; and

WHEREAS, Corona Municipal Code (“CMC”) Chapter 12.24 sets forth the rules and regulations for the use of public parks, recreation buildings/facilities, amenities and equipment in the City; and

WHEREAS, CMC Chapter 12.24 currently authorizes the General Manager of the Department of Water and Power to implement and enforce certain provisions in CMC Chapter 12.24; and

WHEREAS, as a result of a recent reorganization of the City’s departments, the City Manager or his or her designee is now charged with the implementation and enforcement of these provisions in CMC Chapter 12.24; and

WHEREAS, the City Council has determined that amendments to CMC Chapter 12.24 are necessary to authorize the City Manager or his or her designee to implement and enforce certain provisions of CMC Chapter 12.24.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CORONA,
CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

SECTION 1. Incorporation of Recitals. The City Council finds and determines that the foregoing Recitals are true and correct and incorporates the Recitals herein.

SECTION 2. CEQA Findings. This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states

that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action makes minor changes to the rules and regulations pertaining to public parks, recreation buildings/facilities, amenities and equipment in the City to authorize implementation and enforcement by the City Manager or his or her designee, and there is no possibility that adopting this Ordinance will have a significant effect on the environment. Therefore, no environmental analysis is required.

SECTION 3. Amendments to Chapter 12.24. Chapter 12.24 (Parks and Recreation Areas) of Title (Streets, Sidewalks and Public Places) of the Corona Municipal Code is hereby amended in its entirety to read as set forth in Exhibit “A” attached hereto and incorporated herein by reference.

SECTION 4. Severability. If any provision or clause of this Ordinance or any application of it to any person, firm, organization, partnership or corporation is held invalid, such invalidity shall not affect other provisions of this Ordinance which can be given effect without the invalid provision or application. To this end, the provisions of this Ordinance are declared to be severable.

SECTION 5. Conflicting Ordinances. This Ordinance shall supersede all other previous City Council resolutions and ordinances that may conflict with, or be contrary to, this Ordinance.

SECTION 6. Effective Date. The Mayor shall sign this Ordinance and the City Clerk shall attest thereto and shall within fifteen (15) days of its adoption cause it, or a summary of it, to be published in a general circulation newspaper published and circulated in the City of Corona. This Ordinance shall take effect and be in force on the 30th day after its adoption.

PASSED, APPROVED AND ADOPTED this 3rd day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Ordinance was regularly introduced at a regular meeting of the City Council of the City of Corona, California, duly held on the 20th day of October 2021, and thereafter at a regular meeting held on the 3rd day of November, 2021, it was duly passed and adopted by the following vote of the City Council:

AYES:

NOES:

ABSTAINED:

ABSENT:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November, 2021.

City Clerk of the City of Corona, California

(SEAL)

EXHIBIT "A"

CHAPTER 12.24 PARKS AND RECREATION AREAS

Sections

- [12.24.010](#) Statement of purpose; adoption of additional regulations.
- [12.24.020](#) Definitions.
- [12.24.030](#) Prohibited conduct.
- [12.24.040](#) Enforcement.
- [12.24.050](#) Reward for information.
- [12.24.060](#) Signs posted in public parks, recreation buildings/facilities and amenities.
- [12.24.070](#) Hours of operation.
- [12.24.080](#) Reservation of public parks, recreation buildings/facilities, amenities and equipment.
- [12.24.090](#) Denial of a reservation.
- [12.24.100](#) Special events permits.
- [12.24.110](#) Outdoor festivals.
- [12.24.120](#) Amplified sound.
- [12.24.130](#) Closure or restricted use of public parks, recreation buildings/facilities, amenities and equipment.

12.24.010 Statement of purpose; adoption of additional regulations.

The purpose of this chapter is to establish a comprehensive set of rules and regulations for use of public parks, recreation buildings/facilities, amenities and equipment in the city. The City Manager may adopt additional rules and regulations that are not in conflict with this chapter or any other chapter in this code.

12.24.020 Definitions.

For the purpose of carrying out the intent of this chapter, words, phrases and terms used herein shall have their ordinary meaning unless otherwise as follows.

(A) "**Amenities**" shall be defined as any enclosed or partially enclosed public spaces designated for specific purposes and the areas directly adjacent to those spaces. This includes, but is not limited to, picnic shelters, ballfields, playgrounds, skate parks, parking

lots and tennis, volleyball and basketball courts. Such areas may be used informally and without the presence or approval of Department staff.

- (B) "**Camp**" shall be as defined in § [9.26.010](#) of this code.
- (C) "**Camp facility**" shall be as defined in § [9.26.010](#) of this code.
- (D) "**Camp paraphernalia**" shall be as defined in § [9.26.010](#) of this code.
- (E) "**Department**" shall be defined as the City of Corona Community Services Department.
- (F) "**Director**" shall be defined as the Community Services Director or his or her designee.
- (G) "**Electronic smoking device**" means an electronic device that can be used to deliver nicotine or any other substance, including, without limitation, any component, part or accessory of such device, whether or not sold separately. "Electronic smoking device" includes, without limitation, any such device, whether manufactured, distributed, marketed or sold as an electronic cigarette, an electronic cigar, an electronic cigarillo, an electronic pipe, an electronic hookah, or any other product name or descriptor.
- (H) "**City Manager**" shall be defined as the City Manager of the City of Corona or his or her designee.
- (I) "**Organized and semi-organized group athletic event**" shall be defined as a group athletic event which would cause more than a total of eight participants, spectators and/or other persons to be using a field or facility at the same time.
- (J) "**Outdoor festival**" shall be defined as any music festival, dance festival, rock festival or similar musical activity at which music is provided by paid or amateur performers or by prerecorded means and which is open to the public as established in Chapter 5.30.
- (K) "**Public parks**" shall be defined as all developed and undeveloped park spaces dedicated for public use, landscape maintenance districts, open space areas, pedestrian or bike trails or access ways, planted parkways and pathways and the area directly adjacent to those spaces that are maintained by the city.
- (L) "**Recreation buildings/facilities**" shall be defined as any structure and the area directly adjacent to that structure that falls under the jurisdiction of the Department. This includes, but is not limited to, the Fiesta Bandshell, Historic Civic Center Theater, City Park and Auburndale pools, Civic Center Historic Community Room, Civic Center Historic Gymnasium, Senior Center, Brentwood, Victoria, River Road Center, Main Street Community Center and Auburndale Recreation Center. Such areas may only be used in the presence of or with the prior approval of the Department.
- (M) "**Sleep**" shall be as defined in § [9.26.010](#) of this code.

(N) **"Smoke or Smoking"** shall be defined as carrying or holding a lighted pipe, cigar, or cigarette, or any other lighted smoking product or equipment used to burn any tobacco products, weed, plant, or combustible substance, or the use of any electronic smoking device. Smoking includes emitting or exhaling the fumes of any pipe, cigar, cigarette, or any other lighted smoking equipment used for burning any tobacco product, weed, plant, or any other combustible substance and the emitting or exhaling of vapor or aerosol from an electronic smoking device.

(O) **"Special event"** shall be defined as any meeting, assembly, parade or other event open to the public and proposed to be conducted in or upon the public streets, highways or public parks of the city as established in [Chapter 9.20](#).

(P) **"Tobacco product"** shall be defined as any substance containing tobacco leaf, including but not limited to cigarettes, cigars, pipe tobacco, snuff, chewing tobacco, dipping tobacco, bidis, or any other preparation of tobacco.

12.24.030 Prohibited conduct.

No person shall perform any of the acts hereafter specified in or upon any public street, alley, sidewalk, parkway, public park, recreation building or facility, or other city facility, except as otherwise provided herein.

(A) **Alcohol:** Consume any alcoholic beverage, or possess or sell any can, bottle or other receptacle containing any alcoholic beverage (as the term "alcoholic beverage" is defined by Business and Professions Code Section 23004, as amended) which has been opened, or a seal broken, or the contents of which has been partially removed. Notwithstanding the foregoing, this prohibition shall not apply to the facility designated in § [9.22.020](#), provided the consumption, possession, or sale of alcohol is in compliance with the terms of a permit issued pursuant to that section.

(B) **Animal abuse:** To hunt, molest, harm, frighten, lull, trap, chase, tease, shoot or otherwise disturb any animal in its natural state or possess or remove any animal from its natural state or any eggs of the same.

(C) **Animals:** To hitch, fasten, lead, drive, ride or free from restraint any animal or fowl of any kind without the written approval of the Department. This shall not apply to dogs within a posted dog park area of a city park, as designated by the City Council pursuant to § [6.12.170](#), or when led by a leash, chord or chain, no more than six feet long and under the immediate care and control of the owner or another person competent to exercise care, custody and control thereof. Owners of said dogs are responsible for the conduct of the animal, for the proper disposal of all waste and fecal matter, and must comply with the rules and regulations set forth in § [6.12.170](#). This subsection shall also not apply to those animals used by the disabled.

(D) **Bathing:** To bathe in any facility not designated for that purpose.

(E) **City employees:** To obstruct, hinder, harass or intimidate city employees or officers while they are performing their assigned job responsibilities for the city.

(F) **Disruptive Behavior:** Participating in riotous or hazardous activities or behaving in such an unruly, destructive, or hazardous manner that it disturbs the public peace, or which may intimidate or disturb other park patrons or residences or businesses near a park or any other city facility, provided that this prohibition shall not be applied so as to infringe the rights of park users to engage in speech or other expressive activity protected by the First Amendment to the Constitution.

(G) **Dumping:** To discard or dump any liquid or solid waste in any area not designated for such purposes, including waterways, lakes or fountains.

(H) **Fire:** Make or kindle a fire with wood, kindling, or any solid fuel other than charcoal without written approval from the Department.

(I) **Fireworks:** To carry or discharge firecrackers or fireworks, except that this prohibition shall not apply to fireworks displays sponsored or arranged by the city.

(J) **Food preparation:** Cook or prepare any meal, barbecue or picnic except in the areas designated for such use without written approval from the Department.

(K) **Glass containers:** No glass containers shall be permitted.

(L) **Golf:** To engage in the game of golf, or to hit or "chip" any golf ball or similar object with a golf club or similar instrument except in areas designated for such activity.

(M) **Graffiti:** To allow or cause graffiti or tagging in, on or around any part of a public park, a recreation building or facility or amenities.

(N) **Loitering:** To gather, loiter, wander or remain prior to or after the hours of operation without the written permission of the Department. No person in a public park, recreation building/facility or amenity that has been declared closed to the public while such person is in the area shall fail to depart from the area within ten minutes or such time as is necessary to remove his or her possessions after having been requested to do so.

(O) **Reckless operation:** To ride or use any roller skates, in-line skates or skateboards at a public park in a reckless manner or with willful disregard for the safety of persons or property or to cause such items to be ridden or used in such a manner.

(P) **Refuse:** To leave garbage, cans, bottles, papers or other refuse elsewhere than in the receptacles provided.

(Q) **Remote controlled toys:** To operate any remote controlled or motorized toy in an unsafe manner or in a manner constituting a public nuisance.

(R) **Sale of goods:** The sale or solicitation for sale of goods, wares, commodities, services, or any other thing without written authorization from the City Manager, including but not limited to sales activities that: (i) use park property or facilities to complete the terms of sale; (ii) provide a service as a result of the sale; or (iii) affect park operations, facility use or visitor safety.

(S) **Smoking:** No person shall smoke or use any tobacco product or any electronic smoking device within the boundaries of any public park or recreation area within the city. This prohibition shall not operate to ban smoking, tobacco product use or electronic smoking device use in or upon public streets or alleys adjacent to any public park or recreation area, but shall prohibit such acts on sidewalks and in off-street public parking areas adjacent to or within public parks or recreation areas.

(T) **Camping:** To camp except as otherwise provided in § [9.26.010](#) of this code.

(U) **Storage:** Store personal property, including camp facilities and camping paraphernalia.

(V) **Unattended vehicles:** To leave any vehicle unattended overnight without the approval of the Department.

(W) **Unauthorized equipment:** To use rockets, torpedoes, air guns, sling shots or similar devices.

(X) **Unlawful entry:** For members of the opposite sex over the age of ten years to enter any toilet, restroom, dressing room or other facility for exclusive use by the opposite sex.

(Y) **Use of electronic equipment:** The use of city electrical outlets to provide power to electronic equipment is prohibited, provided that this prohibition shall not apply to individuals who have made a reservation pursuant to § [12.24.080](#) of this code. Electronic equipment is defined as any device that requires an electrical outlet for power including, but not limited to, televisions, radios, computers, cellular telephones, portable heaters, fans, cooking devices (i.e., hot plates, crock pots, toasters, toaster ovens, and the like) and personal hygiene items (i.e., electronic razors, hair dryers, curling irons, and the like).

(Z) **Vehicle parking:** Vehicle parking unless in compliance with Title 10 of this code;.

(AA) **Vehicle service:** To attempt to service or remove parts from a vehicle. This shall not apply to those instances where service must be provided to a vehicle for the immediate reestablishment of its operation and removal from the area.

(BB) **Vehicles and other means of transportation:** Bicycling, skateboarding (as defined in CMC [10.52.010](#)), roller skating and in-line skating, vehicles, go-carts, motorized scooters, and Segway personal transportation devices, or sporting activities related thereto except in areas designated by council resolution and posted. A bicycle may be wheeled or pushed by hand over any area reserved for pedestrian use.

(CC) **Violation of skate park rules:** Violation of any rules established by the city for the use of the city skate parks including, but not limited to, violations consisting of creating a disturbance; use of the skate park by an unsupervised minor under 14 years of age; and entry into the skate park without wearing all required protective equipment, including knee pads, elbow pads, and a helmet.

12.24.040 Enforcement.

The City Manager and Enforcement Officers (as defined in § [1.08.120](#)) shall have the authority to eject and expel from any public park, recreation building/facility or amenity any person in violation of this chapter. Failure to expeditiously leave the park, building, facility, or amenity after being so directed by the City Manager or an Enforcement Officer, and following a reasonable amount of time to gather personal belongings, shall be a violation of this section.

12.24.050 Reward for information.

There shall be a reward of \$250 for persons offering information leading to the arrest and conviction(s) of person(s) damaging, stealing, defacing or destroying city property in public parks, recreation buildings/facilities or amenities.

12.24.060 Signs posted in public parks, recreation buildings/facilities and amenities.

(A) The City Manager is authorized to post in prominent places in parks signs which shall state as follows:

"\$250 reward for information leading to the arrest and conviction of any person damaging, stealing or defacing city property."

(B) In order to provide reasonable notice to the public, the City Manager shall post signs in one or more conspicuous and visible area(s) of any public park, specifying the requirements of § [12.24.030](#)(X). The City Manager may post signs specifying the requirements of any other prohibited activities described in this chapter. The signs required pursuant to this section shall cite the respective code section being invoked and shall state that any person failing to comply with such code section shall be subject to citation or other enforcement tools or actions available to the city.

(C) The City Manager may post other signs as deemed necessary for operation of the facility, such as signs that provide contact information for city staff, special events, or other purposes.

12.24.070 Hours of operation.

Public parks, recreation buildings/facilities and amenities shall be open from 5:00 a.m. until 10:30 p.m. daily or as otherwise may be posted by the City Manager. It shall be unlawful for any person to use or remain in such facilities in violation of such posting without written consent of the Department.

12.24.080 Reservation of public parks, recreation buildings/facilities, amenities and equipment.

(A) Public parks, recreation buildings/facilities other than athletic fields, amenities and equipment may be made available for the exclusive use of persons and groups for assembly activity on a first come first serve basis. Individuals and groups wishing to reserve public parks, recreation buildings/facilities, athletic fields, amenities and/or

equipment must file an Application for Permit for Use of Recreation Facilities with the Department. Requests cannot be made nor applications filed more than 90 days prior to the event, except that applications may be filed no more than one year in advance for the Historic Civic Center Theater and the Historic Community Room.

(B) Applicable fees will be determined according to the fee schedule established by Council resolution.

(C) No exclusive use permit will be granted for the time and place specified in the application if, prior to the time the application was filed, the city has scheduled a city-sponsored event at the same time and place as the activity proposed in such application.

(D) Reservations will be required for the following:

- (1) Any special event;
- (2) Any outdoor festival;
- (3) Any assemblage or parade;

(4) Any group or individual wishing to use, for a private function, any facility or equipment that by its nature is limited in availability, including the Fiesta Bandshell, Historic Civic Center Theater, City Park and Auburndale pools, Civic Center Historic Community Room, Civic Center Historic Gymnasium, Senior Center, Brentwood, Victoria, River Road Center, Main Street Community Center and Auburndale Recreation Center.

(E) A Permit for Use of Recreation Facilities is required for the use of any athletic field, for any amount of time, by any group of eight or more people. Permits will be issued in accordance with the Department's Athletic Field Allocation Policy (as it may be amended or renamed). Use of any athletic field or recreation building/facility for any amount of time, for any organized or semi-organized group athletic event as defined in § [12.24.020\(K\)](#), is prohibited without a permit.

12.24.090 Denial of a reservation.

(A) The Director may deny the application if it finds that any of the following conditions exist:

(1) The application reveals that the city has inadequate physical facilities to accommodate the proposed use;

(2) The proposed activity or use of the facility or equipment will unreasonably interfere with or detract from the general public use of public parks, recreation buildings/facilities, amenities and/or equipment;

(3) The proposed activity would violate federal, state or local law;

(4) The applicant refuses to agree in writing to comply with all the conditions in the permit;

(5) The applicant has failed to file a timely application unless waived by the Director.

(B) The Director may, at any time, suspend or revoke a permit issued pursuant to this chapter when he or she has reasonable cause to believe that a permittee has violated or is causing or permitting a violation of this chapter, including the conditions set forth by the Director granting the permit or any pertinent federal, state and/or local law or when it has been shown to his or her satisfaction that the activities so permitted are being conducted in a manner detrimental to the public health, peace, safety or welfare of the city. The Director may also suspend or revoke any such permit if the permittee misrepresented, falsified or concealed any material fact in the application.

(C) In the event that the request is denied, suspended or revoked, the applicant will be notified in writing as to the cause. The decision may be appealed pursuant to [Chapter 1.09](#) of this code.

12.24.100 Special events permits.

Groups of more than 25 individuals wishing to use public parks, recreation buildings/facilities, amenities and/or equipment for special events must file an application with the Corona Police Department and follow the procedures as set forth in [Chapter 9.20](#) of this code. All special events and applications for same shall also follow the policies and procedures previously stated.

12.24.110 Outdoor festivals.

Individuals or groups wishing to use public parks, recreation buildings/facilities, amenities and/or equipment for outdoor festivals must file an application with the Corona Police Department and follow the procedures as set forth in [Chapter 5.30](#) of this code. All festivals and applications for same will also follow the policies and procedures previously stated.

12.24.120 Amplified sound.

Individuals or groups wishing to use amplified sound in an area not specifically designated for that purpose must obtain the written permission of the City Manager. Otherwise individuals must obtain written approval of the Director 30 days prior to the event on a first come first served basis.

12.24.130 Closure or restricted use of public parks, recreation buildings/facilities, amenities and equipment.

Any public parks, recreation buildings/facilities, amenities or equipment may be closed to the public or have their use restricted upon the order of the City Manager or of an Enforcement Officer whenever in his or her discretion such facility presents a hazard to the public welfare or safety or otherwise is in need of immediate renovation.



Staff Report

File #: 21-0985

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Police Department

SUBJECT:

Cooperative Agreement between the County of Riverside University Health System - Behavioral Health and the Corona Police Department.

EXECUTIVE SUMMARY:

A Mental Health/Law Enforcement Collaborative Cooperative Agreement with Riverside University Health System - Behavioral Health (RUHS - BH) allows a Community Behavioral Assessment Therapist/Clinician to partner with the Corona Police Department's Homeless Outreach Psychological Evaluation Team in response to calls involving mental health issues.

RECOMMENDED ACTION:

That the City Council:

- a. Approve the Cooperative Agreement between Riverside University Health System - Behavioral Health and the Corona Police Department for a three-year term ending June 30, 2024.
- b. Authorize the City Manager, or his designee, to execute the Cooperative Agreement between the Riverside University Health System - Behavioral Health and the Corona Police Department.
- c. Authorize the City Manager, or his designee, to negotiate and execute any extensions, addendums, and/or amendments to this Cooperative Agreement which are either non-substantive or otherwise in compliance with the City Council's actions hereunder.

BACKGROUND & HISTORY:

Riverside University Health System has specialized Community Behavioral Assessment Teams deployed throughout the County. On these teams, a clinical therapist is partnered with a police officer to respond to law enforcement calls for service involving behavioral health issues within a community. The team's goal is to avoid adverse outcomes by diverting individuals with mental health

issues to appropriate community services and behavioral health resources.

Currently, there are six (6) Community Behavioral Assessment Teams county-wide serving: Hemet Police Department, Indio Police Department, Moreno Valley Police Department, Murrieta Police Department, Riverside Police Department, and the Temecula Police Department. In addition to the Corona Police Department, eight (8) more of these teams are developing within the Riverside County, including Cabazon/Banning Police Department, Cathedral City Police Department, Jurupa Valley Police Department, Menifee Police Department, and the unincorporated county areas of Hemet, Palm Desert and Thermal Sheriff's stations.

ANALYSIS:

The City of Corona Police Department and Riverside University Health System-Behavioral Health are partnering to provide service to those experiencing a mental health crisis within the City of Corona through a Community Behavioral Assessment Team (CBAT). The team consists of a specially trained Homeless Outreach and Psychological Evaluation (HOPE) police officer with a County of Riverside Clinical Therapist. The officer and therapist ride together in the same patrol car 40 hours per week. These teams respond to calls for law enforcement services involving mental health issues of all community members, not limited to the unhoused population. At each call they handle, the therapist takes the lead role in evaluating the behavioral health issue of the individual(s) while the officer provides the safety over-watch and law enforcement expertise.

Through specialized training of the clinicians and focusing their scope of responsibilities, the Corona Police Department intends to provide more in-depth assistance to people in need of behavioral health services. Community Behavioral Assessment Teams also augment the HOPE Team's efforts. Corona Police partnering with CBAT provides an increasingly crucial partnership for police and the communities they serve, bringing the desirable social services required to keep our community safe.

In addition, many surrounding communities experienced significant benefits from this partnership with a reduction in calls for service, jail incarceration, and involuntary mental health treatment for individuals whose behavior is influenced by a mental health disorder.

The Cooperative Agreement shall be effective for three (3) years, beginning July 1, 2021, and ending June 30, 2024. The Cooperative Agreement may be renewed annually upon mutual consent by both parties and the availability of funding.

The City Attorney has reviewed and approved as to form the proposed Cooperative Agreement.

FINANCIAL IMPACT:

No appropriation is needed for this Cooperative Agreement. RUHS - BH will fully fund the Clinical Therapist without any offset or reimbursement required from the City. The Corona Police Department will provide a ballistic vest and carrier to the RUHS - BH Clinical Therapist at an approximate cost of \$1,375 from the Police Department's current Operating Budget.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California

Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This is merely an agreement to provide mental health services as part of the City's existing policing efforts within the community and there is no possibility this will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: CHAD FOUNTAIN, LIEUTENANT
MICHELLE ADAMS, MANAGEMENT ANALYST II

REVIEWED BY: ROBERT NEWMAN, CHIEF OF POLICE

Attachments:

1. Exhibit 1 - Riverside University Health System - Behavioral Health Cooperative Agreement

Reply to: Behavioral Health Administration
Program Support
4095 County Circle Drive
Riverside, CA 92503

September 30, 2021

City of Corona
730 Public Safety Way
Corona, CA 92880

RE: FY 2021/2022 Memorandum of Understanding for Crisis/Triage Mental Health Services

Enclosed is the FY 2021/2022 agreement between your agency and the County of Riverside, Riverside University Health System – Behavioral Health (RUHS-BH). Please sign two (2) and return one (1) original signature page only.

Pursuant to the terms of your agreement, proof of insurance must be submitted to our office prior to providing services and must be kept current throughout the course of this agreement. **Please submit your insurance documents via email to the analyst listed below.** If you have not already done so, it is also required that you submit a copy of your published rates (if applicable).

Also, please notify our office immediately, in writing and on your company letterhead, upon any change in contact information, mailing or remittance address, and any other pertinent changes that may occur in the course of the execution of this agreement.

To ensure timely processing of your agreement and avoid payment delays, it is imperative that the signed documents be received in our office **within one week of receipt of this letter and corresponding agreement.** We recommend that you send signed documents to our Behavioral Health Administration Office located at 4095 County Circle Drive, Riverside, CA 92503 using priority mail.

Your immediate attention to this matter is appreciated. If you have any questions regarding this matter, you can call Kola Sofeso at (951) 358-7304.

Sincerely,



Behavioral Health Administration
Contracts Administration & Program Support

**COOPERATIVE AGREEMENT
BETWEEN
COUNTY OF RIVERSIDE
RIVERSIDE UNIVERSITY HEALTH SYSTEM - BEHAVIORAL HEALTH
AND
THE CITY OF CORONA
FOR CRISIS/TRIAGE MENTAL HEALTH SERVICES**

THIS COOPERATIVE AGREEMENT ("AGREEMENT") is entered into by and between the County of Riverside, a political subdivision of the State of California, on behalf of Riverside University Health System - Behavioral Health (hereinafter "RUHS-BH") and the City of Corona, a California municipal corporation, by and through the City of Corona Police Department (hereinafter "CORONA PD") and is based on the following representations and statements of purpose (collectively "Parties" and each a "Party").

- A. WHEREAS, the purpose and intent of the General Community Outreach through the Mental Health/Law Enforcement Collaborative, is to allow RUHS-BH Mental Health Service Staff to team with Law Enforcement and respond to 9-1-1 calls involving mental health issues; and
- B. WHEREAS, CORONA PD desires to enter into a Cooperative Agreement with RUHS-BH for Crisis/Triage Mental Health Services; and
- C. WHEREAS, CORONA PD desires to enter into the Mental Health Crisis Intervention Team program in order to decrease adverse incidents involving mentally ill people, as detailed in this Cooperative; and
- D. WHEREAS, RUHS-BH is qualified to provide crisis/triage mental health and homeless outreach services; and
- E. WHEREAS, the AGREEMENT will serve as an understanding of the roles, responsibilities and services to be provided by CORONA PD and RUHS-BH; and

NOW, THEREFORE, the Parties mutually agree as follows:

I. SCOPE OF SERVICE

The purpose of the AGREEMENT between the Parties is to outline the roles and duties of the Parties to provide crisis/triage mental health and homeless outreach services.

II. PROGRAM GOALS

- A. Provide alternatives to those at risk of injury or death without appropriate mental health/substance use crisis/triage services provided directly in the community in collaboration with local law enforcement.

- B. Reduce jail incarcerations and involuntary mental health treatment/hospitalizations for individuals whose behavior is influenced by a mental health disorder/crisis and who are the subject of 9-1-1 calls.
- C. Attempt to divert individuals with behavioral health (mental health and/or substance use) problems into appropriate community services and supports.
- D. Engage hard to reach homeless who suffer from a serious mental illness and/or substance use disorder and link them to all available RUHS-BH and community resources in a coordinated and effective manner.

III. DUTIES AND RESPONSIBILITIES

A. RUHS-BH RESPONSIBILITIES

The duties and responsibilities of RUHS-BH are set forth in Attachment 1, attached hereto and incorporated herein by reference.

B. CORONA PD RESPONSIBILITIES

The duties and responsibilities of CORONA PD are set forth in Attachment 1, attached hereto and incorporated herein by reference.

IV. FISCAL PROVISIONS

- A. RUHS-BH shall fully fund one (1) Clinical Therapist II position without offset or reimbursement from CORONA PD.
- B. If the Parties desire to provide for such reimbursement, it shall be done through an amendment to this AGREEMENT.
- C. Equipment purchased by either Party will remain their property and shall be returned to them upon termination of this AGREEMENT.

This AGREEMENT shall be funded through funds identified in the annual RUHS-BH budgets and is subject to change dependent on funding fluctuations.

V. GENERAL PROVISIONS

A. EFFECTIVE PERIOD

This AGREEMENT shall be effective for three (3) years beginning July 1, 2021 and ending June 30, 2024. Thereafter, this AGREEMENT may be renewed annually upon mutual consent by both Parties and upon availability of funding.

B. ALTERATION OF TERMS AND ENTIRE AGREEMENT

This AGREEMENT, including any attachments or exhibits, constitutes the entire Agreement of the Parties with respect to its subject matter and supersedes all prior and contemporaneous representations, proposals, discussions and communications. No addition to, or alteration of, the terms of this AGREEMENT, whether by written or verbal understanding of the Parties, their officers, agents, or employees, shall be valid unless made in the form of a written amendment to this AGREEMENT, which is formally approved and executed by the Parties.

C. AMENDMENTS

In the event that either Party desires to amend the terms of this AGREEMENT, the Parties will comply with the terms of this AGREEMENT until such time as the amendment is approved or formal action is taken by the County of Riverside Board of Supervisors and the Corona City Council.

D. TERMINATION

This AGREEMENT may be terminated by either Party by giving 30 days written notice by certified mail of intention to terminate, such period beginning upon receipt of notice, and may be terminated for cause, such as a willful and/or material breach of the AGREEMENT by either party by giving five (5) days written notice of intention to terminate by certified mail.

E. NOTICES

All notices, claims correspondence, reports, and/or statements authorized or required by this AGREEMENT shall be addressed as follows:

RUHS-BH: County of Riverside
Riverside University Health System - Behavioral Health
Program Support Unit
4095 County Circle Drive
Riverside, CA 92503

CORONA PD: City of Corona
Corona Police Department
730 Public Safety Way
Corona, CA 92880

Unless the persons or addresses are otherwise identified by notice given in the manner specified by this paragraph, all notices shall be deemed effective when they are reduced to writing and deposited in the United States mail, postage prepaid, and addressed as above. Any notices, correspondences, reports, and/or statements authorized or required by this AGREEMENT addressed in any other fashion shall not be acceptable.

F. CONFIDENTIALITY

CORONA PD and RUHS-BH shall protect from unauthorized disclosure names and other identifying information concerning persons receiving services pursuant to this AGREEMENT in accordance with all applicable Federal, State and local laws and regulations. CORONA PD and RUHS-BH will ensure that names, addresses, phone numbers, and any other individually identifiable information concerning persons receiving services pursuant to this AGREEMENT are kept confidential.

CORONA PD and RUHS-BH shall maintain the confidentiality of all health records concerning persons receiving services pursuant to this AGREEMENT that it maintains, receives, or sends. Records include, but may not be limited to, claims that include individual identifying client information, individually identifiable health records and information, and/or Management Information System records. CORONA PD and RUHS-BH shall have reasonable safeguards in place to prevent unauthorized access to such records.

Applicable Confidentiality Laws include, but may not be limited to, California Welfare & Institutions Code, Sections 5328 through 5330, inclusive, 45 CFR Section 205.50, 42 CFR-Chapter 1-Part 2. CORONA PD and RUHS-BH shall require all its officers, employees, and agents providing services hereunder to acknowledge the understanding of and agreement to fully comply with, such confidentiality provisions.

Each Party shall indemnify and hold harmless the other Party and its officers, employees, and agents, from and against any and all loss, damage, liability, and expense arising from any unauthorized disclosure of any records or other identifying information concerning persons receiving services pursuant to this AGREEMENT.

RUHS-BH agrees to maintain the confidentiality of all criminal and law enforcement information in accordance with all applicable Federal, State and local laws and regulations. RUHS-BH will ensure that names, addresses, phone numbers, and any other individually identifiable information concerning criminal violations and related law enforcement activities they may be receiving are kept confidential. RUHS-BH will not divulge CORONA PD confidential information to any unauthorized person. RUHS-BH shall indemnify and hold harmless CORONA PD and its officers, employees, and agents, from and against any and all loss, damage, liability, and expense arising from any unauthorized disclosure of any records or other individually identifiable information concerning criminal violations and related law enforcement activities.

RUHS-BH shall maintain the confidentiality of all mental health and substance use health records that it maintains, receives, or sends to CORONA PD. include, but may not be limited to, claims that include individual identifying client information, individually identifiable health records and information, and/or Management Information System records. RUHS-BH shall have reasonable safeguards in place to prevent unauthorized access to records.

VI. MISCELLANEOUS PROVISIONS

- A. **SEVERABILITY**: If any provision in this AGREEMENT is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions will nevertheless continue in full force without being impaired or invalidated in any way.
- B. **INDEPENDENT PARTNERS**: It is understood and agreed RUHS-BH AND CORONA PD is each an independent entity and that no relationship of employer employee exists between the Parties hereto. Neither Party shall be responsible for the payment of any compensation or benefits for any employees of the other Party. CORONA PD shall not be entitled to any benefits payable to employees of the County of Riverside or RUHS-BH, including County Workers' Compensation Benefits. RUHS-BH shall not be entitled to any benefits payable to employees of the City of Corona or CORONA PD, including County Workers' Compensation Benefits. . RUHS-BH shall pay all wages, salaries, and other amounts due to any employees of RUHS-BH in connection with their performance of under this Agreement and as required by law. RUHS-BH shall be responsible for all reports and obligations respecting such personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers' compensation insurance.
- C. **INSURANCE-INDEMNIFICATION**: Each Party shall defend, indemnify and hold harmless the other Party, its elected officials, officers, agents and employees, from and against any and all claims, demands, judgments or liabilities whatsoever, including wrongful death, arising from any and all negligent acts or omissions of the indemnifying party and its elected officials, officers, agents and employees when acting pursuant to the terms of this AGREEMENT. Without limiting such indemnification, each Party shall maintain, at its sole cost and expense, the following insurance policies evidencing coverage during the entire term of the AGREEMENT:
1. General liability insurance in the amount of not less than \$1,000,000 per occurrence and aggregate.
 2. Workers' Compensation insurance in accordance with statutory requirements.
 3. If motor vehicles are used pursuant to this AGREEMENT, not less than \$1,000,000 combined single limit for damage to property and injury to persons.
- These requirements may be met by a program of self-insurance.
- D. **RECORD RETENTION**: RUHS-BH agrees to retain all records pertaining to this AGREEMENT for a period of three years after termination of this AGREEMENT, or such federal and state provisions in effect. If, at the end of three years, there is ongoing

litigation or an audit involving those records, RUHS-BH shall retain the original records until the resolution of such litigation or audit.

- E. JURISDICTION, VENUE, ATTORNEY'S FEES: This AGREEMENT is to be construed under the laws of the State of California. The Parties agree to the jurisdiction and venue of the appropriate courts in the County of Riverside, State of California. Should action be brought to enforce or interpret the provisions of this AGREEMENT, the prevailing party shall be entitled to attorney's fees in addition to whatever other relief is granted.

SIGNATORIES

RUHS-BH and CORONA PD mutually agree to fully and faithfully perform all applications set forth in this AGREEMENT. Both parties agree to have their duly authorized signatories sign this AGREEMENT.

COUNTY ADDRESS:
County of Riverside
Board of Supervisors
4080 Lemon Street, 5th Floor
Riverside, CA 92501

INFORMATION COPY:
County of Riverside
Riverside University Health System - Behavioral Health
Attn: Program Support
P.O. Box 7549
Riverside, CA 92503-7549

CITY OF CORONA:

Signed: _____

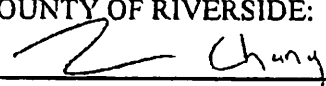
Title: _____

Date: _____

ATTEST: _____
City Clerk

Deputy: _____

COUNTY OF RIVERSIDE:


Matthew Chang, M.D., MMM, Director
Riverside University Health System -
Behavioral Health

Date: 9/14/2021

Address: City of Corona
730 Public Safety Way
Corona, CA 92880

CITY ATTORNEY:
Approved as to Form

By: _____
Deputy City Attorney

COUNTY COUNSEL:
GREGORY P. PRIAMOS
Approved as to Form

By:  _____
Deputy County Counsel

ATTACHMENT 1

A. RUHS-BH RESPONSIBILITIES

RUHS-BH will provide one full time Clinical Therapist II ("RUHS-BH Assigned Personnel") to work with CORONA PD. If the RUHS-BH Assigned Personnel is determined by CORONA PD to be uncooperative, incompetent, a threat to the adequate or timely completion of services under this Agreement, or a threat to the safety of persons or property, such RUHS-BH Assigned Personnel shall be promptly removed by RUHS-BH and shall not be permitted to provide services to CORONA PD under this Agreement and RUHS-BH shall substitute other personnel of at least equal competence upon written approval of CORONA PD.

CORONA PD Assignments:

1. RUHS-BH Assigned Personnel will work directly with CORONA PD police officers on patrol and with CORONA PD administrators to bring direct knowledge and experience regarding mental health resources.
2. All RUHS-BH Assigned Personnel will be required to pass security background requirements as determined by CORONA PD.
3. RUHS-BH Assigned Personnel shall be required to adhere to dress code requirements as specified by CORONA PD for Crisis Intervention Team members.
4. RUHS-BH shall furnish polo shirts and light jackets with logos or insignia as approved by CORONA PD for use by RUHS-BH Assigned Personnel.
5. RUHS-BH will provide RUHS-BH Assigned Personnel with cell phones that have e-mail functionality.
6. RUHS-BH Information Technology (IT) staff will coordinate IT installation of RUHS-BH ELMR database and e-mail with CORONA PD IT staff.
7. RUHS-BH Assigned Personnel will routinely attend CORONA PD daily roll calls in order to provide consultation and brief training as it is identified and requested by CORONA PD.
8. RUHS-BH Assigned Personnel will routinely be assigned by CORONA PD to ride with patrol officers in the field in order to respond to 9-1-1 calls as requested by CORONA PD Dispatch.
9. RUHS-BH Assigned Personnel will work to find alternatives to divert persons experiencing a mental health crisis into mental health services and support including

emergency housing, hospitalization, outpatient mental health services and other mental health support services.

10. RUHS-BH Assigned Personnel will provide alternatives to incarceration and arrest through referral and linkage to other community based mental health, substance use (SU), and/or social services resources.

11. RUHS-BH Assigned Personnel will provide alternatives to mental health involuntary treatment through referral and linkage to other community based mental health/substance use and social services resources.

12. RUHS-BH Assigned Personnel will provide crisis intervention service planning for individuals with mental health issues who are frequently the subject of 9-1-1 calls.

13. RUHS-BH Assigned Personnel will work directly with CORONA PD to improve the appropriateness and quality of mental health detentions.

14. RUHS-BH Assigned Personnel will work with CORONA PD to provide direct intervention from the perspective of mental health background and training.

15. RUHS-BH Assigned Personnel will provide engagement and outreach services to homeless mentally ill persons who come in contact with CORONA PD police officers.

16. RUHS-BH Assigned Personnel will provide assistance in dealing with calls involving domestic disturbances or violence that involve persons with potential mentally ill or substance use issues. RUHS-BH Assigned Personnel will provide assistance and support to children and families in crisis, and linkage to appropriate community services.

17. RUHS-BH Assigned Personnel will assist the CORONA PD in establishing Crisis Intervention Teams (CITs) consisting of CORONA PD police officers who are specialty trained and certified by CORONA PD in mental health crisis intervention to be deployed to 5150/9-1-1 calls.

18. RUHS-BH Assigned Personnel will have computer and telephone access, RUHS-BH enrollment, and service contact information to utilize and assist enrolled clients and CORONA PD police officers responding to 5150 calls.

19. When direct services with CORONA PD patrol officers are not needed, RUHS-BH Assigned Personnel will remain at the police department offices and will provide consultation in person, by telephone or radio for CORONA PD police officers responding to mental health crisis situations.

20. Police officers often go to locations where homeless persons congregate. RUHS-BH Assigned Personnel may accompany CORONA PD police officers to work with homeless people where they congregate in order to identify and engage persons that may be eligible for RUHS-BH services and/or to facilitate referrals and linkage to community resources that may assist general population and homeless persons. RUHS-BH Assigned Personnel will coordinate follow-up outreach with RUHS-BH Homeless Outreach Teams and/or City of Corona Homeless Outreach Teams as needed. RUHS-BH Assigned Personnel will work in the office to arrange social service supports and coordinate services with other agencies and programs.

21. RUHS-BH Assigned Personnel will coordinate with jail incarceration diversion teams and programs including mental health and drug courts to intervene and help to divert persons with a serious mental health disorder into appropriate and recommended mental health treatment services and supports, and persons with impairing substance use disorders into substance abuse treatment services and supports.

22. RUHS-BH Assigned Personnel may work directly with RUHS-BH Detention Mental Health staff to coordinate MH/SU services and assist with issues involving inmates detained through CORONA PD in post-booking, pre-trial diversion and linkage to community resources upon release from incarceration.

23. RUHS-BH Assigned Personnel may work with other mental health crisis response services involving 9-1-1 calls, such as training and support to ambulance emergency medical technicians and Riverside Fire Department (RFD) paramedics.

24. RUHS-BH Assigned Personnel will develop public information brochures regarding police/mental health collaboration, contact information and phone numbers for community resources and referrals, and Frequently Asked Questions (FAQs).

25. And other duties as agreed upon by both Parties.

B. CORONA PD RESPONSIBILITIES

1. CORONA PD will permit RUHS-BH Assigned Personnel to accompany CORONA PD police officers responding to requests for assistance in the field involving potential mental health, substance use and/or homeless issues.

2. CORONA PD will provide work stations with computers and Internet access at each of the CORONA PD substations for use by RUHS-BH Assigned Personnel.

3. CORONA PD will provide RUHS-BH Assigned Personnel with appropriate access cards into CORONA PD Police Stations as identified by CORONA PD.

4. CORONA PD IT staff will coordinate IT installations with RUHS-BH IT, this includes compliance with Federal HIPAA required level of security and providing RUHS-BH Assigned Personnel with a City of Corona e-mail account.
5. CORONA PD will conduct security background investigations for RUHS-BH Assigned Personnel and maintain the confidential records of the investigation outcomes.
6. CORONA PD shall provide a ballistic vest to RUHS-BH Assigned Personnel.
7. CORONA PD will provide training, based on a curriculum developed and approved by RUHS-BH, regarding field operations and safety.
8. And other duties as agreed upon between by both Parties.



Staff Report

File #: 21-0990

**REQUEST FOR CITY COUNCIL AND
CORONA UTILITY AUTHORITY ACTION**

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members
Honorable President and Board Members

FROM: Utilities Department

SUBJECT:
Master Services Agreement with Paymentus Corporation for electronic processing of utility payments.

EXECUTIVE SUMMARY:

The City of Corona Utilities Department processes utility customer payments for an estimated 44,000 accounts. More than half of the payments collected are processed electronically. The Utilities Department recommends approval to extend the Paymentus Corporation Master Services Agreement from 2016 through June 30, 2023 ("Initial Term") and increase the annual purchase order amount to \$500,000 through Fiscal Year 2023.

RECOMMENDED ACTION:

That the:

- a. City Council approve and authorize the City Manager, or his designee, to reinstate and execute the Master Services Agreement from 2016 with Paymentus Corporation of Charlotte, NC (Paymentus).
- b. City Council approve an extension of the Master Services Agreement from 2016 through June 30, 2023.
- c. City Council authorize the Purchasing Manager to issue purchase orders for Electronic Processing of Utility Payments to Paymentus Corporation of Charlotte, NC for \$500,000 per fiscal year for Fiscal Years 2022 and 2023.
- d. City Council authorizes the General Manager and City Attorney, or their designees, to

negotiate and execute non-substantive extensions, change orders, and amendments up to \$50,000 or 10% of the original contract amount as authorized in the Corona Municipal Code [Section 3.08.060\(J\)](#).

- e. City Council make a determination under Corona Municipal Code [Section 3.08.140\(E\)](#) that competitive bidding is not required for this purchase based upon the reasons provided in the "Basis for Exception to Competitive Bidding" section of this report.
- f. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

BACKGROUND & HISTORY:

The City of Corona Utilities Department (UD) processes utility customer payments for more than 44,000 accounts. UD offers a variety of ways in which utility customers can make their payments, including:

- Online through UD's website - iLink Payment Portal
- Automatic Bill Pay Program (AutoPay)
- By phone with a Customer Care Representative or via the Interactive Voice Response (IVR) system
- In-person at the UD Public Counter
- At the drop box located at City Hall Parking Lot
- By mail
- PayNearMe at 7 Eleven locations
- Western Union

Approximately 63 percent of the payments collected by the UD are processed electronically via Paymentus. The UD transitioned to using Paymentus' services in 2013 with the launch of the online payment portal iLink and expanded Paymentus' services by adding the IVR system in 2014. In April 2016, the City Council approved a Master Services Agreement (Agreement) with Paymentus for an initial 3-year term which ended on April 5, 2019. At the end of the initial term, the Agreement automatically renews for successive one-year periods, unless either party provides written notice with no less than six months before such renewal date to not automatically renew the term of this Agreement. Per Corona Municipal Code (CMC) Section [3.08.060\(K\)](#), there is a six-year term limitation on general service contracts and extensions unless specifically approved by City Council action. This term limitation expires on April 5, 2022.

ANALYSIS:

Paymentus has over 1,500 clients across a variety of industries and close to 127 within the State of California, including agencies such as the City of Santa Monica, City of Chino Hills, City of Brea, City of Orange, Western Municipal Water District, City of Colton, and Contra Costa Water District amongst others.

Paymentus' payment processing services such as process integrations, training, security, licensing, 24/7 live customer support, and IVR system are all-inclusive within their per-transaction rates for the different types of payments processed as listed in the Master Services Agreement Schedule A -

Paymentus Service Fee Schedule. Paymentus now offers additional payment methods such as Amazon Pay, PayPal, PayPal Credit, and Venmo, allowing the UD to offer more convenient and flexible ways for customers to make their utility payments.

Currently, the UD spends approximately \$450,000 in payment transaction fees annually with Paymentus. The amount authorized for Paymentus' Purchase Order (PO) for Fiscal Year (FY) 2021 is up to \$500,000 annually. The UD recommends authorization for Paymentus' PO to be issued for \$500,000 annually through FY 2023 with the ability to process a change order as authorized by CMC Section 3.08.060(J) to ensure there is sufficient room to accommodate growth in the number of accounts and transactions as well as customer's preference in the method of payments.

Basis for Determination of Competitive Bidding:

Staff believes that an exception to competitive bidding is warranted for this purchase pursuant to Corona Municipal Code ("CMC") [Section 3.08.140\(E\)](#), which states as follows:

"When the purchasing agent and the authorized contracting party, with the approval of the City Manager, determine that it is in the best interest of the city and its administrative operations to dispense with public bidding for non-public projects under this chapter."

Paymentus offers a wide variety of payment solutions and the ability to interface with the UD's billing system to allow real-time payment posting, meets Payment Card Industry Data Security Standard (PCI DSS) "Level 1" compliance which requires that credit information is maintained in a secure environment for merchants processing over six million transactions per year and provides comparable pricing that they've maintained since 2016.

The UD staff conducted a survey of several agencies using Paymentus as their payment processor vendor and concluded that the rates offered to Corona are comparable to what other agencies pay, as shown in the table below. The rates vary across agencies due to factors such as the combination of the types of payments received by the agency, the per transaction limit, and volume.

Transaction Rate:	City of Corona	City of Chino Hills	City of Winters	City of El Segundo	City of Colton
Credit/Debit	\$1.90	\$1.53	\$1.92	2.50%	\$1.70
Scheduled ACH/eCheck	\$0.30	\$0.40	\$0.50	0.75%	\$1.00
Non Qualifying Excess Fee	2.50%	2.65%	2.95%	2.75%	2.65%
Charge Backs/Returns (per item)	No Fee	\$9.95	\$9.95	NA	NA

The UD recommends dispensing from bidding this service at this time and requests approving the extension to Paymentus' Master Services Agreement through June 30, 2023. This will allow the UD to evaluate the Utility's Billing System and Customer Payment Portal and prepare a Request for Proposal (RFP) for a payment processing merchant that meets the needs and functionality of those systems. In 2016, the City awarded a contract to Paymentus for \$350,000 based on the competitive process of another agency. Since Paymentus has agreed to maintain the same rates from 2016 through the end of June 30, 2023, it is in the City's best interest to dispense from bidding at this

time while the City finishes its Billing System and Customer Payment Portal analyses.

FINANCIAL IMPACT:

Funding for the recommended action is available in the Fiscal Year 2022 UD operating budget. Funding for future fiscal years will be requested through the budget process.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is to approve a master services agreement with a payment processing vendor. There is no possibility that adopting this agreement will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: JACQUELINE ZUKERAN, BUSINESS MANAGER

REVIEWED BY: TOM MOODY, GENERAL MANAGER

Attachments:

1. Exhibit 1 - Paymentus Master Services Agreement



MASTER SERVICES AGREEMENT

Client:	City of Corona (CA)
Client Address:	755 Public Safety Way Corona, CA 92880
Contact for Notices to Client:	Tom Moody, DWP General Manager

This Master Services Agreement ("Master Agreement") is entered into as of the Effective Date below, by and between the Client ("Client") identified above and **Paymentus Corporation**, a Delaware Corporation ("Paymentus").

WHEREAS Paymentus desires to provide and the Client desires to receive certain services under the terms and conditions set forth in this Agreement. Paymentus provides electronic bill payment services to utilities, municipalities, insurance and other businesses.

NOW, THEREFORE, in consideration of the mutual covenants hereinafter set forth, the receipt and sufficiency of which are hereby acknowledged, the parties, intending to be legally bound, hereby covenant and agree as follows. This Agreement consists of this signature page, General Terms and Conditions, and the attachments ("**Attachments**") with schedules ("**Schedules**") listed below:

Schedule A: Paymentus Service Fee Schedule

This Agreement represents the entire understanding between the parties hereto with respect to its subject matter and supersedes all other written or oral agreements heretofore made by or on behalf of Paymentus or Client with respect to the subject matter hereof and may be changed only by agreements in writing signed by the authorized representatives of the parties. Paymentus and Client expressly agree that this Master Agreement shall supersede and replace that certain Master Services Agreement entered into by Paymentus and Client on or about April 6, 2016.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly authorized representatives.

Client:

By: _____

Name: _____

Title: _____

Date: _____

Paymentus Signed by:

By:  _____

Name: David Shapiro

Title: SVP

Date: 10/5/2021



GENERAL TERMS AND CONDITIONS

1 Definitions:

For the purposes of this Agreement, the following terms and words shall have the meaning ascribed to them, unless the context clearly indicates otherwise.

1.1 **"Agreement"** or **"Contract"** shall refer to this Agreement, as amended from time to time, which shall constitute an authorization for the term of this contract for Paymentus to be the exclusive provider of services, stated herein, to the Client

1.2 **"User"** shall mean the users of the Client's services

1.3 **"Effective Date"** shall be April 6, 2016.

1.4 **"Launch Date"** shall be the last date upon which the parties signed this Agreement.

1.5 **"Payment"** shall mean Users to make payments for Client's services or Client's bills

1.6 **"Payment Amount"** shall mean the bill amount User wants to pay to the Client.

1.7 **"Services"** shall include the performance of the Services outlined in section 2 of this Agreement

1.8 **"Paymentus Authorized Processor"** shall mean a Paymentus authorized merchant account provider and payment processing gateway

1.9 **"Average Bill Amount"** shall mean the total amount of Payments collected through Paymentus system in a given month divided by the number of the Payments for the same month.

1.10 **"Non-Qualified Transactions"** shall refer to a fee generated when a transaction does not qualify as a consumer utility rate qualified transaction.

1.11 **"User Data"** means, for a particular User, account name, account number, Payment information, Payment Amount, credit card information and any other personally identifiable information concerning the User.

2 Description of Services to be performed

2.1 Scope of Services

Paymentus shall provide Users the opportunity to make Payments by Visa, MasterCard, Discover, American Express, E-check and other payment methods as deemed necessary by Paymentus. Payments may be made by Interactive Telephone Voice Response System ("IVR") or secure Internet interface provided at the Paymentus Corporation's web site or other websites part of Paymentus' Instant Payment Network ("WebSites"), collectively referred to as the ("System" or "Platform").

3 Compensation

3.1 No Cost Installation

Paymentus will charge no fees related to the initial setup and personalization of its standard service for both Web and IVR interfaces.

3.2 Paymentus Service Fee

For each payment, Paymentus will charge a Paymentus Service Fee as per Schedule A (hereinafter called "Paymentus Service Fee").

For each payment, the Paymentus Service Fee collected will be used to pay the corresponding Credit Card transaction fees or transaction fees associated with Debit Cards or eChecks (hereinafter called "Transaction Fees") except for the return items (eCheck returns or Credit/Debit Card chargebacks).

A schedule of Paymentus Service Fee is attached hereto as Schedule A. The Paymentus Service Fee is based on the Average Bill Amount, current payment method mix (credit vs debit vs e-check) and on the assumption that the total Payment Amount collected each month from Non-Qualified Transactions does not exceed 10% of the total card volume of the Payment Amount collected by Paymentus per month for all payment methods ("Fee Assumptions"). Client shall be billed an additional Paymentus Service Fee, referred to as a "Non-Qualified Transaction Fee", calculated pursuant to the formula set forth below, if the Payment Amount collected each month from Non-Qualified Transactions exceeds 10% of the total Payment Amount collected by Paymentus per month for all payment methods. Paymentus can amend this schedule upon thirty (30) days prior written notice to

Paymentus

the Client, if such change is required due to changes in the Visa and MasterCard regulations or changes in Credit Card fees or changes in the Average Bill Amount or changes in Fee Assumptions.

Formula to be used for calculating Non-Qualified Transaction Fee:

Total Payment Amount of Non-Qualified Transactions minus (10% of the total Payment Amount from all payment methods), multiplied by 2.5% = Non-Qualified Transaction Fee Amount.

4 Payment Processing

4.1 Integration with Client's Billing System

At no cost to Client, Paymentus will develop one (1) file format interface with Client's billing system using Client's existing text file format currently used to post payments to Client's billing system. Client will be responsible to provide Paymentus with the one file format specification and will fully cooperate with Paymentus during the development of the said interface. If Client chooses to create an automated file integration process to download the posting file, due to Paymentus security requirements, Client will use Paymentus specified integration process. Paymentus platform is an independent full service fully hosted platform per PCI-DSS requirements for a fully hosted solution. As such, Paymentus platform does and can function independent of any billing system integration. A payment posting file can be emailed or downloaded from Paymentus Agent Dashboard. If Client chooses to have Paymentus platform integrated with its billing system, Paymentus offers two options:

(i) Paymentus standard integration specification that Client can use to integrate its billing systems with Paymentus platform ("Standard Integration"); (or)

(ii) Paymentus to either customize or configure its platform to integrate with Client using file specification or APIs supported by Client's billing system ("Client Specific Integration")

If Client chooses Standard Integration, Paymentus agrees to fully cooperate with Client and provide its specification to Client. Paymentus also agrees to participate in meetings with Client's software vendor to provide any information or clarifications needed to understand Standard Integration. Time is of the essence and Paymentus agrees to provide all integration/interface specifications within 30 days from the Effective Date. Client will take commercially reasonable steps to

develop the integration within 60 days from the date on which Client has received all integration specifications from Paymentus. Parties agree that if Paymentus does not cooperate fully, it can lead to Client being unable to perform its duties to deliver the integration in time.

If Client chooses Client Specific Integration, Paymentus agrees to develop such integration at no cost to Client, provided however, Client agrees to fully cooperate with Paymentus and cause its software vendors to fully cooperate with Paymentus. Client agrees to provide all specification required for Client specific integration. Client further agrees to participate in testing with Paymentus and if needed, cause its billing software vendors to participate in testing. Time is of the essence and Client agrees to provide or make available all integration/interface specifications within 30 days from the Effective Date. Paymentus will take commercially reasonable steps to develop the integration within 60 days from the date on which Paymentus has received all the integration specifications from Client or its vendors. Parties agree that if Client does not cooperate fully or is unable to cause its software vendors to cooperate fully with Paymentus, it can lead to Paymentus being unable to perform its duties to deliver the integration in time.

Based on Client's use of Paymentus platform and respective modules selected under this Agreement, Paymentus will require the following integration points:

- (i) For one time Payment Module:
 - a. Customer Information – Text File or Real-time
 - b. Payment Posting – Text File or Real-time
- (ii) For Recurring Payment Module
 - a. Text File
- (iii) For E-billing Module
 - a. Billing Data - Text File or Real-time link to billing data
- (iv) For Outbound Notification
 - a. Audience File – Text File for customer engagement messages

Each of these can be based on Standard Integration or Client Specific Integration.

4.2 PCI Compliance

For PCI Compliance, Client has two options for using Paymentus platform:

- (i) Paymentus Fully Hosted Solution; or
- (ii) Any other configuration

Paymentus

Client agrees to use Paymentus' fully hosted service where Paymentus uses its own platform to capture Payments and to manage the entire (end to end) user experience from all channels for Payment acceptance: Web, Mobile, IVR, POS devices (per Paymentus recommended setup), recurring payments, Ebill Presentment ("Paymentus Fully Hosted Solution"). If Client chooses any other integration such as third party web pages integrated with Paymentus APIs, third party gateway pages, or its own IVR systems or POS solution not recommended by Paymentus, or a cashiering module from third party, Client expressly agrees that Client shall not be exempt from PCI requirements and shall be liable for any data breaches occurring on its own systems as Client's recognizes that Client systems are participating in the transactions and are in scope for PCI compliance. Under such circumstances, Paymentus shall not be responsible for any PCI obligations outside of Paymentus own platform and Paymentus expressly disclaims any PCI or security obligations related to Client systems or any third party systems that participate in the payment transactions that are outside of Paymentus Platform.

Paymentus highly recommends that Client uses Paymentus Fully Hosted Solution to substantially reduce its PCI compliance and data breach risks.

If Client chooses to use any other option other than Paymentus Fully Hosted Solution, Client agrees and warrants that Client shall remain PCI compliant throughout the term of this Agreement. For clarity, just because Client uses PCI compliant applications such as its billing software, it does not eliminate the need for Client to be PCI compliant. Per PCI requirements, if a party's systems participate in processing, or accepting or storing card transactions, such party is required to be PCI compliant as the systems are in scope.

All User Data shall only be stored or maintained on servers located within the United States and Canada. Paymentus shall provide thirty (30) days advance written notice prior to storing or hosting any User Data on a server located anywhere other than the United States or Canada. If Client does not agree to the storage or hosting of User Data on servers located anywhere other than the United States or Canada, Client shall have the right, without penalty, to terminate this Agreement upon ten (10) days' notice to Paymentus.

Paymentus will promptly notify Client of any actual or potential exposure or misappropriation of User Data that comes to Paymentus' attention. At a minimum,

Paymentus shall provide the date or estimated date of the breach and a general description of the breach event. Paymentus will, at its expense, reasonably cooperate with Client and with law enforcement agencies in any effort to notify injured or potentially injured parties. Paymentus will be responsible for data breaches of User Data subject to the limitation of liability provisions in Section 8.4.

All User Data in transit shall be encrypted using AES 128/256 bit encryption and sensitive data shall be stored encrypted at rest. Paymentus also uses SSL for additional level of security.

Paymentus agrees to provide the City with an SSAE audit report (SOC 1 or SOC 2) upon request.

4.3 Explicit User Confirmation

Paymentus shall confirm the Payment Amount to be charged to a User's card and electronically obtain the User approval of the Payment Amount prior to initiating card authorizations transaction. Paymentus will provide User with electronic confirmation of all transactions.

4.4 Merchant Account

Paymentus will arrange for the Client to have a merchant account with the Paymentus Authorized Processor for processing and settlement of the credit card transactions.

4.5 Card Authorization

For authorization purposes, Paymentus will electronically transmit all card transactions to the appropriate card processing center in real time as the transactions occur.

4.6 Settlement

Paymentus together with its authorized Card processor shall forward the Payment Amount for settlement directly to the Client's depository bank account previously designated by the Client (hereinafter the "Client Bank Account").

Paymentus will submit to Client a monthly itemized statement of the Paymentus Service Fees due. Client shall, within thirty (30) days of receiving such statement review the statement and pay all approved charges thereon.

Paymentus together with Paymentus Authorized Processor will continuously review its settlement and

Paymentus

direct debit processes for its simplicity and efficiencies. Client and Paymentus agree to fully co-operate with each other if Paymentus were to change its settlement and invoicing processes.

5 General Conditions of Services

5.1 Service Reports

Paymentus shall provide Client with reports summarizing use of the Services by Users for a given reporting period.

5.2 User Adoption Communication by Client

Client will make Paymentus' Services available to its residential and commercial Clients by different means of Client communication including a) through bills, invoices and other notices; b) by providing IVR and Web payment details on the Client's website including a "Pay Now" or similar link on a mutually agreed prominent place on the web site; c) through Client's general IVR/Phone system; and d) other channels deemed appropriate by the Client.

Paymentus shall provide Client with logos, graphics and other marketing materials for Client's use in its communications with its users regarding the Services and/or Paymentus.

Both parties agree that Paymentus will be presented as a payment method option. Client will communicate Paymentus option to Users wherever Client usually communicates its other payment methods.

5.3 Independent Contractor

Client and Paymentus agree and understand that the relationship between both parties is that of an independent contractor.

5.4 Client's Responsibilities

In order for Paymentus to provide Services outlined in this Agreement, the Client shall co-operate with Paymentus by:

- (i) Client will enter into all applicable merchant card or cash management agreements.
- (ii) For the duration of this Agreement, Client will keep a bill payment link connecting to Paymentus System at a prominent and mutually agreed location on the Client website. The phone number for the IVR payment will also be added to the web site. Client will

also add the IVR payment option as part of the Client's general phone system.

- (iii) User Adoption marketing as described in 5.2.
- (iv) Within 30 days of the merchant account setup, Client will launch the service to the Users.
- (v) For the purpose of providing Client a posting file for posting to Client's billing system, Client will provide the file format specification currently used to post its payments to the billing system. Client will fully cooperate with Paymentus and provide the information required to integrate with Client's billing system.

6 Governing Laws

This Agreement shall be governed by the laws of the state of California.

7 Communications

7.1 Authorized Representative

Each party shall designate an individual to act as a representative for the respective party, with the authority to transmit instructions and receive information. The parties may from time to time designate other individuals or change the individuals.

7.2 Notices

All notices of any type hereunder shall be in writing and shall be given by Certified Mail or by a national courier or by hand delivery to an individual authorized to receive mail for the below listed individuals, all to the following individuals at the following locations:

To Client

C/O: City of Corona
Jonathan Daly, General Manager
Address: 755 Public Safety Way
Corona, CA 92880
Email: jonathan.daly@ci.corona.ca.us

To Paymentus

C/O: President and CEO
Address: 13024 Ballantyne Corporate Place
Suite 450
Charlotte, NC 28277
Email: ceo@paymentus.com

Notices shall be declared to have been given or received on the date the notice is physically received

Paymentus

if given by hand delivery, or if notices given by US Post, then notice shall be deemed to have been given upon on date said notice was deposited in the mail addressed in the manner set forth above. Any party hereto by giving notice in the manner set forth herein may unilaterally change the name of the person to whom notice is to be given or the address at which the notice is to be received.

7.3 Interpretation

It is the intent of the parties that no portion of this Agreement shall be interpreted more harshly against either of the parties as the drafter.

7.4 Amendment of Agreement

Modifications or changes in this Agreement must be in writing and executed by the parties bound to this Agreement.

7.5 Severability

If a word, sentence or paragraph herein shall be declared illegal, unenforceable, or unconstitutional, the said word, sentence or paragraph shall be severed from this Agreement, and this Agreement shall be read as if said word, sentence or paragraph did not exist.

7.6 Attorney's Fees

Should any litigation arise concerning this Agreement between the parties hereto, the parties agree to bear their own costs and attorney's fees.

7.7 Confidentiality

Unless otherwise required by applicable federal or state law or court order, Client will not disclose to any third party or use for any purpose inconsistent with this Agreement any confidential or proprietary non-public information it obtains during the term of this Agreement about Paymentus' business, operations, financial condition, technology, systems, no-how, products, services, suppliers, Clients, marketing data, plans, and models, and personnel. Paymentus will not disclose to any third party or use for any purpose inconsistent with this Agreement any confidential User information it receives in connection with its performance of the services.

7.8 Intellectual Property

In order that the Client may promote the Services and Paymentus' role in providing the

Services, Paymentus grants to Client a revocable, non-exclusive, royalty-free, license to use Paymentus' logo and other service marks (the "Paymentus Marks") for such purpose only. Client does not have any right, title, license or interest, express or implied in and to any object code, software, hardware, trademarks, service mark, trade name, formula, system, know-how, telephone number, telephone line, domain name, URL, copyright image, text, script (including, without limitation, any script used by Paymentus on the IVR or the WebSite) or other intellectual property right of Paymentus ("Paymentus Intellectual Property"). All Paymentus Marks, Paymentus Intellectual Property, and the System and all rights therein (other than rights expressly granted herein) and goodwill pertain thereto belong exclusively to Paymentus.

7.9 Force Majeure

Paymentus will be excused from performing the Services as contemplated by this Agreement to the extent its performance is delayed, impaired or rendered impossible by acts of God or other events that are beyond Paymentus' reasonable control and without its fault or judgment, including without limitation, natural disasters, war, terrorist acts, riots, acts of a governmental entity (in a sovereign or contractual capacity), fire, storms, quarantine restrictions, floods, explosions, labor strikes, labor walk-outs, extra-ordinary losses utilities (including telecommunications services), external computer "hacker" attacks, and/or delays of common carrier.

7.10 Time of the Essence

Paymentus and Client acknowledge and agree that time is of the essence for the completion of the Services to be performed and each parties respective obligations under this Agreement.

8 Indemnification

8.1 Paymentus Indemnification and Hold Harmless

Paymentus agrees to the fullest extent permitted by law, to indemnify and hold harmless the Client and its governing officials, agents, employees, and attorneys (collectively, the "Client Indemnitees") from and against all liabilities, demands, losses, damages, costs or expenses (including reasonable attorney's fees and costs), incurred by any Client Indemnitee as a result or arising out of (i) the willful misconduct or negligence of Paymentus in

Paymentus

performing the Services or (ii) a material breach by Paymentus of its covenants.

8.2 Client Indemnification and Hold Harmless

Client agrees to the fullest extent permitted by law, to indemnify and hold harmless Paymentus, its affiliates, officers, directors, stockholders, agents, employees, and representatives, (collectively, the "Paymentus Indemnitees") from and against all liabilities, demands, losses, damages, costs or expenses (including without limitation reasonable attorney's fees and expenses) incurred by any Paymentus Indemnitee as a result or arising out of (i) the willful misconduct or negligence of Client related to the Services or (ii) a material breach of Client's covenants.

8.3 Warranty Disclaimer

Except as expressly set forth in this Agreement, Paymentus disclaims all other representations or warranties, express or implied, made to the Client or any other person, including without limitation, any warranties regarding quality, suitability, merchantability, fitness, for a particular purpose or otherwise of any services or any good provided incidental to the Services provided under this Agreement.

8.4 Limitation of Liability

Notwithstanding the foregoing, the parties agree that neither party shall be liable to the other for any lost profits, lost savings or other special, indirect or consequential damages, even if the party has been advised of or could have foreseen the possibility of such damages. Paymentus' total liability for damages for any and all actions associated with this Agreement or the Services shall in no event exceed the specific dollar amount of the Paymentus Service Fee paid to Paymentus for the particular payment transaction which is the subject matter of the claim of damage. Notwithstanding anything in the Agreement to the contrary, Paymentus' total liability for a data breach shall not exceed \$1,000,000.

8.5 Cyber Liability Insurance

Within ten (10) days of execution of this Master Services Agreement, Paymentus shall procure and maintain, and shall provide evidence satisfactory to the Client that it has secured, cyber liability insurance, with limits not less than \$1,000,000 per occurrence or claim, \$2,000,000 aggregate.

Coverage shall be sufficiently broad to respond to the duties and obligations as is undertaken by Paymentus in this Master Services Agreement and shall include, but not be limited to, claims involving security breach, system failure, data recovery, business interruption, cyber extortion, social engineering, infringement of intellectual property, including but not limited to infringement of copyright, trademark, trade dress, invasion of privacy violations, information theft, damage to or destruction of electronic information, release of private information, and alteration of electronic information. The policy shall provide coverage for breach response costs, regulatory fines and penalties as well as credit monitoring expenses.

9 Term and Termination

9.1 Term

The term of this Agreement shall commence on the effective date of this Agreement and continue until June 30, 2023 ("Initial Term"). Services under this Agreement began within 30 days of the merchant account setup.

At the end of the Initial Term, this Agreement will automatically renew for successive one (1) year periods unless either Client or Paymentus provide the other party with not less than 6 (six) months prior written notice before such automatic renewal date that such party elects not to automatically renew the term of this Agreement.

9.2 Material Breach

A material breach of this Agreement shall be cured within 90 (ninety) days ("Cure Period") after a party notifies the other of such breach. In the event, such material breach has not been cured within the Cure Period, the non-breaching party can terminate this Agreement by providing the other party with a 30 (thirty) days notice.

9.3 Upon Termination

Upon termination of this Agreement, the parties agree to cooperate with one another to ensure that all Payments are accounted for and all refundable transactions have been completed. Upon termination, Paymentus shall cease all Services being provided hereunder unless otherwise directed by the Client in writing.



Schedule A – Paymentus Service Fee Schedule

Effective 30 days after the last party to sign the Agreement Paymentus Service Fee charged to City of Corona (“Client”) will be based on the following table:

Paymentus Service Fee (Absorbed Fee Model)	
Utility Payments	
Average Payment Amount: \$182	
Maximum Payment Amount Shall be \$25,000	
Paymentus Service Fee per qualified Utility Rate transactions shall be:	
Credit/Debit Card (VISA/MasterCard/DISC/AMEX Amazon Pay, PayPal, PayPal Credit and Venmo)	\$1.85 per transaction (Discount Utility Rate Program)
ACH/eCheck	\$0.30 per transaction
Non-qualified Transaction Excess Fee	2.50% of the excess transaction amount
Chargeback/Returns	No fee

Maximum Payment Amount shall be \$25,000. Multiple payments may be made.
Paymentus may apply different limits per transaction for user adoption or to mitigate risks.



Schedule B – Additional Services (Optional)

Paymentus Service Fee charged to City of Corona (“Customer”) will be based on the following table:

Paymentus Solution/Service	Paymentus Service Fee
Paymentus Electronic Bill Presentment (Enhanced e-Bill) <ul style="list-style-type: none"> • System Development • System Set Up / Implementation • File interface with CIS • System loading fees • Presentment fees • Customer email notifications • 12 month rolling historical e-bill hosting 	\$4,500.00 One-time Fee (Waived) \$650.00 Monthly Hosting Fee (Waived)
Paymentus Enterprise Communication Manager (Optional) <p>Paymentus Enterprise Communications consists of outbound IVR (Integrated Voice Response – automated phone messaging), email, and SMS (Short Message Service – Text Messaging). There is no charge to the Customer for the infrastructure enabling these services.</p> <p>The fee to the Customer is charged on a per use basis, as follows:</p> <ul style="list-style-type: none"> • IVR Outbound Message \$0.07 per call • Email Outbound Message \$0.02 per email message • SMS Outbound Message \$0.10 per message (Available Upon Request) <p>Fee Structure:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Up to 2,000 combined messages (IVR and Email) per month: No Charge <input type="checkbox"/> In excess of Allotted Messages per month: <ul style="list-style-type: none"> ○ \$0.07 per IVR message ○ \$0.02 per Email message <input type="checkbox"/> The cost for customization of your outbound messages by Paymentus: No Charge 	



Staff Report

File #: 21-0998

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Public Works Department

SUBJECT:

Award a Professional Services Agreement with JMDiaz, Inc. DBA JMD, and approve a Preliminary Engineering Services Agreement with BNSF Railway Company for the Quiet Zone Feasibility Study.

EXECUTIVE SUMMARY:

The Corona City Council had requested that Public Works staff present on the possibility of implementing quiet zones at railroad crossings throughout the City to address routine train horn noises at grade crossings that negatively affect citizen quality of life. Staff compiled research on quiet zones and solicited input from neighboring agencies and consulting firms in this field. Staff determined that this undertaking requires unique expertise and would require a consulting firm to complete the study. Staff prepared the Quiet Zone Feasibility Study Request for Proposals and received two responsible proposals. This action is to approve and award Request for Proposals No. 22-022AS for the Quiet Zone Feasibility Project.

RECOMMENDED ACTION:

That the City Council:

- a. Award Request for Proposals No. 22-022AS for the Quiet Zone Feasibility Study to J.M. Diaz, Inc., for the total amount of \$80,000.
- b. Approve a Preliminary Engineering Services Agreement with BNSF Railway Company in the amount of \$53,000 for the reimbursement of reviews and work performed by BNSF.
- c. Authorize the City Manager, or his designee, to execute the Professional Services Agreement with JMDiaz, Inc. DBA JMD in the amount of \$80,000 and approve necessary change orders and amendments up to \$8,000, approximately 10% of the contract amount. The total contract amount with change orders is not to exceed \$88,000.

- d. Authorize the City Manager, or his designee, to execute the Preliminary Engineering Services Agreement with BNSF Railway Company in the amount of \$53,000.
- e. Authorize the Purchasing Manager to issue a Purchase Order to JMDiaz, Inc. DBA JMD in the amount of \$80,000 and a Purchase Order to BNSF Railway Company in the amount of \$53,000
- f. Authorize the creation of a new Capital Improvement Project titled "Quiet Zone Feasibility Study."
- g. Authorize an appropriation from the Gas Tax Fund (222) to the new Capital Improvement Project titled "Quiet Zone Feasibility Study" in the amount of \$141,000.

BACKGROUND & HISTORY:

On April 07, 2021, the City Council requested a future agenda item to discuss railroad quiet zones and to investigate the feasibility of implementing railroad quiet zones to address routine horn noise at grade crossing throughout the City. Traffic Engineering staff began researching railroad quiet zones and solicited input from neighboring cities that had implemented them. From this research, staff determined that, due to the specific nature of this work, a consultant with significant railroad and municipal experience is required to navigate the sensitivities and requirements for implementing quiet zones. Additionally, staff researched the costs for this type of work and gathered estimates in the range of \$10,000-\$15,000 per grade crossing.

In April 2021, staff presented their findings to the City Council and sought direction for the next steps. The City Council directed staff to solicit a request for proposals for a preliminary quiet zone study that would encompass the City's six mainline grade crossings and two peripheral spur crossings. Staff prepared a scope of work with the following deliverables for this project: preliminary field investigation of each grade crossing, preliminary quiet zone designs with proposed safety improvements, a diagnostic meeting with the railroad to vet the designs, and a final report to present the findings, designs, and costs.

ANALYSIS:

Traffic Engineering worked with the Purchasing Department to prepare the scope of work and Request for Proposal documents and advertise the package. The RFP was advertised in the Weekly Sentinel and issued via the PlanetBids website on August 23, 2021. Staff also reached out to HDR Inc. and RailPros, consultant firms staff knew were familiar with these studies, and informed them of the RFP. At the close date of September 14, 2021, Purchasing received two responsive, responsible proposals for the project; JMA Civil and JMDiaz, Inc. DBA JMD. Public Works staff reviewed both proposals for adherence to the RFP scope, cost, experience, and expertise.

The proposals were reviewed by three (3) Public Works staff members consisting of two (2) members from Traffic Engineering and one (1) member from the Capital Improvement Projects Division. The following table represents the results from the proposal review team's rankings:

RFP Proposal Response Ranking		
Ranking	Firm	Location
1	JMDiaz, Inc. DBA JMD	Industry, CA
2	JMA Civil	Oakland, CA

Staff unanimously selected J.M. Diaz's proposal for the following reasons: extensive quiet zone experience in neighboring jurisdictions, expertise in rail and quiet zone design, the proximity of firm for site visits and presentations, and ultimately cost-effectiveness. The estimated project cost for a preliminary study of eight at-grade crossings for quiet zone evaluations was approximately \$90,000 - \$120,000. The proposal received from JMDiaz, Inc. DBA JMD indicates that the study for all eight grade crossings can be completed for \$80,000. Staff is also requesting approval of a 10% contingency in the amount of \$8,000 should any contract amendment for unforeseen conditions or additional staff requests arise from the project.

The proposal evaluation team unanimously concluded that JMDiaz's substantial resume of quiet zone experience throughout Southern California and proven track record of working with BNSF made them the preferred choice for undertaking the City's Quiet Zone Feasibility Project.

As part of the scope of work, JMDiaz will be coordinating with BNSF Railway Company. BNSF requires the City to enter into a Preliminary Engineering Services Agreement with an estimated amount of \$53,000 to charge against any reviews or work related to the project.

FINANCIAL IMPACT:

Approval of the recommended actions will result in the creation of a new Capital Improvement Project titled "Quiet Zone Feasibility Study" and an appropriation from the Gas Tax Fund (222) in the amount of \$141,000.

Fund	07/01/21 Est. Fund Balance	Budgeted Revenues/ Sources	Budgeted Expenditures/ Uses	Fund Balance Impacts	06/30/22 Est. Fund Balance
Gas Tax Fund 222	\$1,911,114	\$4,176,947	(\$3,572,226)	Appropriation (\$141,000)	\$2,374,835

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The requested actions are for approval of a Quiet Zone Feasibility Study, and there is no possibility that approving the agreements and performing the study will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: AARON M. COX, P.E., P.M.P., SENIOR TRAFFIC ENGINEER

File #: 21-0998

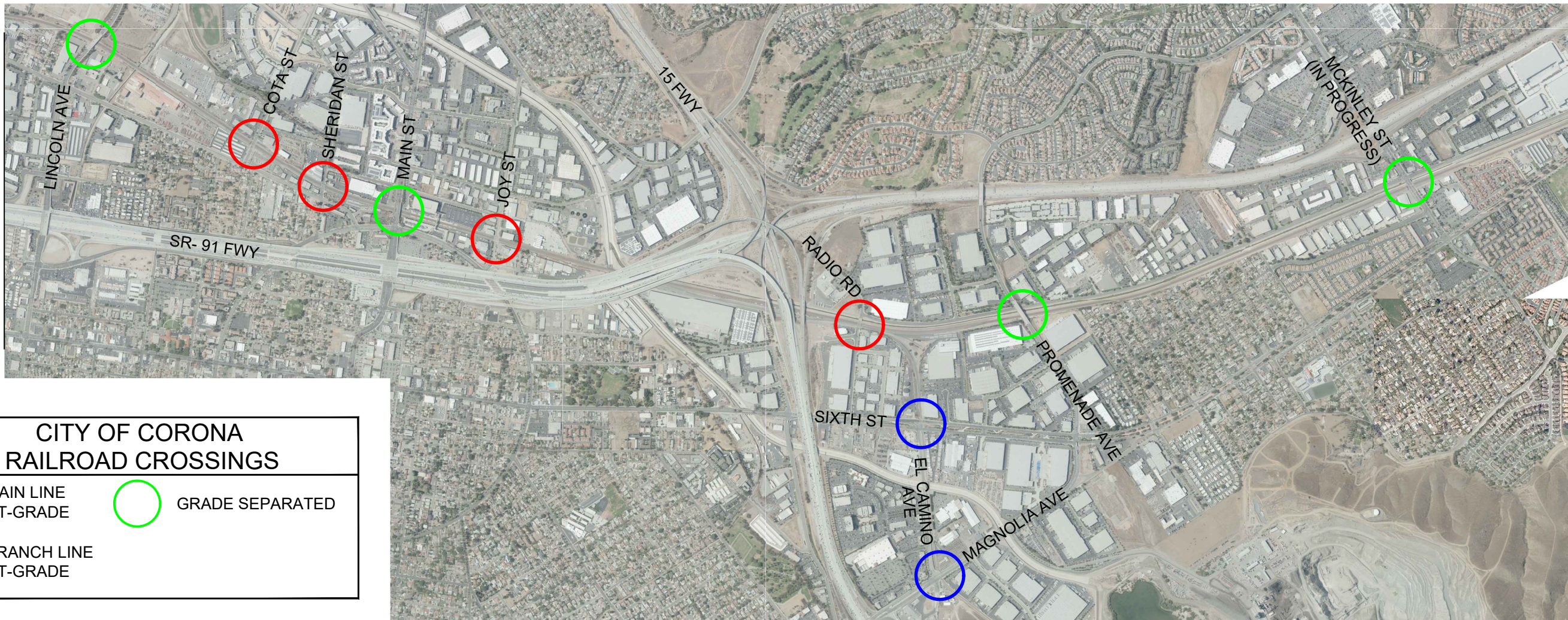
REVIEWED BY: SAVAT KHAMPHOU, PUBLIC WORKS DIRECTOR

Attachments:

1. Exhibit 1 - Location Map
2. Exhibit 2 - Professional Services Agreement
3. Exhibit 3 - Preliminary Engineering Services Agreement



MATCHLINE
BELOW LEFT



MATCHLINE
ABOVE RIGHT

CITY OF CORONA RAILROAD CROSSINGS	
	MAIN LINE AT-GRADE
	GRADE SEPARATED
	BRANCH LINE AT-GRADE



CITY OF CORONA
PUBLIC WORKS DEPARTMENT
TRAFFIC DIVISION

PREPARED BY: DIEGO TAPIA

DATE: 3/19/2021

APPROVED BY: AARON COX

SIGNATURE: _____ DATE: _____

NOT TO SCALE

CITY OF CORONA
RAILROAD CROSSING EXHIBIT

DRAWING NO:

SHEET 1 OF 1

**CITY OF CORONA
PROFESSIONAL SERVICES AGREEMENT
WITH JMDIAZ, INC. DBA JMD
(QUIET ZONE FEASIBILITY STUDY)**

1. PARTIES AND DATE.

This Agreement is made and entered into this 27th day of September, 2021 (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and JMDiaz, Inc. DBA JMD, a California corporation with its principal place of business at 18645 E. Gale Avenue, Suite 212, City of Industry, CA 91748-1363 (“Consultant”). City and Consultant are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

2. RECITALS.

2.1 Consultant.

Consultant desires to perform and assume responsibility for the provision of certain professional services required by the City on the terms and conditions set forth in this Agreement. Consultant represents that it is experienced in providing Quiet Zone Design services to public clients, is licensed in the State of California, and is familiar with the plans of City.

2.2 Project.

City desires to engage Consultant to render such services for the Quiet Zone Feasibility Study, RFP 22-022AS project (“Project”) as set forth in this Agreement.

2.3 Corona Utility Authority.

Consultant understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

3. TERMS.

3.1 Scope of Services and Term.

3.1.1 General Scope of Services. Consultant promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work

necessary to fully and adequately supply the professional Quiet Zone Feasibility Study consulting services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules, and regulations.

3.1.2 Term. The term of this Agreement shall be from September 27, 2021, to June 30, 2022 (“Term”), unless earlier terminated as provided herein. Consultant shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.6.8 below (each a “Renewal Term. The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

3.2 Responsibilities of Consultant.

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Consultant or under its supervision. Consultant will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Consultant on an independent contractor basis and not as an employee. Consultant retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Consultant shall also not be employees of City and shall at all times be under Consultant’s exclusive direction and control. Consultant shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Consultant shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Consultant shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Consultant represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Consultant’s conformance with the Schedule, City shall respond to Consultant’s submittals in a timely manner. Upon request of City, Consultant shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Consultant shall be subject to the approval of City.

3.2.4 Substitution of Key Personnel. Consultant has represented to City that certain key personnel will perform and coordinate the Services under this Agreement. Should

one or more of such personnel become unavailable, Consultant may substitute other personnel of at least equal competence upon written approval of City. In the event that City and Consultant cannot agree as to the substitution of key personnel, City shall be entitled to terminate this Agreement for cause. As discussed below, any personnel who fail or refuse to perform the Services in a manner acceptable to the City, or who are determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project or a threat to the safety of persons or property, shall be promptly removed from the Project by the Consultant at the request of the City. The key personnel for performance of this Agreement are as follows: Juan M. Diaz, Jack Shah, Algis J. Marcuska, Ivan Salvatierra, and Steven Itagaki.

3.2.5 City's Representative. The City hereby designates Savat Khamphou, Public Works Director/City Engineer or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Contract. Consultant shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.6 Consultant's Representative. Consultant hereby designates Juan M. Diaz, or his or her designee, to act as its representative for the performance of this Agreement ("Consultant's Representative"). Consultant's Representative shall have full authority to represent and act on behalf of the Consultant for all purposes under this Agreement. The Consultant's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences, and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.7 Coordination of Services. Consultant agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.8 Standard of Care; Performance of Employees. Consultant shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Consultant represents and maintains that it is skilled in the professional calling necessary to perform the Services. Consultant agrees that all employees and subconsultants shall have sufficient skill and experience to perform the Services assigned to them. Finally, Consultant represents that it, its employees and subconsultants shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Consultant shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Consultant's failure to comply with the standard of care provided for herein. Any employee of the Consultant or its sub-consultants who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the

Project by the Consultant and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Consultant shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Consultant shall be liable for all violations of such laws and regulations in connection with Services. If the Consultant performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Consultant shall be solely responsible for all costs arising therefrom. Consultant shall defend, indemnify and hold City, its officials, directors, officers, employees, and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Consultant. By executing this Agreement, Consultant verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Consultant. Consultant also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Consultant shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Consultant shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Consultant's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Consultants, Sub-subcontractors and Subconsultants. To the same extent and under the same conditions as Consultant, Consultant shall require all of its subcontractors, consultants, sub-subcontractors and subconsultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Consultant verifies that they are a duly authorized officer of Consultant, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Consultant or its subcontractors, consultants, sub-subcontractors or subconsultants to meet any of the requirements provided for in Sections

3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Consultant under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Consultant certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Consultant represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Consultant shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. To the extent applicable, Consultant must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Consultant shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Consultant shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Consultant, its subconsultants, or others for whom Consultant is responsible under its indemnity obligations provided for in this Agreement.

3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Consultant commences any Services under this Agreement, Consultant shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Consultant shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Consultant, its agents, representatives, employees or subconsultants. Consultant shall also require all of its subconsultants to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Consultant has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Consultant shall maintain limits no less than: (1) *General Liability*: **\$1,000,000** per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: **\$1,000,000** per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of **\$1,000,000** per accident for bodily injury or disease.

3.2.10.3 Professional Liability. Consultant shall procure and maintain, and require its sub-consultants to procure and maintain, for a period of five (5) years following completion of the Project, errors and omissions liability insurance appropriate to their profession. Such insurance shall be in an amount not less than **\$1,000,000** per occurrence or claim, **\$2,000,000** aggregate per claim.

3.2.10.4 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be

covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Consultant, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Consultant's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Consultant.

(C) All Coverages. If Consultant maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Consultant. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.5 Other Provisions; Endorsements Preferred. Consultant shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Consultant:

(A) Waiver of Subrogation – All Other Policies. Consultant hereby waives all rights of subrogation any insurer of Consultant's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Consultant. Consultant understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Consultant shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Consultant. Consultant understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.6 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any

Services under this Agreement commence, Consultant must purchase “extended reporting” coverage for a minimum of five (5) years after completion of Project.

3.2.10.7 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Consultant to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.8 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best’s rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best’s rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.9 Verification of Coverage. Consultant shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Consultant’s obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.10 Reporting of Claims. Consultant shall report to the City, in addition to Consultant’s insurer, any and all insurance claims submitted by Consultant in connection with the Services under this Agreement.

3.2.10.11 Sub-Consultants. All sub-consultants shall comply with each and every insurance provision of this Section 3.2.10. Consultant shall therefore not allow any sub-consultant to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the sub-consultant has secured all insurance required under this Agreement.

3.2.10.12 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Consultant shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Consultant shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

3.2.12 Payment Bond. The California Department of Industrial Relations (“DIR”) has communicated to the City that there is a possibility that a payment bond may be required for certain services provided in connection with a public works project. Since such a requirement is currently contrary to the industry standard for the services provided by Consultant under this Agreement and since there is no direct legal authority for this position, the City is not requiring Consultant to provide a payment bond at this time. However, the City hereby reserves the right to require the Consultant to obtain and provide a payment bond for some or all of the Services provided by the Consultant under this Agreement.

If the City determines that a payment bond is required for the Services pursuant to Civil Code Section 9550 or any other applicable law, rule or regulation, Consultant shall execute and provide to City a payment bond in an amount required by the City and in a form provided or approved by the City. In the event a payment bond is required, the City agrees to compensate Consultant for all documented direct costs incurred by Consultant for such payment bond. The Parties shall memorialize the terms of such additional compensation and any other terms and conditions associated with the payment bond in an amendment to this Agreement.

3.2.13 Accounting Records. Consultant shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Consultant shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Consultant shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

3.3 Fees and Payments.

3.3.1 Rates & Total Compensation. Consultant shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit “C” attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Eighty Thousand Dollars (\$80,000) (“Total Compensation”), without written approval of City’s Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Consultant shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Consultant. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Consultant shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Consultant perform Extra Work. As used herein, “Extra Work” means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Consultant shall not perform, nor be compensated for, Extra Work without written authorization from City’s Representative.

3.3.5 Prevailing Wages. Consultant is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations (“Prevailing Wage Laws”), which require the payment of prevailing wage rates and the performance of other requirements on “public works” and “maintenance” projects. If the Services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Consultant and its subconsultants shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Consultant and its subconsultants shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations (“DIR”). Beginning April 1, 2015, no consultant or subconsultant may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Consultant shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Consultant’s principal place of business and at the Project site. It is most efficient for the Consultant to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at www.dir.ca.gov/dlsr/. In the alternative, Consultant may obtain a copy of the prevailing wages from the City’s Representative. Consultant shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the Services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, Consultant shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Consultant employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Consultant.

3.4 Termination of Agreement.

3.4.1 Grounds for Termination. City may, by written notice to Consultant, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Consultant of such termination, and specifying the effective date thereof, at

least seven (7) days before the effective date of such termination. Upon termination, Consultant shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Consultant shall be entitled to no further compensation. Consultant may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Consultant to provide all finished or unfinished Documents and Data and other information of any kind prepared by Consultant in connection with the performance of Services under this Agreement. Consultant shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

3.5 Ownership of Materials and Confidentiality.

3.5.1 Documents & Data; Licensing of Intellectual Property. This Agreement creates a non-exclusive and perpetual license for City to copy, use, modify, reuse, or sublicense any and all copyrights, designs, and other intellectual property embodied in plans, specifications, studies, drawings, estimates, and other documents or works of authorship fixed in any tangible medium of expression, including but not limited to, physical drawings or data magnetically, electronically or otherwise recorded or stored, which are prepared or caused to be prepared by Consultant under this Agreement ("Documents & Data"). All Documents & Data shall be and remain the property of City, and shall not be used in whole or in substantial part by Consultant on other projects without the City's express written permission. Within thirty (30) days following the completion, suspension, abandonment or termination of this Agreement, Consultant shall provide to City reproducible copies of all Documents & Data, in a form and amount required by City. City reserves the right to select the method of document reproduction and to establish where the reproduction will be accomplished. The reproduction expense shall be borne by City at the actual cost of duplication. In the event of a dispute regarding the amount of compensation to which the Consultant is entitled under the termination provisions of this Agreement, Consultant shall provide all Documents & Data to City upon payment of the undisputed amount. Consultant shall have no right to retain or fail to provide to City any such documents pending resolution of the dispute. In addition, Consultant shall retain copies of all Documents & Data on file for a minimum of five (5) years following completion of the Project, and shall make copies available to City upon the payment of actual reasonable duplication costs. In addition, before destroying the Documents & Data following this retention period, Consultant shall make a reasonable effort to notify City and provide City with the opportunity to obtain the documents.

3.5.2 Subconsultants. Consultant shall require all subconsultants to agree in writing that City is granted a non-exclusive and perpetual license for any Documents & Data the subconsultant prepares under this Agreement. Consultant represents and warrants that Consultant has the legal right to license any and all Documents & Data. Consultant makes no such representation and warranty in regard to Documents & Data which were prepared by design

professionals other than Consultant or its subconsultants, or those provided to Consultant by the City.

3.5.3 Right to Use. City shall not be limited in any way in its use or reuse of the Documents and Data or any part of them at any time for purposes of this Project or another project, provided that any such use not within the purposes intended by this Agreement or on a project other than this Project without employing the services of Consultant shall be at City's sole risk. If City uses or reuses the Documents & Data on any project other than this Project, it shall remove the Consultant's seal from the Documents & Data and indemnify and hold harmless Consultant and its officers, directors, agents and employees from claims arising out of the negligent use or re-use of the Documents & Data on such other project. Consultant shall be responsible and liable for its Documents & Data, pursuant to the terms of this Agreement, only with respect to the condition of the Documents & Data at the time they are provided to the City upon completion, suspension, abandonment or termination. Consultant shall not be responsible or liable for any revisions to the Documents & Data made by any party other than Consultant, a party for whom the Consultant is legally responsible or liable, or anyone approved by the Consultant.

3.5.4 Indemnification. Consultant shall defend, indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless, pursuant to the indemnification provisions of this Agreement, for any alleged infringement of any patent, copyright, trade secret, trade name, trademark, or any other proprietary right of any person or entity in consequence of the use on the Project by City of the Documents & Data, including any method, process, product, or concept specified or depicted.

3.5.5 Confidentiality. All Documents & Data, either created by or provided to Consultant in connection with the performance of this Agreement, shall be held confidential by Consultant. All Documents & Data shall not, without the prior written consent of City, be used or reproduced by Consultant for any purposes other than the performance of the Services. Consultant shall not disclose, cause or facilitate the disclosure of the Documents & Data to any person or entity not connected with the performance of the Services or the Project. Nothing furnished to Consultant that is otherwise known to Consultant or is generally known, or has become known, to the related industry shall be deemed confidential. Consultant shall not use City's name or insignia, photographs of the Project, or any publicity pertaining to the Services or the Project in any magazine, trade paper, newspaper, television or radio production or other similar medium without the prior written consent of City.

3.6 General Provisions.

3.6.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

Consultant:

JMDiaz, Inc. DBA JMD
18645 E. Gale Avenue, Ste. 212

City of Industry, CA 91748-1363
Attn: Juan M. Diaz

City:

City of Corona
400 South Vicentia Avenue
Corona, CA 92882
Attn: Savat Khamphou, Public Works Director/City Engineer
Public Works Department

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.6.2 Indemnification. To the fullest extent permitted by law, Consultant shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Consultant, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Consultant's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Consultant's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Consultant. Consultant's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.6.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Consultant must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Consultant. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Consultant shall be barred from bringing and maintaining a valid lawsuit against the City.

3.6.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.6.5 City's Right to Employ Other Consultants. City reserves right to employ other consultants in connection with this Project.

3.6.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the Parties.

3.6.6.1 Subconsultants; Assignment or Transfer. Consultant shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Consultant shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subconsultants, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.6.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Consultant has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Consultant shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.6.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Consultant include all personnel, employees, agents, and subconsultants of Consultant, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.6.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.6.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.6.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.6.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.6.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.6.12 Prohibited Interests. Consultant maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Consultant, to solicit or secure this Agreement. Further, Consultant warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Consultant, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Consultant further agrees to file, or shall cause its employees or subconsultants to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.6.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.6.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.6.15 Authority to Enter Agreement. Consultant has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.6.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.6.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

[SIGNATURES ON NEXT 2 PAGES]


CITY'S SIGNATURE PAGE FOR
CITY OF CORONA
PROFESSIONAL SERVICES AGREEMENT
WITH JMDIAZ, INC. DBA JMD
(QUIET ZONE FEASIBILITY STUDY)

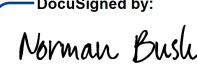
IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

CITY OF CORONA

By: 
8CB6AE00895944B4...
Jacob Ellis
City Manager

Reviewed By: 
CB312E179B8E463...
Savat Khamphou, P.E., P.L.S.
Public Works Director/City Engineer

Reviewed By: 
10CCB27F82C94F4...
Rosalva Ureno
City Traffic Engineer

Reviewed By: 
104B25F8DADC420...
Norman Bush
Purchasing Manager

CONSULTANT'S SIGNATURE PAGE FOR

**CITY OF CORONA
PROFESSIONAL SERVICES AGREEMENT
WITH JMDIAZ, INC. DBA JMD
(QUIET ZONE FEASIBILITY STUDY)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

JMDIAZ, INC. DBA JMD
a California corporation

By: 
D7CA0B4D64FC4B2...
Juan M. Diaz
CEO/CFO

EXHIBIT “A” SCOPE OF SERVICES

1. PROJECT DESCRIPTION

Introduction and General Information:

A Quiet Zone is an at-grade railway crossing that has been fortified with safety features to mitigate the requirement that approaching trains use their horns at these crossings. Quiet zones have been used as a noise mitigation measure for communities impacted by these crossings. Staff researched Corona’s railroad crossings and contacted neighboring agencies that have implemented Quiet Zones. An in-depth feasibility and cost estimate per crossing requires that staff contract with a consulting firm familiar with Quiet Zone design.

The City of Corona City Council has approved the development of quiet zones to address routine horn noise at grade crossings throughout the City. The City solicited proposals for professional services from a qualified engineering firm to develop a feasibility study for the establishment of Quiet Zone along the City’s railway corridors. The City of Corona has eight at-grade crossings with intersecting streets; six located at Burlington Northern Santa Fe (BNSF) San Bernardino Subdivision mainline locations and two at spur crossings. The locations of the at-grade crossings are listed below and shown on the Exhibit “A”.

BNSF Railroad San Bernardino Subdivision At-Grade Crossings

At-Grade Crossing	Crossing Number
Smith Street	026530P
Railroad Street	026529V
Cota Street	026527G
Sheridan Street	026526A
Joy Street	026524L
Radio Road	026521R

BNSF Spur At-Grade Crossings

At-Grade Crossing	Crossing Number
Sixth Street	027403S
Magnolia Avenue	027407U

2. SCHEDULE OF PERFORMANCE

Consultant shall complete the work within (180) calendar days following the date of the Notice to Proceed.

3. THE FOLLOWING PRESENTS THE SCOPE OF SERVICES FOR THE QUIET ZONE FEASIBILITY STUDY

A. Task Description

The consultant shall achieve the City's Quiet Zone Feasibility Study objectives by completing the following tasks:

Quiet Zone Study

- Project Meetings
 - Kickoff
 - Bi-Weekly Status
 - City Council or Committee meetings (as required)
- Project Schedule with Bi-Weekly updates
- Data Collection
- Quiet Zone Analysis and Calculated Quiet Zone Risk Index (QZRI)
- Conceptual Designs
- Diagnostic Meeting with Railroad and City Staff
- 30% Design Plans
- Cost Estimates for each location
- Draft Report
- Final Report
- Presentation of Final Report to City Council

The City is primarily interested in the mainline crossings for inclusion in a quiet zone, however, the City wishes to consider the spur crossings as an alternate proposal for inclusion in the project.

B. Consultant Personnel Requirements.

- Consultant is required to have completed similar scopes of work for neighboring agencies and have experience with BNSF Railroad requirements for quiet zones including but not limited to BNSF's permitting. Consultant team must represent the City's interests and manage any potential conflicts of interest.
- Railroad Protective Liability insurance is required for the successful Consultant. The policy shall cover any of the Consultant's staff/personnel and relevant subconsultants who will perform any work that involves personnel, vehicles or equipment inside the railroad right-of-way. Consultant must demonstrate they can meet insurance requirements either through a current policy or through a letter of commitment from both the Consultant and their insurance provider, pending award of this contract to provide the required insurance policy. There will be no specific line item covering the additional costs of this insurance policy, it is at the discretion the Consultant to identify how to recuperate any additional costs. Execution of the Professional Services Agreement and issuance of a purchase order and the Notice to Proceed will be withheld until the Consultant

demonstrates they have procured an insurance policy consistent with the RFP and any Addendum requirements.

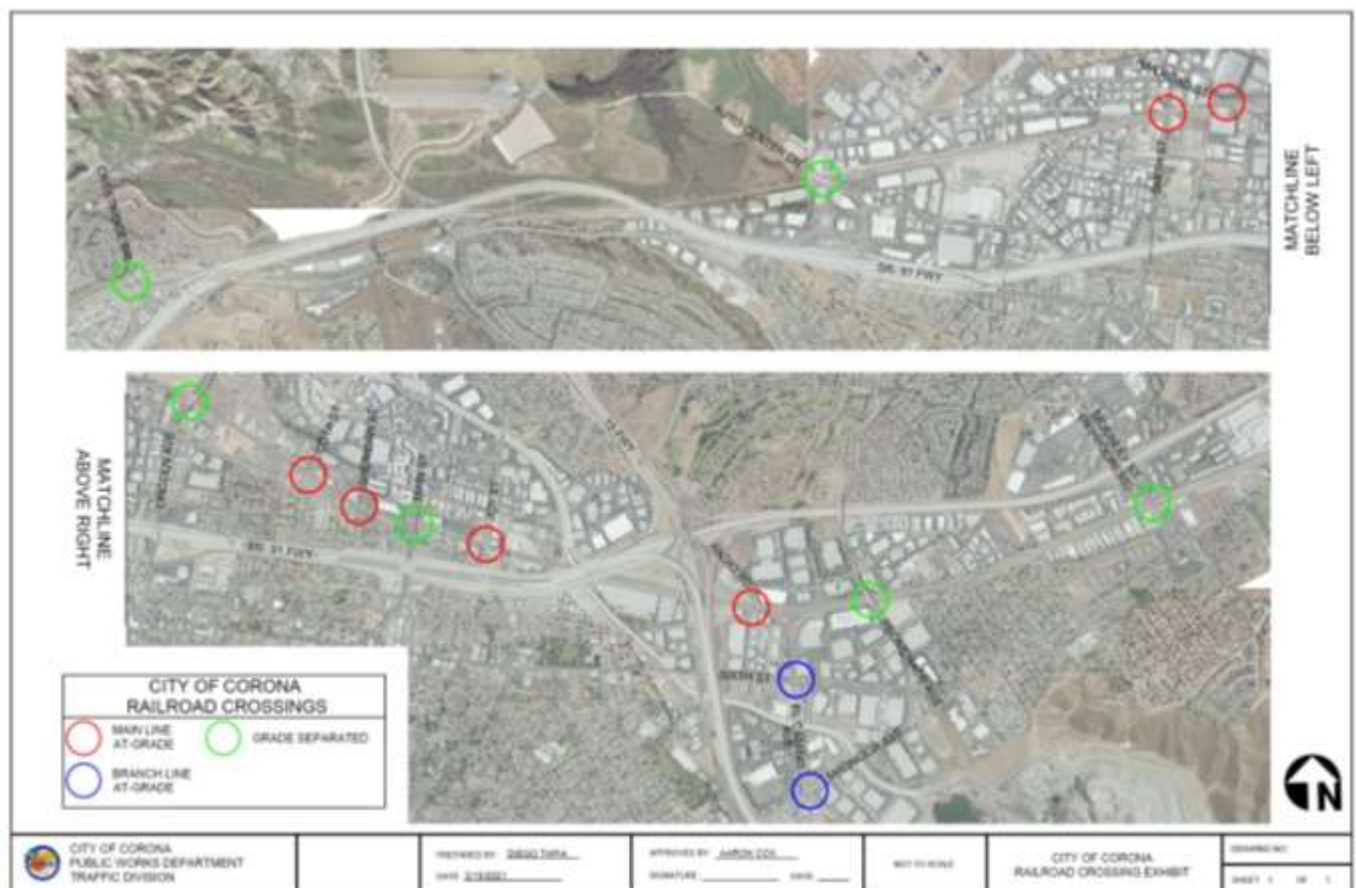
- Professional Engineering License (Civil) is required from the Consultant.

C. City Responsibilities.

The City will make available any relevant record drawings, studies, etc., to the consultant. City will designate a Public Works Traffic Engineering contact for project oversight and coordination.

D. Exhibits.

Exhibit A – City of Corona Railroad Crossing Exhibit



In addition to the Scope of Services identified in Exhibit A above the Consultant shall complete the following Task Items 1-3 listed below:

Task 1: Pre-Study/Existing Conditions

Task 1.1 – Project Administration, Meetings and Coordination

- Consultant will attend one kickoff meeting and begin with biweekly project coordination/status meetings with City staff. Consultant will also attend strategic City Council and Committee meetings that may be required. This task assumes a total of eight (8) meetings.
- Consultant will prepare a baseline project schedule that will be updated and discussed during bi-weekly meetings. This task includes monthly invoicing and progress reports.

Task 1.2 – Research/Data Collection/Field Review

- Consultant will gather available data consisting of correspondence, studies, plans and CAD files related to the existing conditions at the applicable grade crossings along the BNSF railroad corridor. Consultant will obtain data from FRA, CPUC, BNSF, SCRRA and the City. Consultant assumes that current information, such as as-built plans and other data obtained from the City, will be made available by the City at no cost to consultant.
-

Task 1.3 – QZ Analysis/Quiet Zone Risk Index

- Consultant will begin analysis by calculating the quiet zone risk index (QZRI) of existing conditions at the subject crossings utilizing the Federal Railroad Administration's (FRA) calculator. Consultant will calculate QZRI's for the following scenarios:
 - Existing Conditions
 - Proposed Conditions
- Consultant will analyze combinations of options that will allow the Quiet Zone to be implemented, while minimizing (as much as practical) the impact on adjacent landowners, businesses and other users of the roadway network. These alternatives will consist of:
 - No improvements at specific crossings (if applicable).
 - Cost Effective Supplemental Safety Measures (SSM's) – Raised Median Islands
 - Applicable Alternative Safety Measures (ASM's)
- Consideration will also be given to where existing horn blowing is taking place to determine other low-cost measures that can be implemented, if applicable. Uniquely relying on its former role representing SCRRA/Metrolink in the City of Corona, Consultant will conduct a pre-diagnostic review to fully assess the likely improvements to be required by Metrolink and CPUC. This step is essential to adequately define the proposed improvements and develop an effective strategy prior to meeting with Metrolink and CPUC.

Task 2: Analysis/Feasibility Study

Task 2.1 – Draft Conceptual Plans

CA\DD\02000.50101\1401461.15

- Consultant will prepare draft conceptual exhibits, in AutoCad or MicroStation, illustrating existing and proposed grade crossing SSM improvements. This includes an assessment of the potential need for pedestrian crossings. The design plans will be prepared in accordance with City and BNSF design standards as well as applicable CPUC and California Manual of Uniform Traffic Control Devices (MUTCD) requirements.

Task 2.2 – Conceptual Cost Estimates

- Consultant will prepare conceptual cost estimates detailing construction, maintenance, permitting and other related grade crossing and quiet zone improvement costs.

Task 2.3 – Field Diagnostic Meeting

- Consultant will conduct one field diagnostic meeting with the City, CPUC and BNSF to present the conceptual designs prepared in Task 2.1 and field verify crossing and equipment conditions as well as obtain diagnostic recommendations (e.g., pedestrian treatments) for proposed quiet zone measures and crossing improvements.

Task 2.4 – Draft Quiet Zone Assessment Report

- Consultant will prepare a draft quiet zone assessment in technical memorandum format outlining the existing and proposed improvements (i.e., active warning device protection, supplemental safety measures, etc.), project requirements, process, anticipated stakeholder requirements, permitting requirements, estimate of probable construction cost and anticipated project schedule.

Task 3: Final Report

Task 3.1 – Final (30% Level) Conceptual Plans

- Based on recommendations generated in Task 2.4, Consultant will revise the draft conceptual plans and develop the final conceptual plans to serve as the basis for preliminary and final design.

Task 3.2 – Public Meetings/Presentations

- Upon completion of Task 3.2 and confirmation that the required quiet zone improvements are feasible, Consultant will assist the City to present the proposed concepts to local community stakeholders. This task assumes the preparation of graphics and a PowerPoint presentation for presentation to the following City Meetings:
 - City Council

Task 3.3 – Final Quiet Zone Assessment Report

- Consultant will finalize the quiet zone assessment, in technical memorandum format, outlining the existing and proposed improvements (i.e., active warning device protection, supplemental safety measures, etc.), project requirements, process, anticipated stakeholder requirements, permitting requirements, estimate of probable construction cost and anticipated project schedule. Each assessment element will be updated to reflect agency review comments as well as diagnostic review comments.

Deliverable(s):

CA\DD\02000.50101\1401461.15

Six (6) copies of the final quiet zone assessment outlining project requirements including conceptual exhibits and costs for each crossing.

**EXHIBIT “B”
SCHEDULE OF SERVICES**

Consultant shall complete the Services within the Term of this Agreement, and shall meet any other schedules and deadlines established by City’s Representative.

EXHIBIT “C” COMPENSATION

The total Compensation shall not exceed Eighty Thousand Dollars (\$80,000) per fiscal year without authorized written approval of the City’s Representative.

TASK	DESCRIPTION	J. DIAZ PIC/PM	J. SHAH STATIONS	A. MARCIUSKA QA/QC	R. DEMA-ALA QZ ASSESS.	S. ITAGAKI TRAFF. ENG.	I. SALVATIERRA RAIL ENG.	G. ANDRADE SR. DES. ENG.	D. DARDOON ENG III	M. FLORES ENG II	INTERN/ ADMIN	TOTAL LABOR HOURS	DIRECT COSTS*	TOTAL COSTS
	2021 Rates	\$284.80	\$253.46	\$241.55	\$235.98	\$198.67	\$194.42	\$100.44	86.37	\$85.00	\$63.20			
Task 1: Pre-Study/Existing Conditions														
1.1	Project Administration/Meetings/Coordination (assumes 8 meetings)	40	0	0	0	0	0	0	0	0	20	60	\$1,000	\$13,656
1.2	Research/Data Collection/Field Review	4	0	0	0	8	8	16	16	16	16	84	\$1,000	\$10,644
1.3	Quiet Zone Analysis/Quiet Zone Risk Index (QZRI)	4	0	2	0	0	0	16	0	0	12	34	\$0	\$3,988
Task 2: Analysis / Feasibility Study														
2.1	Draft Conceptual Plans	4	4	2	0	8	16	36	36	40	16	162	\$100	\$18,573
2.2	Conceptual Cost Estimates	4	1	2	0	4	4	16	4	4	8	47	\$0	\$6,246
2.3	Field Diagnostic Meeting	8	0	0	0	0	0	0	0	0	8	16	\$200	\$2,984
2.4	Draft Quiet Zone Assessment Report	4	1	2	8	4	4	8	0	0	8	39	\$100	\$6,745
Task 3: Final Report														
3.1	Final (30% Level) Conceptual Plans	2	2	2	0	4	8	20	20	20	8	86	\$100	\$9,951
3.2	Public Meetings/Presentations (assumes 2 meetings)	8	0	0	0	0	0	0	0	0	0	8	\$200	\$2,478
3.3	Final Quiet Zone Assessment Report	2	1	2	8	2	2	4	0	0	4	25	\$100	\$4,735
TOTAL ESTIMATED LABOR HOURS		80	9	12	16	30	42	116	76	80	100	561	\$2,800	
TOTAL COST (WITHOUT OPTIONS)														\$80,000
Notes: a. Rates are subject to a 5% annual increase on January 1. b. See scope of work for additional assumptions. c. The cost of permits is not included in this proposal.														
Remarks: *Deliveries/Mileage/Reproduction														

PRELIMINARY ENGINEERING SERVICES AGREEMENT

**BNSF File No.: BF10018234
Mile Post 22.77- 25.835
Line Segment 7602
U.S. DOT Number 026521R, 026524L,
026526A, 026527G, 026529V, 026530P
San Bernardino Subdivision
Mile Post 0.366 – 0.839
Line Segment 7609
U.S. DOT Number 027403S, 027406M, 027407U
Porphyry Subdivision**

This Agreement ("**Agreement**"), is executed to be effective as of _____ ("**Effective Date**"), by and between BNSF RAILWAY COMPANY, a Delaware corporation ("**BNSF**") and the City of Corona, a political subdivision of the State of California ("**Agency**").

RECITALS

WHEREAS, BNSF owns and operates a line of railroad in and through the City of Corona, State of California;

WHEREAS, Agency has stated its intention to proceed initially with a project to install a Quiet Zone at the proposed crossings (**the "Project"**);

WHEREAS, Agency has requested that BNSF perform certain engineering services with respect to its railroad facilities located at or near the Project site to facilitate Agency's evaluation of the feasibility of proceeding with the Project (**the "Work"**);

WHEREAS, BNSF is agreeable to performing the Work, subject to the terms and conditions of this Agreement;

NOW, THEREFORE, in consideration of the mutual covenants and agreements of the parties contained herein, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. Scope of Work.

As used herein, the term "**Work**" includes all work performed by BNSF pursuant to this Agreement, whether performed by BNSF employees or by BNSF's contractors, consultants or other agents, including, but not necessarily limited to, on-site visits,

preliminary engineering services, developing cost estimates for construction of the Project, and reviewing and/or providing comments on preliminary layouts or other designs, plans, and/or documents in connection with the Project.

2. Payment for Work.

Agency authorizes BNSF to proceed with the Work relating to the Project. Agency shall pay and reimburse BNSF for all actual costs and expenses that BNSF incurs in performing the Work, including but not limited to, labor, supplies, and material; direct and indirect labor or contractor additives; delivery charges; and BNSF additives and overhead, as such are in effect on the date BNSF prepares the final bill; and taxes, such as applicable sales and use taxes, business and occupation taxes, and similar taxes. BNSF estimates the cost for Work on this Project to be fifty thousand nine hundred eighty-three (\$50,983.00), but said estimate shall not be a limitation on the Work to be performed or costs and expenses which Agency shall reimburse to BNSF in full.

During its performance of the Work pursuant to this Agreement, BNSF will send Agency progressive invoices detailing the costs of the Work performed by BNSF. Agency must reimburse BNSF for completed work within thirty (30) days of the date of the invoice for such work. Upon completion of the Work, BNSF will send Agency a detailed invoice of final costs. Agency must pay the final invoice within ninety (90) days of the date of the final invoice. BNSF will assess a finance charge of .033% per day (12% per annum) on any unpaid sums or other charges due under this Agreement which are past its credit terms. The finance charge continues to accrue daily until the date payment is received by BNSF, not the date payment is made or the date postmarked on the payment. Finance charges will be assessed on delinquent sums and other charges as of the end of the month and will be reduced by amounts in dispute and any unposted payments received by the month's end. Finance charges will be noted on invoices sent to Agency under this section.]

3. Scope of Agreement

The Parties acknowledge that by entering into this Agreement, neither BNSF nor Agency are obligated to authorize or participate in the construction of the Project. If Agency seeks to proceed with development of the Project after the Work is performed, the Project will be subject to further review and approval by BNSF in BNSF's sole discretion. BNSF and Agency shall be required to enter into negotiations for construction of the Project and other activities on terms acceptable to BNSF.

The aforementioned Project is understood to be undertaken, in whole or in part, as part of Agency's proposal to seek to establish and/or maintain a quiet zone in accordance with 49 CFR Part 222 ("Quiet Zone"). Agency acknowledges that BNSF does not recommend the establishment of a Quiet Zone and believes that if not properly accounted for with appropriate safety enhancements, the elimination of the train horn can be detrimental to

safety. The train horn is intended to alert the motoring and pedestrian public of train movement and Agency is responsible to use the requirements provided at 49 CFR Part 222 as a minimum guideline in any approach to creating a situation where the train horn is eliminated. The work to be performed by BNSF for the Project is not intended to be an endorsement or approval of the use of the Crossing or any facilities or equipment to be installed by BNSF for the purposes of establishing or maintaining a Quiet Zone.

The design, selection, or provision of signal equipment and other Crossing appurtenances by BNSF under or subsequent to this Agreement, including the review or adequacy of any existing equipment or appurtenances, is provided in consideration of the subjective standards of BNSF for its railroad purposes only, and shall in no way be construed or deemed to be a recommendation, condition, direction, opinion, or approval that the plans and specifications or any work intended or completed on the Project is appropriate for any other purpose including AGENCY's use of the Crossing for highway purposes

is structurally sound, or that such plans, specifications, or intended or completed work meet applicable standards, regulations, laws, statutes, local ordinances, and/or building codes. No benefits to Agency or any third party are provided, intended or implied herein. Agency shall at all times be solely responsible for the adequacy and compliance of all design elements of the Project for highway and other public purposes, and shall waive and release BNSF for any and all claims which may or could result from the Work performed hereunder, and if applicable to the fullest extent permitted by law, indemnity and hold BNSF harmless for the same. AGENCY is solely responsible for obtaining regulatory approvals consistent with this Agreement.

AGENCY is solely responsible for establishing, and if approved, maintaining compliance of any Quiet Zone authorized by the FRA, at its sole expense. Any additional work or equipment required to be installed at the Crossing as the result of the establishment of a Quiet Zone shall be at no cost to BNSF.

4. Disclaimer

BNSF GIVES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY, QUALITY, MERCHANTABILITY, FITNESS FOR ANY PARTICULAR PURPOSE, OR ANY OTHER MATTER, OF THE WORK PERFORMED PURSUANT TO THIS AGREEMENT OR ANY REPORT OR OTHER DELIVERABLE WHICH BNSF MAY FURNISH TO AGENCY PURSUANT TO THIS AGREEMENT. BNSF SHALL BE IN NO WAY RESPONSIBLE FOR THE PROPER RELIANCE UPON, INTERPRETATION OF, OR OTHER USE OF THE WORK BY AGENCY.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the day and year first written above.

City of Corona

BNSF Railway Company

By: _____

By: _____

Name: _____

Name: _____

Asst. Dir. Public Projects

Accepted and effective this ____ day of _____, 20__.



Staff Report

File #: 21-1001

**REQUEST FOR CITY COUNCIL AND
CORONA UTILITY AUTHORITY ACTION**

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members
Honorable President and Board Members

FROM: Utilities Department

SUBJECT:

Professional Services Agreement with MeterSYS for analysis, planning, and full procurement support for the Advanced Metering Infrastructure Meter Replacement Project.

EXECUTIVE SUMMARY:

Under the City's Capital Improvement Program, the Utilities Department created the Advanced Metering Infrastructure Meter Replacement Project to replace and/or retrofit direct read water meters with Advanced Metering Infrastructure meters City-wide to obtain real-time remote meter reads and provide customers the ability to monitor their usage and detect leaks in real-time. MeterSYS provides metering technology support services which will be utilized to develop a Metering Technology Master Plan. The Utilities Department will apply for a WaterSMART grant with the Bureau of Reclamation to fund the procurement and installation of the Advanced Metering Infrastructure meters. The Plan will be completed prior to the grant award to assist the Utilities Department to select the most appropriate metering technology for the system.

RECOMMENDED ACTION:

That the:

- a. City Council approve and authorize the City Manager, or his designee, to execute the Professional Services Agreement with MeterSYS for \$76,930.
- b. City Council authorize the General Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders, and amendments up to \$7,693 or 10% of the total contract cost as authorized by Corona Municipal [Code Section 3.08.070\(I\)](#).
- c. City Council authorize the Purchasing Manager to issue a purchase order to MeterSYS for

\$76,930 for Fiscal Year 2022.

- d. City Council make a determination under Corona Municipal Code [Section 3.08.140\(E\)](#) that competitive bidding is not required for the award of an agreement to MeterSYS based upon the reasons provided in the "Basis for Exception to Competitive Bidding" section of this report.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council take the above actions.

BACKGROUND & HISTORY:

On June 16, 2021, the City Council approved the Fiscal Year (FY) 2022 Capital Improvement Plan, which included the Advanced Metering Infrastructure (AMI) Meter Replacement Project (76340). This project will replace and/or retrofit City-wide direct read water meters with AMI meters. By completing the project, the Utilities Department (UD) will obtain real-time remote meter reads throughout the day and provide customers the ability to monitor their usage and detect leaks in real-time, which could result in water savings.

In 2012, the Department replaced and/or retrofitted 1,311 outdated meters with "smart" meters with advanced metering technology capabilities. The Department has continued to install the AMI meters through new development and currently has 4,405 AMI meters in the system. Once a robust software system is in place, these meters will help the Department mitigate undetected leaks and unaccounted water usage and loss in a timely and efficient manner, with automated 24/7 monitoring and alert capabilities. Approximately 40,000 meters still need to be upgraded to the advanced metering technology through the AMI Meter Replacement project at a total estimated cost of \$18 million.

ANALYSIS:

Because the AMI Meter Replacement Project will replace the majority of the Department's water meters, all AMI metering options must be carefully evaluated to make the best long-term decision for the UD. Using an independent consultant to evaluate the project and recommend the type of AMI metering infrastructure most appropriate for the system will ensure that the UD has the information necessary to make a sound decision.

Scope of Work

The consultant will be analyzing the UD's existing water utility metering and billing operations to determine existing asset capabilities for retrofitting, AMI network design options, operational process analysis, and organizational readiness. It also includes a financial analysis to estimate the capital project expenditures and operating costs and complete a return on investment (ROI) calculation for determining infrastructure investment values.

Based on the assessment and information collected, the consultant will develop the requirements and bid specifications to solicit proposals for the metering technology and implementation. The consultant will provide full support through the procurement process serving as the technical advisor in selecting the metering technology and negotiation and development of final contract documents.

Before the AMI implementation phase, the UD will conduct a request for proposals (RFP) to select a consultant to provide project management support for meter installation, endpoints, and a city-wide AMI network, the interface of the Meter Data Management System (MDMS) with the City's Utility Billing software and all system testing.

Basis for Exception to Competitive Bidding

The Department requests an exception to bidding for these services pursuant to Corona Municipal Code (CMC) [Section 3.08.140\(E\)](#): "When the purchasing agent and the authorized contracting party, with the approval of the City Manager, determine that it is in the best interest of the city and its administrative operations to dispense with public bidding for non-public projects under this chapter."

MeterSYS has previously assisted over 30 different nationwide clients with AMI implementation. In California, MeterSYS has worked with Las Virgenes Municipal Water District, Manhattan Beach, and Pico Rivera for their implementation projects. MeterSYS is not the only services firm that works with Advanced Metering Technology but what makes them unique is that MeterSYS specializes in AMI projects and are an active owner and operator of multiple AMI systems for three small public water utilities which gives them a unique understanding of the available products and how they best integrate with the Department's systems and how they perform. Additionally, other firms may work on other types of projects and although they may have experience working on AMI projects, they may not possess the same first-hand experience of operating and maintaining an AMI system after implementation is completed. This gives MeterSYS a holistic expertise to recommend the right technology and implementation strategy.

MeterSYS' core services are solely dedicated to AMI selection, installation, and performance for water utilities independent of all metering manufacturers and distributors, which not only provides the expertise necessary to make recommendations for the Department but also neutrality that the Department would not have when working directly with meter vendors. MeterSYS will provide an independent recommendation that is truly based upon the needs and objectives of the City. MeterSYS also owns and operates an AMI and Internet of Things (IoT) sensor testing center which is helpful to confirm the reliability and accuracy of meters and sensors prior to installation and implementation and not just relying on the manufacturers' performance warranty.

MeterSYS provides a comprehensive solution for AMI implementation projects that encompasses the project from beginning to end to ensure success and timely implementation. The Department recommends approval of the recommended action based on the qualifications that MeterSYS possesses.

FINANCIAL IMPACT:

Funding for the recommended action is available in the FY 2022 AMI Meter Replacement Capital Improvement Project (76340) in the Water Utility Fund 570.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California

Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is to approve for MeterSYS to provide analysis, planning, and full procurement support for the AMI Meter Replacement Project and there is no possibility that approving this exception to bid will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: JACQUELINE ZUKERAN, BUSINESS MANAGER

REVIEWED BY: TOM MOODY, GENERAL MANAGER

Attachments:

1. Exhibit 1 - MeterSYS Technology Support Services Proposal
2. Exhibit 2 - Professional Service Agreement with MeterSYS

ENGAGEMENT LETTER

October 25, 2021

RE: Metering Technology Support Services Proposal – City of Corona

On behalf of the entire MeterSYS team, I am pleased to submit this scope of work for developing a Metering Technology Master Plan for the City of Corona (the “City”). Our experiences in the evaluation and implementation of advanced metering solutions will ensure the City will achieve its objectives for metering and billing automation through proper planning and execution.

The purpose of this letter is to confirm, based on our August 25th, 2021 meeting, MeterSYS proposes to provide certain metering technology support services with the responsibility for assisting the City in achieving a high performing metering and billing environment for your customers. The details of those proposed services are included in the attachment to this letter and outlined in the Task Order.

A major component of successful procurement is the involvement of all departments that will be responsible for utilizing and maintaining the AMI system. Advanced metering technology contributes to each step of the billing, customer service, water operations, and asset management process; an analysis should only be performed by a team of experts that represent each of these key processes and technologies. Our engagements also involve all key business units supporting the utility agency, as each is a contributing stakeholder to the technology analysis.

MeterSYS feasibility, procurement, and program management services are designed to define the process of solution evaluation and selection for metering technology through the entirety of implementation. Differences in system performance, costs, and technical functionalities should be considered against the objectives of the Utility for strategic investments in metrology, technology, and integrated operational software. Future functionalities are also necessary to consider, ensuring as much as possible that the investment is made in technology that is not only compatible and reliable now, but also expandable and “future-proof” for the next 15 to 20 years.

Thank you for the opportunity to present our qualifications and scope of work recommendations. We look forward to reviewing the next steps with you and the project team.

Sincerely,

Andy Honeycutt
President, MeterSYS
(910) 690-7734
Andy.honeycutt@metersys.com

Attachment: City of Corona Metering Technology Support Services Scope

Successful metering projects will sustainably apply three foundational benefits for the metering and billing system: **Operational Efficiencies**, **Financial Strengthening**, and **Customer Service Enhancements**. Through our comprehensive analysis and planning, the City will have a defined implementation strategy with a focus on performance sustainability of your metering infrastructure.

The following Program of Work outlines the general responsibilities of each step for supporting the City through the coordination for successful deployment of Advanced Metering Infrastructure.

Phase 1- Roadmap Planning for AMI- Notice to Proceed (NTP) plus 30 days (“Feasibility Light”)

General assessment of existing metering and billing operations with focus on existing asset capabilities for retro-fitting, AMI network design options, operational process analysis, organizational readiness assessment, capital and operational expenditure estimates, business case analysis utilizing comprehensive modeling, and communications planning.

- I. High-level operational discovery of key current metering and billing processes; Organizational readiness assessment
- II. Network propagation study utilizing LoRaWAN network design as representative analysis
- III. Financial capital and operational expenditure estimates and ROI calculations aligned with City methodology for determining infrastructure investment values
- IV. Communications key actions recommendations and initial plan development

Phase 2- Full Procurement (Specification Development, Bid Solicitation, Solution Selection, Contract Development)- NTP plus 120 Days

- I. Development of Detailed Requirements and Request for Proposals Content- Coordinating with Utility business units related to metering and billing and technology deployment for development of procurement standards reflecting the City’s existing and forward-looking operational objectives
- II. Procurement Support and Technical Advisory Services- Establishing and issuing Request for Proposals for metering technology and providing procurement support through vendor due diligence, vendor rankings and interviews
- III. Metering Technology Solution Selection with Final Contract Negotiations- Serving as technical advisor in the negotiation and development of final contract documents with the highest-ranking vendor including service level agreements, performance criteria, scheduling, and final pricing

Phase 3- Program Management Overview- *Specific Scope Determined by Solution Selection (Generally 5% to 7% of Total Program Capital Costs)*

Program Management Responsibilities: MeterSYS will serve as program manager for all facets of AMI implementation, including financial oversight, project progression management, network installation and performance, multi-systems interfacing, quality field device installation and data management,

internal/external communications, and organizational change management. MeterSYS will assign responsibility for each of these critical categories to our consulting team members who will provide both experience and expertise through all phases and tasks of the program of work.

Specifically, MeterSYS will represent the interests of the City of Corona in the installation of meters, endpoints, and a city-wide AMI network, and the interface of the Meter Data Management System (MDMS) with the City's UB software. These elements are predictably performed by application of the MeterSYS Program Management Plan and summarized as follows:



1. Project Setup and Activation

This step serves as the official start of the Implementation project and the critical foundation for an effective deployment and for future system operation. It involves engaging City Staff, the meter vendor, the installer, and the MeterSYS project team, through collaborative project planning, milestone scheduling, roles and responsibilities defining, and general project “housekeeping.”

Upon authorization to proceed, the MeterSYS Program Manager and project team will initiate the work plan that will provide the baseline for development of the draft project plan. The results of the discovery session will involve:

- Drafting of the project charter and program management workbook (project schedule, project financials tracking/pay application, team contacts) with input by the project team and prime meter vendor; charter will contain all standard elements of documentation including roles and responsibilities, project organizational structure, project plan, SLAs, RACI chart, KPIs, financial summaries with payment processing standard
- Program management application setup and training - MeterSYS utilizes Zoho Projects, a web-based application providing project plan progression, document retention, schedule of key activities, internal project team messaging, and customized reporting
- Data Quality Reviews: During Discovery, conduct a full CIS data download for quality reviews and data management clean-up in coordination with City Customer Service, Utility Billing, and the Meter Shop
- Project Kickoff Meeting: MeterSYS will, in cooperation with the project team, plan and facilitate the Project Kickoff Meeting that involves all stakeholders of the City of Corona AMI Implementation Program
- QA/QC and Quality System: MeterSYS will hold each vendor responsible for developing and adhering to industry best practices for process QA and product QC actions and results aligned with the Prime Vendor's contracted scope of work. At a minimum, it is expected that Vendors' QA/QC efforts will consist of plans, procedures, and the organization necessary to assure adequate control (inspection)

and delivery of quality for materials, workmanship, installation procedure compliance and operations covering both on- site and off-site work. Vendors will be required to perform their own audits to assure compliance with the requirements of their quality program which will include at a minimum:

- QA/QC documentation to cover the scope of the work
- Designated QA/QC personnel
- Checklists approved by person completing the work and by QA/QC personnel accepting the work

The MeterSYS Program Manager will have responsibility for the overall Quality System in close coordination with the Utility Project Manager and Project Team to facilitate activities and a fundamental commitment to quality of performance and process including, but not limited to:

- Conducting periodic field audits of Vendors' QA/QC activities
- Checking contractor supplied documentation
- Witnessing contractor operations, inspections, and tests
- Performing independent inspections and tests using data and onsite validation to verify



Program Finance Management: MeterSYS will provide financial oversight and quality control throughout the entirety of the program of work to protect the utility's interest and fiscal responsibility. We have developed a Project Financials Management Workbook that is compatible with each vendor's invoicing system. As invoices are received, they are validated against the contract and inventory to ensure compliance with pricing and budgeted line items. We provide transparency into what comprises the invoices by highlighting pertinent information and extracting relevant data for monthly accounting. These reports include the state of the financials for the entire project budget including system improvements, program management, third-party vendors, and contingencies.

In our role as liaison, we address any discrepancies with the vendor prior to approving payment. We track and itemize how contingency funding is spent and ensure adherence to project budgets and constraints for unanticipated, but necessary expenditures. As part of project closeout, we reconcile planned vs. actual spend across utility allotments and help the utility budget for planned maintenance and future state expenditures.

MeterSYS will develop and deploy a network site assessment tool (mobile application) for locations referenced by the prime vendor for network infrastructure and require development of SOWs for each network device site including detailed responsibilities, network installation schematics (gateway, cables, electrical, backhaul, attachment specifications), materials summary, and summary of site responsibilities.

MeterSYS recommends the establishment of inventory controls (including chain of custody) during Project Initiation. MeterSYS will hold each Vendor responsible for inventory control and it is expected that Vendors' efforts will consist of plans and procedures to ensure:

- Equipment lead times and orders are properly managed to prevent program delays, shortages, or

Beaufort County Network Field Inventory	
ID	27
Asset Name Reference	CHERRY RUN TANK
Asset_Type	Elevated Tank
Asset Street Address	3062 CHERRY RUN RD WASHINGTON, NC 27889
Asset Location	Latitude: 35.619132, Longitude: -77.098453, Altitude: -23.778137, Speed: 0.000000, Accuracy: 5.113000, Provider: fused, Time: 12/09/2018 10:47:43 EST
Latitude	35.619132
Longitude	-77.098453
Full Asset Image	
Asset Image- Top	

overages

- Vendor representatives are onsite to receive and verify all incoming equipment
- Reconcile received shipments with MeterSYS and the Project Team
- Properly secure and maintain accountability of all equipment
- As required, initiate shipment of remaining equipment

2. Testing Phase

Considered the most critical point of the project, this step engages the responsibilities and the roles of each team member, establishes compliance with project contract service levels, requires effective integrations, and demands proper equipment lead- time management.

A key responsibility during the Testing Phase will be the coordination of the **System Integration** planning approach between the City's internal divisions and the third-party vendors. The deliverable will be an integration testing plan with clear targets for achievement to secure sign-off and move forward with the deployment. As part of our services scope, we will be engaging a systems expert to provide additional expertise on City software integration and to consult on system and process improvements that will fully leverage features and functionality.

Coinciding with **System Integration**, construction of the network will be coordinated between the prime contractor, the Utility, and third-party site managers for the assessment and build-out of collector infrastructure and associated power and data access. Because the **Network Testing** Phase generally requires multiple sub-contractors early in the process, the management requirements for this coordination are significant and crucial.

Major tasks for this milestone include:

- Complete site plan analysis and Scope of Work documentation
- Coordinate with tank management vendors and third-party site owners/operators for site upfit approvals
- Complete Utility required power and data (as required) connectivity for each site
- Ensure Radio Frequency (RF) sweeps are performed according to manufacturer's requirements
- Test RF signal strength and review network data for issues with "reach" and to reconfigure alerts/alarms as appropriate

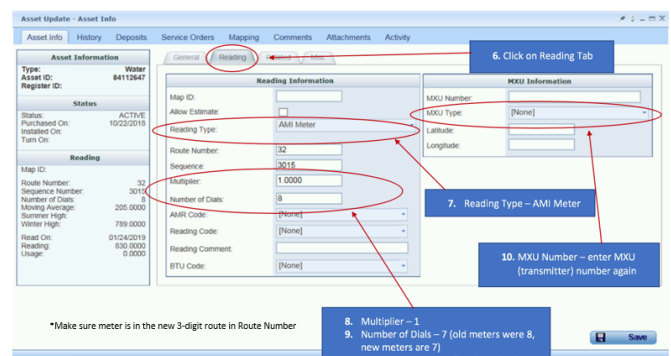
Once the systems integrations, field installation tool configurations, and network construction tasks are completed, the Program Manager and team execute a limited **All Systems Testing** period to validate that all contributing components of the AMI system are fully operational. This period of limited installation production is considered the final validation prior to authorizing full-scale meter installation work. Each member of the project team will validate the results of the testing period prior to authorizing the installation contractor to proceed with full AMI deployment.

MeterSYS will provide the following Program Management Services during the **Testing Phase**:

- Manage deployment and integration of the AMI head-end system (HES) and MDMS with CIS.
- Lead the functional testing and data validation efforts on behalf of the City. MeterSYS will lead the functional testing and data validation efforts and will work closely with the integration SME and City IT staff to execute this task.

- MeterSYS will lead system health tracking and troubleshooting and will monitor and update the project team on milestones met or issues identified. Having MeterSYS augment vendor support and installation efforts will ensure the proper monitoring of progress made on the network installation and systems integration. Our Program Manager will be responsible for validating field and systems work and will use the ongoing project status calls and reports to share updates and progress made with the team.
- MeterSYS will enforce vendor contract compliance, which will be further enabled through the clear identification of roles and responsibilities as described and agreed to in the Project Charter.
- Update Program Work Plan, including Risk Mitigation Plan. The MeterSYS Program Manager will be responsible for maintaining the Program Work Plan as a living document, updating as necessary to accommodate changes and impacts that affect the project plan and timeline. MeterSYS will provide a Risk Mitigation Plan that outlines the recommended identification of key risks and best practices to avoiding, resolving, or managing them and will work with the Project Team to further tailor to the City of Corona deployment as needed.
- MeterSYS will lead the data validation efforts, including parallel reads, in coordination with the installation team and with support as needed from the Utility Billing sub-team. The goal is to make sure the meter replacement and integration work has no negative impact on the reading and billing process. Adequate testing databases and back-ups help protect data and create assurances that data is clean, and all files are correct before being pushed to production. Data validation efforts are also a key component for quality control and help accommodate for the inevitable mistake and human error factor.
- Facilitate training as needed/recommended. A key area of focus for MeterSYS in this stage is to provide role-specific how-to documents that are much more focused and digestible for City staff. MeterSYS will also facilitate training by handling logistics, creating agendas, and coordinating the vendor trainers and training material on behalf of the City along with creating opportunities for staff to shadow vendors and providing one-on-one training sessions with key staff as needed.
- Oversee the Installer's configuration of the WOMS and its integration into the CIS. MeterSYS has designed its own installation WOM tool and has extensive experience managing the data capture form, process, data validation, and integration into CIS and GIS and will help shape all elements of this activity to ensure all expectations of the City for install data capture are met.

New Meter Change Out



The screenshot shows the 'Asset Update - Asset Info' form with the following sections and annotations:

- Asset Information:** Type: Water, Asset ID: 84112647.
- Status:** ACTIVE, Purchased On: 10/22/2018, Installed On: Turn On.
- Reading Information:**
 - Map ID: 32
 - Route Number: 3215
 - Sequence: 10000
 - Multiplier: 1
 - Number of Dials: 8
 - AMR Code: (None)
 - Reading Code: (None)
 - Reading Comment: (None)
 - BTU Code: (None)
- MXU Information:**
 - MXU Number: (None)
 - MXU Type: (None)
 - Latitude: (None)
 - Longitude: (None)

Annotations and instructions:

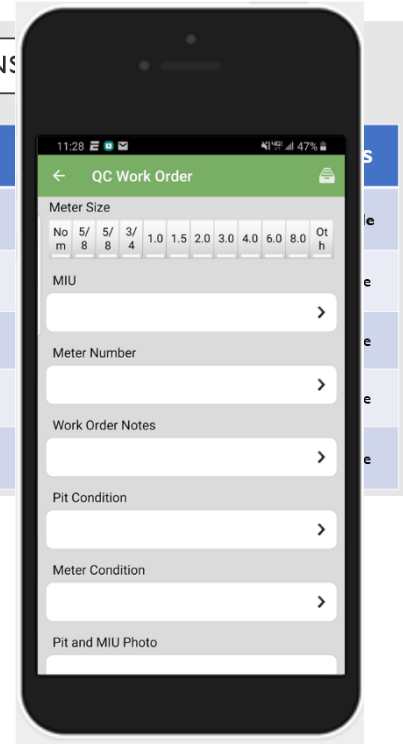
- 6. Click on Reading Tab.
- 7. Reading Type - AMI Meter
- 8. Multiplier - 1
- 9. Number of Dials - 7 (old meters were 8, new meters are 7)
 - a. New meters 4" and smaller have 7 dials, 4" and larger have 8 dials
- 10. MXU Number - enter MXU (transmitter) number again

*Make sure meter is in the new 3-digit route in Route Number

*All these fields will be provided by the MAG MMCO file
 *Will create new meter change out file that will ensure all this data for new and old meter is provided at time of change out

- MeterSYS will create a Utility Billing sub-team to focus on the integration and interface work with proper assignment of roles and responsibilities utilizing a RACI matrix. Having a dedicated group comprised of key City staff involved in the systems, IT, the utility billing integration SME, and MeterSYS Project Manager that has extensive integration management experience. Conducting the necessary due diligence of data scrubbing and standardization, planning the interfaces to ensure the proper flow and mapping of data between systems, and building the interfaces to best accommodate for future functionality and flexibility are core activities of the integration work. Testing, documentation, and validation will all be managed by MeterSYS.

ROLES AND RESPONSIBILITIES		
Action/Requirement	County	Logics
Planning and Project Coordination	Consulted	Consulted
Export File/Route File	Responsible	Consulted
Meter Swap File	Consulted	Consulted
VFLEX File	Consulted	Responsible
Billing Import Export File	Consulted	Responsible



11:28 47%

← QC Work Order

Meter Size

No 5/ 5/ 3/ 1.0 1.5 2.0 3.0 4.0 6.0 8.0 Ot

m 8 8 4 h

MIU

Meter Number

Work Order Notes

Pit Condition

Meter Condition

Pit and MIU Photo

- MeterSYS offers robust System Acceptance Testing (SAT) measures that go further to protect the utility's interests and hold vendors accountable for providing full functionality from the system. In addition, our network optimization efforts provide the utility with the assurance that the performance and maintenance of the network is a top priority.
- MeterSYS will perform end-to-end testing with a variety of meter sizes and correlated data. Our database SME will spearhead this quality control and end-to-end testing using industry best practices to uncover inconsistencies, duplicates, and other data disconnects to allow for the targeted resolution of any discrepancies between systems. We will also work with the Utility Billing sub-team to build in ongoing database maintenance responsibilities to ensure these systems and underlying data is maintained post-project.
- The QA/QC meter installation and network performance activities MeterSYS has developed were designed to reduce the risk and exposure of the City and hold vendors and their employees accountable to the standards laid out in the contracts and Project Charter. This task will be supported by the robust, cloud based WOM tool that provides documentation of field and network support activities and findings that MeterSYS developed specifically for this purpose.
- MeterSYS will work with City staff to develop policies for handling issues that will occur as part of the full deployment, including contingency plans. Our project plan and Charter will accommodate for issue and risk management activities and contact list with designated Point of Contact clearly identified. Policy support will also be addressed in the Change Management Plan, will be a key consideration in the Business Process Re-Engineering effort, and will be addressed in the Communications Plan as well for how to respond externally.
- MeterSYS will lead the system health tracking and troubleshooting efforts. These tasks will be clearly documented and fall under the vendor management responsibilities, providing the City with confidence that the AMI system is operating as it should in advance of authorizing the full deployment.

comfortable using the technology and managing all aspects of the new system.

- The MeterSYS program manager will ensure the Program Work Plan and the Risk Mitigation Plan is updated. Version control will be maintained, and any new drafts will be distributed and stored on the secure project sites for easy reference throughout the project.
- In addition to weekly production calls with the project team and monthly onsite program meetings, MeterSYS will develop a monthly progression report that covers all critical elements of the program of work including installation status, program financials, network performance, inventory summaries, system integration and training updates, communications summaries, and other elements of importance specific to the City.
- Refinement of system configurations, often shifting from default settings, is a priority during the early stages of full deployment. MeterSYS will coordinate the proper design of system generated alerts and other notifications with a goal to minimize false positive alerts and alarms, align settings to unique user accounts, and promote customer self-service through the customer portal.

4. Project Closeout

To ensure the Utility is capturing the return on its AMI investment, a Project Closeout program is implemented to track the benefits the organization is realizing from the AMI system as well as track project financials and deliverables against the Vendor agreements. This program will inform on the performance of the organization and the system, identifying strengths and areas for improvement. The Department can then utilize this information to make operational adjustments to ensure performance.

Develop / Implement Performance Measurement System

- Translate performance goals and objectives into refined and sustainable KPIs
- Define KPI collection and transfer process
- Develop appropriate PMS dashboard/reporting system

Analysis of Results

- Provide periodic review and analysis of the system performance and operational results
- Provide recommended corrective action to facilitate achievement of goals & objectives
- Develop a Results Analysis Report that will incorporate:
 - Overall utility goals & objectives achievement
 - Network performance and management requirements
 - Proficiencies assessment resulting from training and AMI system utilization
 - Return on Investment (ROI) analysis and results

We will work with the City to review the possible future state scenarios, prioritizing solutions that provide maximum ROI and have a positive impact. This program will inform on the performance of the organization and the system, identifying strengths and areas for improvement. The Utility can then utilize this information to make operational adjustments to ensure performance. Actions performed during this phase include:

- Installation data archiving
- Training proficiency reviews
- Updated field and back-office workflows verifications
- City of Corona policies and ordinances analysis based on new processes resulting from automation

Program Key Milestones and Deliverables Chart

This table details the key milestones and deliverables according to the respective key activity phase. The percentage of project upon completion identifies the allocation of the project total each key activity comprises. MeterSYS invoices monthly based on project progression of the proceeding month's activities and completion and submission of deliverables.

Key Activity	Activity Description	Project Deliverables
PROGRAM MANAGEMENT- IMPLEMENTATION		
1.0. Project Initiation: Implementation Program Management	Project Setup: Discovery Session, Project Charter, Program Management Tools, Historical Data Collection and Analysis	<ul style="list-style-type: none"> ▪ Project Charter ▪ Financials Workbook ▪ Project Work Plan ▪ RACI Chart ▪ Communications Plan ▪ Project Management Platform (Zoho, MS Project) Setup/Access ▪ Systems Topology Mapping ▪ CIS/GIS Data Quality Assessment ▪ Quality System Plan- QA/QC ▪ Network Detailed Site Plan (All Locations) ▪ Large Meter Survey
2.0. Implementation Initiation and Testing	Testing Phase: Infrastructure Planning, Installation, and Testing	<ul style="list-style-type: none"> ▪ Integrated Work Plan Updates ▪ Systems Integration Plan ▪ Quality System Plan Update ▪ Communications Plan Update ▪ Progression Reporting ▪ Vendor Financial Management and Reporting ▪ Field Installation Application Configuration ▪ Technology and Security Needs Assessment

Key Activity	Activity Description	Project Deliverables
3.0. Data Management Through Integration and Testing	Systems (Software) Integration Management: Includes GIS, Work Order Management, and Customer Portal as Outlined in Specifications	<ul style="list-style-type: none"> Systems Integration Sub-teamwork Plan Finalized Training Program (Field Operations, Systems Configuration, User Job Aides) RACI Chart- Integration System Acceptance Testing Plan Help Desk Support and Tiered Response Plan Communications Plan Updates
4.0. System-Wide Meter Conversion to AMI	Full Deployment (Field Inspections QC/QA, Systems Performance Management, Field and Software Training)	<ul style="list-style-type: none"> QA/QC Compliance Reporting (Field Inspections, Systems Validation, Inventory Controls) Field Audits Data Quality Assessments- By Route Installation Calendar & Installation Production Worksheet System Configurations Refinement (Alerts, Alarms, Settings) User Training (System Configuration and System Performance) Progression Reporting
5.0 AMI Program Management Finalized	Project Closeout, Financials Reconciliation, Reporting and Acceptance	<ul style="list-style-type: none"> Program Closeout Plan System Acceptance Document AMI Systems Sustainability Plan Contract Compliance Release Full Program Documentation KPI Reporting Updates Ordinance & Policy Assessment Training Proficiency Reviews Updated Field and Back-office Key Process Workflows Charting

Other Services

MeterSYS fully advocates the opportunities that AMI, especially those systems utilizing traditional gateways, provides utilities for functionalities “beyond the read™”. Through our Internet of Things (IoT) brand SentiSYS™, our firm partners with innovative companies to deliver expanded utilization of the system for distribution operations and smart city applications. MeterSYS has established a testing center in Raleigh, North Carolina for purposes of evaluating the network performance and the presentation of data from devices added to the AMI network. Our investments in infrastructure and skills development put us ahead of

the industry for our ability to design and implement added services for the City of Corona.

Our service offerings include optional design planning for:

- AMI System Expanded Functionality Planning with City Staff- Virtual Metering, DMAs, Distribution Leak and Pressure Monitoring, Smart-City Options, Remote Disconnect
- Post Deployment Performance Monitoring and Professional Services Support- MeterSERV (90 Days Post Deployment)

Through MeterSERV, the City will have a supporting partner in the management of AMI infrastructure and software systems responding to the constantly changing environment of metering and billing. Through a comprehensive approach to AMI support services, the City of Corona will have the ability to focus on utility operations and customer service in a metering and billing environment focused on continuity and performance.

Company History

The City's AMI procurement and implementation program is **uniquely aligned** with our **specific technical experience** in the development of requirements for successful selection and installation of sustainable, high-performing AMI systems. Regardless of size, all AMI systems contain three critical elements: meters and transmitters, the network, and the system for managing data. It is through our industry leading service delivery that we are appropriately qualified for this engagement.

Our AMI specialists conduct testing, evaluation, and documentation of network devices, AMI endpoints and software within our **MeterSYS Testing Center**. Through our SentiSYS brand, we have developed specific IoT device software for reporting multiple devices on a singular platform in support of **distribution operations and water resource conservation**. Our post-deployment support through MeterSERV ongoing services has established the **highest customer participation rate by a utility for WaterSmart on the east coast** and provides our clients with unmatched ongoing operational support and service.

Our recognition across the country as an innovative technical services provider **dedicated to water agencies** is growing exponentially and we provide a fresh alternative for utilities seeking an implementation

partner and advocate far beyond the typical metering consultant. While other firms may, like MeterSYS, offer broad experiences in AMI project management, **our investments and expertise in AMI procurement, implementation and smart city applications are unsurpassed in the industry** and our municipal administration experiences provides the City of Corona with a team committed to maintaining public trust.

The MeterSYS Mission: Our company was formed to address the divide that existed between the manufacturing and distribution vendors on one side and their utility customers on the other. We bridge this gap so that AMI investments serve water agencies with sustainability, performance, and financial value for the life of the assets while preserving public trust. We consider AMI implementation to be a technology



enhancement program of work that requires experienced specialists in network design, software integrations, distribution operations and utility billing to support the delivery of the solution. Our firm provides that experience in addition to having a strong background in the elements of effective public administration, policy, and customer service to guide the utility on the change management elements and ensure the AMI adoption is fully leveraged across the operation. Our team is committed to delivering AMI solutions for our clients that present agencies as good stewards of public infrastructure while enhancing revenues, operational efficiencies, and customer service.

Since the company's inception, we have experienced exponential growth due in large part to our complete neutrality among AMI vendors, our service value relevance, our commitment to the utility industry as core service offerings, our direct experience in operation of public utility metering, and our innovation and leadership in new technologies.



We operate several brands under the MeterSYS enterprise, including Metering as a Service®, our fully outsourced AMI service program, MeterSERV™, our AMI post-deployment operations service program, SentiSYS™, our AMI/IoT integrated platform, MeterSOFT™, our integrated device data management system (DDMS™), and MeterSOURCE™, our supplies distribution service for AMI and IoT through our verified partner program.

The MeterSYS Difference

MeterSYS has been very successful in achieving substantial growth in the market by disrupting the metering industry and focusing on three primary objectives for each AMI project:



Neutrality: MeterSYS is committed to advocacy on behalf of our clients for all aspects of AMI planning, procurement, and program management independent of all manufacturers and distributors. Our balanced approach to the industry ensures each AMI project managed by MeterSYS will be the absolute best design for our client's operational objectives.



Performance Accountabilities: We have developed comprehensive AMI operational expertise from our experience as AMI system owners. MeterSYS understands the technical elements critical for sustained performance and we have developed predictive analytics for device and network asset management.



Beyond the Read™ Integrators: MeterSYS is the industry leader in expanded utilization of AMI networks for devices supporting water and electric distribution, wastewater and stormwater collection, and a host of solutions that support data-driven decision making. We are full system integrators for both proprietary and LoRaWAN enabled networks giving our clients the most comprehensive solutions partner in the industry.

Project Team

Experienced Professionals: MeterSYS team members are experienced in managing projects across multiple leading vendors, including Aclara, Sensus, Neptune, Badger, Itron, Master Meter, and Mueller Systems. Our comprehensive familiarity with all major manufacturers far surpasses that of consultants and engineers in the industry. Our core focus on AMI provides our team with comprehensive training, insight, and coordination from these leading manufacturers for innovative network design, Meter Data Management Software (MDMS) configurations and integrations, leak detection, solid state metrology, and Internet of Things (IoT).

MeterSYS approaches each AMI program of work as a reflection of our team culture focused on AMI value, maintenance of public trust, and operational sustainability. Our team includes:

Andy Honeycutt, Senior Project Administrator/Principal Specialist- Andy Honeycutt serves MeterSYS clients after 25 years of public and private sector service to local governments and utilities as a trusted resource for public water utilities seeking to evaluate and implement advanced metering technologies. Andy served as a municipal manager in North Carolina for over a decade. He also served for over a decade as a regional manager for Progress Energy (now Duke Energy) a Fortune 125 electric utility and received intensive training in utilities industry. He provides expertise to MeterSYS clients in Advanced Metering Technologies, Utilities Management, Organizational Design, Change Management, Contract Negotiation, and AMI Project Management.

Lauren Brown, MPA, Systems Analyst (MDMS, Customer Portal)- Lauren Brown has extensive experience as a business consultant, delivering complex solutions in the Local Government industry. In her role as Vice President and Chief Project Officer, Lauren has been instrumental in delivering value-add solutions for clients on a consistent basis. Lauren has managed multiple software integrations and delivered complex business process and operational redesigns for municipalities. She is the head analyst for feasibility and business case analyses conducted by MeterSYS. She has also served as project manager for multiple AMR and AMI implementations. Throughout these engagements, Lauren has provided consistent results that have transformational impacts on the organizations her teams have supported.

Rodger Sauls, Public Relations, Communications/Account Manager- Rodger provides MeterSYS clients with over 30 years' experience in the Investor Owned Utility (IOU) industry at Progress Energy/Duke Energy, where he serviced in a variety of leadership roles including marketing, economic development, community relations and public affairs, large customer account management and special project teams with the electric provider. He is an experienced business developer and has also served local government through economic development and renewable energy advisory consulting roles across North & South Carolina. Rodger provides our clients with financial analysis support through his role as technician for the firm's meter performance and feasibility modeling tools to ensure independent quality control of data validity and inputs.

Cassius Williams, Field Operations Lead- Cassius Williams brings a tremendous level of experience and training in project management and has served as a Senior Level Technical Advisor following his service in the United States Army as a special forces training contractor. Cassius is also an effective collaborator and excels in diverse environments when working with multiple departments and stakeholders. He possesses a broad knowledge and understanding of advanced metering and the value this technology provides utilities. Cassius Williams has extensive experience in working with utilities, and he relentlessly pursues solutions that save time, are cost effective, and in the long-term best interest of the clients he serves.

Carol Mikovich, Data Analyst Lead- Carol possesses a vast amount of experience enhancing and optimizing business processes, and is highly skilled in data management, reporting, and analysis. Previously, she worked in the Banking Industry for more than 15 years. As a Systems Data Analyst/Project Manager, she is responsible for gathering requirements and managing systems integrations, generating technical reports, and completing in-depth data analysis, as well as vendor oversight and testing and validation. Carol is a valuable member of our team and pushes forward to bring the best product to her clients.

Davis Reed, Field Manager- Davis brings a wealth of experience in water resource management and is skilled in monitoring system performance, collecting and analyzing data, and maintaining water distribution systems. As a working Field Technician Supervisor, Davis commissions meters and configures and utilizes the work order management software and field applications to create, assign, and manage field activities, as well as track and manage inventory across multiple projects. He has received training on metering systems and networks to effectively troubleshoot and maintain high performing systems. Davis holds a Bachelor of Arts in Environmental Sciences from Washington and Lee University.

Kahne Kraft, Training and Business Process Lead- Kahne has extensive experience in accounting, administrative and project management through her work as a Clinical Manager. She has previously worked in the nonprofit sector and continues to pursue civic opportunities throughout the region. In her role as Consulting Analyst, she assists in data management and financial analysis and tracking across multiple MeterSYS projects.

Task Order

Task Number	Approval Date	Authorized By		
CA05.03.08.21		Andy Honeycutt		
Program Name	Task Description	MS Workbook Reference		
City of Corona Utilities AMI Planning and Selection Technical Services	Evaluating and Recommending Key Actions for Effective AMI Implementation	CA05.03.01		
Fees	Start Date	Term		
Phase 1 \$11,500 Phase 2 \$65,430	11/03/2021	120 Days		
Resources and Rates	Task Summary			
<p>Andy Honeycutt \$195</p> <p>Lauren Brown \$175</p> <p>Cassius Williams \$150</p> <p>Carol Mikovich \$100</p> <p>Khane Kraft \$85</p>	Refer to scope of work.			
Service Scope Summary: In coordination with City staff, provide AMI professional support services for AMI assessment, technology planning, and communications according to the Scope of Work.				
<p>Delivered by _____ Date _____</p> <p>MeterSYS</p> <p>Approved by _____ Date _____</p> <p>City of Corona</p>				

Summary of Proposed Fees

City of Corona Task Milestone Summary from Scope of Work		Allocated Fees	Estimated Hours
<u>Phase I: AMI Technology Project Planning, Project Kick-off, and Data Collection</u>	<u>Phase I Task Summary</u>		
	I. High-level operational discovery of key current metering and billing processes; Organizational readiness assessment	\$ 3,955.00	25
	II. Network propagation study utilizing LoRaWAN network design as representative analysis	\$ 2,715.00	19
	III. Financial capital and operational expenditure estimates and ROI calculations aligned with City methodology for determining infrastructure investment values	\$ 2,390.00	14
	IV. Communications key actions recommendations	\$ 2,440.00	16
Subtotal		\$ 11,500.00	74
<u>Phase II Alternative) Development of Request for Proposals and Selection of Best Value Offering</u>		-	-
	I. Development of Detailed Requirements and Request for Proposals Content- Coordinating with Utility business units related to metering and billing and technology deployment for development of procurement standards reflecting the City's existing and forward-looking operational objectives	\$ 28,880.00	188
	II. Procurement Support and Technical Advisory Services- Establishing and issuing Request for Proposals for metering technology and providing procurement support through vendor due diligence, vendor rankings and interviews	\$ 22,450.00	142

City of Corona Task Milestone Summary from Scope of Work		Allocated Fees	Estimated Hours
	III. Metering Technology Solution Selection with Final Contract Negotiations- Serving as technical advisor in the negotiation and development of final contract documents with the highest-ranking vendor including service level agreements, performance criteria, scheduling, and final pricing	\$ 14,100.00	88
Section Subtotal		\$ 65,430.00	418
Phases 1 & 2 Subtotal		\$ 76,930.00	492

Reference Detail

Reference 1	
Company name:	Las Virgenes Municipal Water Utility
Address:	4232 Las Virgenes Road, Calabasas, CA 91302-1994
Contact person:	Ursula Bosson – Customer Service Manager
Email address:	ubosson@lvmwd.com
Telephone address:	818-251-2113
Project name:	Advanced Metering Infrastructure Project Management Services
Dates worked performed:	Contract Award and AMI Project Start: 7/1/20 – 8/10/20 Alpha Phase - Network and Meter Install: 7/16/20 – 3/10/22 Project Close-Out: 3/13/22 – 6/7/22
Summary of scope of services:	In early 2020, MeterSYS was selected through a competitive RFP selection process to provide comprehensive project management services through Full Deployment), with project completion planned for mid-2022.
Project cost:	\$11,171,000

Reference 2	
Company name:	Harnett County, NC / Harnett Regional Water
Address:	700 McKinney Parkway, Lillington, North Carolina 27546
Contact person:	Steve Ward – Public Works Director
Email address:	sward@harnett.org
Telephone address:	910-893-7575

Project name:	Harnett Regional Water Advanced Metering Infrastructure Procurement and Project Management
Dates worked performed:	October 2019 to Present
Summary of scope of services:	MeterSYS was hired in October of 2019 to provide professional AMI procurement services for Harnett Regional Water, which is the public water utility of Harnett County, North Carolina. The County provides water service across more than 600 square miles and provides wholesale water to several regional municipalities as well as Fort Bragg.
Project cost:	\$15,500,000

Past Project References

	FEASIBILITY & BUSINESS CASE ANALYSIS								PROCUREMENT AND IMPLEMENTATION				AMI OPTIMIZATION			
Client	Current State Assessment	Field Inventory Survey	Network Design Site Survey	Financial Modeling/ROI	Propagation Studies	Requirements Mapping	Systems Implications	Findings Summary	Procurement	Pilot Deployment	Implementation	Utility Billing and MDMS Integration Services	AMI Customer Portal	Network Optimization	Revenue Analysis	Systems Standardization
Aberdeen, NC				✓	✓					✓						
Beaufort County, NC	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓			
Belmont, NC	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
Candor, NC*	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓		✓		
Carthage, NC	✓	✓		✓	✓	✓	✓	✓	✓		✓	✓				
Coats, NC	✓	✓			✓			✓	✓		✓	✓				
Clayton, NC	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
Dunn, NC	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓			
Emporia, VA		✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	✓		
Fuquay-Varina, NC	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
Gateway Services CDD, FL	✓	✓	✓				✓	✓								
Goldsboro, NC	✓			✓	✓	✓	✓	✓	✓	✓		✓				
Halifax County Service Authority, VA	✓	✓		✓	✓	✓	✓									
Harnett Regional Water, NC	✓		✓		✓		✓	✓	✓		✓	✓	✓			
Hendersonville, NC											✓	✓	✓	✓	✓	✓
Holly Springs, NC											✓			✓		
Kenansville, NC*	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓		✓		
Las Virgenes, CA										✓	✓	✓				
Lenoir, NC	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓				
Manhattan Beach, CA	✓				✓	✓		✓	✓							
Mt. Gilead, NC*	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓		✓		
Pico Rivera, CA				✓	✓	✓		✓	✓							
Pilot Mountain, NC				✓	✓	✓		✓	✓		✓	✓				
Raeford, NC	✓			✓	✓	✓	✓	✓	✓		✓	✓				
Sanford, NC	✓		✓	✓	✓	✓		✓		✓						
Sawmills, NC	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓				
Southport, NC	✓	✓		✓	✓	✓	✓	✓	✓		✓			✓	✓	✓
Sun N Lake Improvement District, FL									✓							
Troy, NC					✓	✓	✓	✓	✓	✓	✓	✓				✓
Union County, NC	✓	✓	✓	✓	✓	✓	✓	✓		✓						
Valdese, NC	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓			
*Metering as a Service Clients																

**CITY OF CORONA
PROFESSIONAL SERVICES AGREEMENT
WITH HONEYCUTT CONSULTING GROUP, LLC, DBA METERSYS
(AMI METER REPLACEMENT TECHNOLOGY MASTER PLAN SERVICE)**

1. PARTIES AND DATE.

This Agreement is made and entered into this 3rd day of November, 2021 (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and Honeycutt Consulting Group, LLC., dba MeterSYS a North Carolina Limited liability corporation with its principal place of business at 703 West Johnson Street, Raleigh, NC 27603 (“Consultant”). City and Consultant are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

2. RECITALS.

2.1 Consultant.

Consultant desires to perform and assume responsibility for the provision of certain professional services required by the City on the terms and conditions set forth in this Agreement. Consultant represents that it is experienced in providing Metering Technology Support Services to public clients, is licensed in the State of California, and is familiar with the plans of City.

2.2 Project.

City desires to engage Consultant to render such services for the AMI Meter Replacement Technology Master Plan Service project (“Project”) as set forth in this Agreement.

2.3 Corona Utility Authority.

Consultant understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

3. TERMS.

3.1 Scope of Services and Term.

3.1.1 General Scope of Services. Consultant promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional metering technology master plan consulting services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules, and regulations.

3.1.2 Term. The term of this Agreement shall be from November 3, 2021 to June 30, 2022 (“Term”), unless earlier terminated as provided herein. Consultant shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.6.8 below (each a “Renewal Term”).

3.2 Responsibilities of Consultant.

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Consultant or under its supervision. Consultant will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Consultant on an independent contractor basis and not as an employee. Consultant retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Consultant shall also not be employees of City and shall at all times be under Consultant’s exclusive direction and control. Consultant shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Consultant shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Consultant shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Consultant represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Consultant’s conformance with the Schedule, City shall respond to Consultant’s submittals in a timely manner. Upon request of City, Consultant shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Consultant shall be subject to the approval of City.

3.2.4 Substitution of Key Personnel. Consultant has represented to City that certain key personnel will perform and coordinate the Services under this Agreement. Should one or more of such personnel become unavailable, Consultant may substitute other personnel of at least equal competence upon written approval of City. In the event that City and Consultant cannot agree as to the substitution of key personnel, City shall be entitled to terminate this Agreement for cause. As discussed below, any personnel who fail or refuse to perform the Services in a manner acceptable to the City, or who are determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project or a threat to the safety of persons or property, shall be promptly removed from the Project by the Consultant at the request of the City. The key personnel for performance of this Agreement are as follows: Andy Honeycutt.

3.2.5 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Contract. Consultant shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.6 Consultant's Representative. Consultant hereby designates Andy Honeycutt, or his or her designee, to act as its representative for the performance of this Agreement ("Consultant's Representative"). Consultant's Representative shall have full authority to represent and act on behalf of the Consultant for all purposes under this Agreement. The Consultant's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences, and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.7 Coordination of Services. Consultant agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.8 Standard of Care; Performance of Employees. Consultant shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Consultant represents and maintains that it is skilled in the professional calling necessary to perform the Services. Consultant agrees that all employees and subconsultants shall have sufficient skill and experience to perform the Services assigned to them. Finally, Consultant represents that it, its employees and subconsultants shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Consultant shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Consultant's failure to comply with the standard of care

provided for herein. Any employee of the Consultant or its sub-consultants who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Consultant and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Consultant shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Consultant shall be liable for all violations of such laws and regulations in connection with Services. If the Consultant performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Consultant shall be solely responsible for all costs arising therefrom. Consultant shall defend, indemnify and hold City, its officials, directors, officers, employees, and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Consultant. By executing this Agreement, Consultant verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Consultant. Consultant also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Consultant shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Consultant shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Consultant's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Consultants, Sub-subcontractors and Subconsultants. To the same extent and under the same conditions as Consultant, Consultant shall require all of its subcontractors, consultants, sub-subcontractors and subconsultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Consultant verifies that they are a duly authorized officer of Consultant, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Consultant or its subcontractors, consultants, sub-subcontractors or subconsultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Consultant under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Consultant certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Consultant represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Consultant shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. To the extent applicable, Consultant must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Consultant shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Consultant shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Consultant, its subconsultants, or others for whom Consultant is responsible under its indemnity obligations provided for in this Agreement.

3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Consultant commences any Services under this Agreement, Consultant shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Consultant shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Consultant, its agents, representatives, employees or subconsultants. Consultant shall also require all of its subconsultants to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Consultant has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Consultant shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Professional Liability. Consultant shall procure and maintain, and require its sub-consultants to procure and maintain, for a period of five (5) years following completion of the Project, errors and omissions liability insurance appropriate to their profession. Such insurance shall be in an amount not less than \$2,000,000 minimum per claim or occurrence or \$2,000,000 aggregate. Coverage shall be sufficiently broad to respond to the duties and obligations as is undertaken by Consultant in this Agreement and shall include, but not be limited to, claims involving infringement of intellectual property, including, but not limited to infringement of copyright, trademark or other intellectual property, invasion of privacy violations, electronic information or data theft, loss of, breach of, damage to, destruction of or misuse of electronic information or data, release of private information, alteration of electronic information, extortion and network security. The policy shall provide coverage for breach

response costs, regulatory fines and penalties and credit monitoring expenses with limits sufficient to respond to these obligations.

3.2.10.4 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Consultant, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Consultant's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Consultant.

(C) All Coverages. If Consultant maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Consultant. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.5 Other Provisions: Endorsements Preferred. Consultant shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Consultant:

(A) Waiver of Subrogation – All Other Policies. Consultant hereby waives all rights of subrogation any insurer of Consultant's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Consultant. Consultant understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Consultant shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Consultant.

Consultant understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.6 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Consultant must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.7 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Consultant to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.8 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.9 Verification of Coverage. Consultant shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Consultant's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.10 Reporting of Claims. Consultant shall report to the City, in addition to Consultant's insurer, any and all insurance claims submitted by Consultant in connection with the Services under this Agreement.

3.2.10.11 Sub-Consultants. All sub-consultants shall comply with each and every insurance provision of this Section 3.2.10. Consultant shall therefore not allow any sub-consultant to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the sub-consultant has secured all insurance required under this Agreement.

3.2.10.12 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior

experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Consultant shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Consultant shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

3.2.12 Payment Bond. The California Department of Industrial Relations (“DIR”) has communicated to the City that there is a possibility that a payment bond may be required for certain services provided in connection with a public works project. Since such a requirement is currently contrary to the industry standard for the services provided by Consultant under this Agreement and since there is no direct legal authority for this position, the City is not requiring Consultant to provide a payment bond at this time. However, the City hereby reserves the right to require the Consultant to obtain and provide a payment bond for some or all of the Services provided by the Consultant under this Agreement.

If the City determines that a payment bond is required for the Services pursuant to Civil Code Section 9550 or any other applicable law, rule or regulation, Consultant shall execute and provide to City a payment bond in an amount required by the City and in a form provided or approved by the City. In the event a payment bond is required, the City agrees to compensate Consultant for all documented direct costs incurred by Consultant for such payment bond. The Parties shall memorialize the terms of such additional compensation and any other terms and conditions associated with the payment bond in an amendment to this Agreement.

3.2.13 Accounting Records. Consultant shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Consultant shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Consultant shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

3.3 Fees and Payments.

3.3.1 Rates & Total Compensation. Consultant shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit “C” attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Seventy Six Thousand Nine Hundred Thirty Dollars (\$76,930) (“Total Compensation”), without written approval of City’s Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Consultant shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by

Consultant. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Consultant shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Consultant perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Consultant shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Consultant is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Consultant and its subconsultants shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Consultant and its subconsultants shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no consultant or subconsultant may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Consultant shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Consultant's principal place of business and at the Project site. It is most efficient for the Consultant to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at www.dir.ca.gov/dlsr/. In the alternative, Consultant may obtain a copy of the prevailing wages from the City's Representative. Consultant shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Consultant shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Consultant

employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Consultant.

3.4 Termination of Agreement.

3.4.1 Grounds for Termination. City may, by written notice to Consultant, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Consultant of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Consultant shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Consultant shall be entitled to no further compensation. Consultant may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Consultant to provide all finished or unfinished Documents and Data and other information of any kind prepared by Consultant in connection with the performance of Services under this Agreement. Consultant shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

3.5 Ownership of Materials and Confidentiality.

3.5.1 Documents & Data; Licensing of Intellectual Property. This Agreement creates a non-exclusive and perpetual license for City to copy, use, modify, reuse, or sublicense any and all copyrights, designs, and other intellectual property embodied in plans, specifications, studies, drawings, estimates, and other documents or works of authorship fixed in any tangible medium of expression, including but not limited to, physical drawings or data magnetically, electronically or otherwise recorded or stored, which are prepared or caused to be prepared by Consultant under this Agreement ("Documents & Data"). All Documents & Data shall be and remain the property of City, and shall not be used in whole or in substantial part by Consultant on other projects without the City's express written permission. Within thirty (30) days following the completion, suspension, abandonment or termination of this Agreement, Consultant shall provide to City reproducible copies of all Documents & Data, in a form and amount required by City. City reserves the right to select the method of document reproduction and to establish where the reproduction will be accomplished. The reproduction expense shall be borne by City at the actual cost of duplication. In the event of a dispute regarding the amount of compensation to which the Consultant is entitled under the termination provisions of this Agreement, Consultant shall provide all Documents & Data to City upon payment of the undisputed amount. Consultant shall have no right to retain or fail to provide to City any such documents pending resolution of the dispute. In addition, Consultant shall retain copies of all Documents & Data on file for a minimum of five (5) years following completion of the Project, and shall make copies available to City upon the payment of actual reasonable duplication costs.

In addition, before destroying the Documents & Data following this retention period, Consultant shall make a reasonable effort to notify City and provide City with the opportunity to obtain the documents.

3.5.2 Subconsultants. Consultant shall require all subconsultants to agree in writing that City is granted a non-exclusive and perpetual license for any Documents & Data the subconsultant prepares under this Agreement. Consultant represents and warrants that Consultant has the legal right to license any and all Documents & Data. Consultant makes no such representation and warranty in regard to Documents & Data which were prepared by design professionals other than Consultant or its subconsultants, or those provided to Consultant by the City.

3.5.3 Right to Use. City shall not be limited in any way in its use or reuse of the Documents and Data or any part of them at any time for purposes of this Project or another project, provided that any such use not within the purposes intended by this Agreement or on a project other than this Project without employing the services of Consultant shall be at City's sole risk. If City uses or reuses the Documents & Data on any project other than this Project, it shall remove the Consultant's seal from the Documents & Data and indemnify and hold harmless Consultant and its officers, directors, agents and employees from claims arising out of the negligent use or re-use of the Documents & Data on such other project. Consultant shall be responsible and liable for its Documents & Data, pursuant to the terms of this Agreement, only with respect to the condition of the Documents & Data at the time they are provided to the City upon completion, suspension, abandonment or termination. Consultant shall not be responsible or liable for any revisions to the Documents & Data made by any party other than Consultant, a party for whom the Consultant is legally responsible or liable, or anyone approved by the Consultant.

3.5.4 Indemnification. Consultant shall defend, indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless, pursuant to the indemnification provisions of this Agreement, for any alleged infringement of any patent, copyright, trade secret, trade name, trademark, or any other proprietary right of any person or entity in consequence of the use on the Project by City of the Documents & Data, including any method, process, product, or concept specified or depicted.

3.5.5 Confidentiality. All Documents & Data, either created by or provided to Consultant in connection with the performance of this Agreement, shall be held confidential by Consultant. All Documents & Data shall not, without the prior written consent of City, be used or reproduced by Consultant for any purposes other than the performance of the Services. Consultant shall not disclose, cause or facilitate the disclosure of the Documents & Data to any person or entity not connected with the performance of the Services or the Project. Nothing furnished to Consultant that is otherwise known to Consultant or is generally known, or has become known, to the related industry shall be deemed confidential. Consultant shall not use City's name or insignia, photographs of the Project, or any publicity pertaining to the Services or the Project in any magazine, trade paper, newspaper, television or radio production or other similar medium without the prior written consent of City.

3.6 General Provisions.

3.6.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

Consultant:

Honeycutt Consulting Group, LLC dba MeterSYS
703 West Johnson Street
Raleigh, NC 27603
Attn: Andy Honeycutt

City:

City of Corona
400 South Vicentia Avenue
Corona, CA 92882
Attn: Tom Moody

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.6.2 Indemnification. To the fullest extent permitted by law, Consultant shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Consultant, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Consultant's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Consultant's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Consultant. Consultant's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.6.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Consultant must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters

that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Consultant. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Consultant shall be barred from bringing and maintaining a valid lawsuit against the City.

3.6.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.6.5 City's Right to Employ Other Consultants. City reserves right to employ other consultants in connection with this Project.

3.6.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the Parties.

3.6.6.1 Subconsultants; Assignment or Transfer. Consultant shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Consultant shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subconsultants, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.6.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Consultant has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Consultant shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.6.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Consultant include all personnel, employees, agents, and subconsultants of Consultant, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.6.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.6.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.6.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.6.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.6.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.6.12 Prohibited Interests. Consultant maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Consultant, to solicit or secure this Agreement. Further, Consultant warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Consultant, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Consultant further agrees to file, or shall cause its employees or subconsultants to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.6.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.6.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.6.15 Authority to Enter Agreement. Consultant has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.6.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.6.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations,

understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

[SIGNATURES ON NEXT 2 PAGES]

CITY'S SIGNATURE PAGE FOR
CITY OF CORONA
PROFESSIONAL SERVICES AGREEMENT
WITH METERSYS
(AMI METER REPLACEMENT TECHNOLOGY MASTER PLAN SERVICE)

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

CITY OF CORONA

By: _____
Jacob Ellis
City Manager

Reviewed By: _____
Tom Moody
General Manager

Reviewed By: _____
Jacqueline Zukeran
Business Manager

Reviewed By: _____
Norman Bush
Purchasing Manager

Attest:
— _____
Sylvia Edwards
City Clerk

CONSULTANT'S SIGNATURE PAGE FOR
CITY OF CORONA
PROFESSIONAL SERVICES AGREEMENT
WITH METERSYS
(AMI METER REPLACEMENT TECHNOLOGY MASTER PLAN SERVICE)

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

METERSYS
a California Corporation

By: 
1E5E4427FF534B4...

Signature

ANDY HONEYCUTT

Name (Print)

Managing Director

Title (CEO, President, or V.P.)

By: 
325DA4EA1E71462...

Signature

Lauren Brown

Name (Print)

Vice President, Chief Projects Officer

Title (CFO, Secretary, or Treasurer)

EXHIBIT “A” SCOPE OF SERVICES

Successful metering projects will sustainably apply three foundational benefits for the metering and billing system: **Operational Efficiencies**, **Financial Strengthening**, and **Customer Service Enhancements**. Through our comprehensive analysis and planning, the City will have a defined implementation strategy with a focus on performance sustainability of your metering infrastructure.

The following Program of Work outlines the general responsibilities of each step for supporting the City through the coordination for successful deployment of Advanced Metering Infrastructure.

Phase 1- Roadmap Planning for AMI- Notice to Proceed (NTP) plus 30 days (“Feasibility Light”)

General assessment of existing metering and billing operations with focus on existing asset capabilities for retro-fitting, AMI network design options, operational process analysis, organizational readiness assessment, capital and operational expenditure estimates, business case analysis utilizing comprehensive modeling, and communications planning.

- I. High-level operational discovery of key current metering and billing processes; Organizational readiness assessment
- II. Network propagation study utilizing LoRaWAN network design as representative analysis
- III. Financial capital and operational expenditure estimates and ROI calculations aligned with City methodology for determining infrastructure investment values
- IV. Communications key actions recommendations and initial plan development

Phase 2- Full Procurement (Specification Development, Bid Solicitation, Solution Selection, Contract Development)- NTP plus 120 Days

- I. Development of Detailed Requirements and Request for Proposals Content- Coordinating with Utility business units related to metering and billing and technology deployment for development of procurement standards reflecting the City’s existing and forward-looking operational objectives
- II. Procurement Support and Technical Advisory Services- Establishing and issuing Request for Proposals for metering technology and providing procurement support through vendor due diligence, vendor rankings and interviews
- III. Metering Technology Solution Selection with Final Contract Negotiations- Serving as technical advisor in the negotiation and development of final contract documents with the highest-ranking vendor including service level agreements, performance criteria, scheduling, and final pricing

EXHIBIT “B” SCHEDULE OF SERVICES

Consultant promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional metering technology master plan consulting services necessary for the Project (“Services”).

Task Number	Approval Date	Authorized By
CA05.03.08.21		Andy Honeycutt
Program Name	Task Description	MS Workbook Reference
City of Corona Utilities AMI Planning and Selection Technical Services	Evaluating and Recommending Key Actions for Effective AMI Implementation	CA05.03.01
Fees	Start Date	Term
Phase 1 \$11,500 Phase 2 \$65,430	09/07/2021	120 Days

EXHIBIT "C" COMPENSATION

Consultant shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in this exhibit.

Task Number	Approval Date	Authorized By
CA05.03.08.21		Andy Honeycutt
Program Name	Task Description	MS Workbook Reference
City of Corona Utilities AMI Planning and Selection Technical Services	Evaluating and Recommending Key Actions for Effective AMI Implementation	CA05.03.01
Fees	Start Date	Term
Phase 1 \$11,500 Phase 2 \$65,430	09/07/2021	120 Days
Resources and Rates	Task Summary	
Andy Honeycutt \$195 Lauren Brown \$175 Cassius Williams \$150 Lisa Nguyen \$135 Carol Mikovich \$100 Khane Kraft \$85	Refer to scope of work.	
Service Scope Summary: In coordination with City staff, provide AMI professional support services for AMI assessment, technology planning, and communications according to the Scope of Work.		



Staff Report

File #: 21-0976

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Finance Department

SUBJECT:
Fiscal Year 2022 Quarter 1 Budgetary Adjustments.

EXECUTIVE SUMMARY:

Staff is recommending Quarter 1 budget adjustments for Fiscal Year (FY) 2022 in the operating and capital budgets.

RECOMMENDED ACTION:

That the:

- a. City Council approve the following General Fund budgetary adjustments:
 1. Transfer \$14,000, within the Community Services Department, from the salaries/benefits budget to the services/supplies budget for training.
 2. Appropriate \$33,000 and increase revenue estimates by the same amount for an additional location of the Kids Club After-school Program, located at Benjamin Franklin Elementary School.
 3. Reduce the Emergency 911 Phone System capital improvement project (CIP #70100) and decrease revenue estimates by \$45,483 for maintenance of the Dispatch Vesta 911 phone system.
- b. City Council appropriate \$32,000, in the Asset Forfeiture Fund 250, to the Police Department operating budget to purchase handheld radio batteries.
- c. City Council appropriate \$40,815, in the Residential Refuse/Recycling Fund 260, to the Utilities Department operating budget for solid waste compliance audits and approve a change order to MSW Consultant's purchase order for the same amount, for a total Purchase Order of \$127,315. Approve a potential cash transfer of \$40,815 from the General Fund to the

Residential Refuse/Recycling Fund 260, with final amount to be determined based on year-end actuals.

- d. City Council appropriate \$120,000, in the Dwelling Development Tax Fund 289, to the Harrison Shelter Phase 2 project (CIP #75025).
- e. City Council appropriate \$2,000, in the Low Mod Income Housing Fund 291, to the Community Services operating budget for computer equipment.
- f. City Council appropriate \$65,964 and increase revenue estimates by the same amount (\$36,450 Family Literacy Services and \$29,514 Adult Family Literacy), in the Adult and Family Literacy Grant Fund 442, to the Community Services operating budget for the FY 2022 literacy services grant award.
- g. City Council appropriate \$15,000, in the LMD 84-2 Zone 10 Fund 460, to the Community Services operating budget for weed abatement costs.
- h. City Council appropriate \$100,000, in the Reclaimed Water System Fund 567, to the Booster Station Rehabilitation project (CIP #7034). Authorize a potential loan of \$19,109 from the Water Reclamation Utility Fund 572 to the Reclaimed Water Utility Fund 567, with the final amount to be determined based on year-end actuals.
- i. City Council approve an inter-fund and repayment agreement between the Water Reclamation Utility Fund 572 and the Reclaimed Water Utility Fund 567.
- j. Corona Utility Authority (CUA) and Corona Housing Authority (CHA) review, ratify, and to the extent necessary, direct that the City Council take the above actions.

BACKGROUND & HISTORY:

On a quarterly basis, the Finance Department provides a budget update to the City Council. As part of the quarterly process, departments provide operating and CIP adjustments that need to be addressed in the fiscal year. The Finance Department prepares a consolidated request for the City Council's consideration.

ANALYSIS:

Item a - General Fund budgetary adjustments

1. Transfer \$14,000 from the salaries/benefits budget to the services/supplies budget in the Community Services Department. The budget transfer is requested to provide strengths-based training to the fifty (50) full-time employees across all divisions in the newly re-organized Community Services Department. The purpose is to integrate with one another across the multiple divisions and continue to create a positive culture with the addition of two (2) supervisors from the Utilities Department and Planning and Development Department being transferred to the Community Services Department to form the Community Assistance and Building Maintenance divisions, as well as the addition of full-time staff that were also transferred from these divisions. The strengths-based training is meant to leverage the

strengths of all full-time staff so that it can create efficiencies, prioritize providing the best customer service to the community, and positive work culture, as well as provide on-going support to all staff as well as invest in their professional development and retain employees. The transfer of \$14,000 is funded from existing salaries/benefits savings that exists due to vacancies.

2. Appropriate \$33,000 and increase revenue estimates for a new kids' club location at Benjamin Franklin Elementary. Parental demands and high success from Eisenhower Elementary prompted community interest in opening another after-school site in the immediate area, at Benjamin Franklin Elementary. The funding will provide for part-time positions and operating costs. The budget increase will be offset with revenues from the families that participate in the after-school program. The location is set to begin in January 2022.
3. Reduce the Emergency 911 Phone System (CIP #70100) and decrease revenue estimates by \$45,483 for maintenance of the Dispatch Vesta 9-1-1 phone system. In the FY 2016 capital improvement plan budget, replacement of the Emergency 911 Phone System was authorized. 911 phone systems throughout the State of California are managed by the State's Office of Emergency Services. The necessary funding for replacing the 911 phone systems is generated from a 911 service fee paid on every phone bill. The emergency 911 phone system was approved and accepted by the Police Department on August 19, 2016. At the time of purchase, the vendor, Carousel Industries, was authorized to submit a purchase order of \$428,907.62 on the City's behalf directly to the State of California. This purchase order allowed the vendor to submit billing requests directly to the State of California Office of Emergency Services through the designated funding allotment for the City of Corona. The funding is identified by the volume of 911 calls received each year. This purchase order included five years of maintenance on the system.

The 911 phone system is now in the sixth year, and Carousel Industries will provide maintenance at the cost of \$45,483 for FY 2022. When the budget was prepared for FY 2022, it was determined that the City of Corona would pay this maintenance, and the State of California would reimburse the City of Corona for these costs. A recent change at the State of California contracts department now allows the State to pay the vendor directly. The State of California Office of Emergency Services would prefer to move forward and enable Carousel Industries to continue invoicing the State directly for payment. With this change, the City of Corona will issue a zero-dollar purchase order to Carousel Industries and will not incur the maintenance costs from Carousel Industries or have the revenue from the State of California.

Item b - appropriate \$32,000, in the Asset Forfeiture Fund 250, for handheld radio batteries.

The Police Department is requesting an appropriation of \$32,000 in the Asset Forfeiture Fund 250, to purchase 200 handheld radio batteries that will enhance the safety of our personnel and the community. The batteries will be replacing 200 batteries that are past the warrantied service life of 14 months. On two separate occasions, the Police Department has had catastrophic battery failures due to overuse and overcharging. As batteries near the end of service, the power diminishes tremendously, causing dead batteries amid service calls and patrol shifts, this is a safety issue for personnel. The additional batteries will allow our field personnel to remain in service without

returning to the station for a fresh battery. This equipment is an appropriate purchase for the funding source.

Item c - appropriate \$40,815, in the Residential Refuse/Recycling Fund 260, for solid waste compliance audits and approve a change order to MSW Consultant's purchase order for the same amount, for a total Purchase Order of \$127,315.

The Utilities Department oversees and manages the City of Corona (City) Waste and Recycling program which includes administrative and regulatory compliance tasks required for State-Mandated solid waste diversion regulations. On February 17, 2021, the Utilities Department issued Request for Proposals (RFP) 21-051RH seeking a solid waste and recycling consultant to aid and support the City with meeting the State's regulatory requirements. MSW Consultants (MSW) was selected to provide these services. MSW's proposal included 104 hours to conduct compliance audits as one of the assigned tasks. Due to the COVID-19 pandemic, the City and Waste Management have conducted education and outreach efforts electronically which have not garnered a significant amount of responses from City of Corona's businesses to comply with State and City regulations. The Department feels that in-person site visits will be more effective to increase compliance, however, site visits will require additional hours from the consultant. Currently, the number of non-compliant businesses in Corona is 1,359. To reach compliance with the existing regulations (AB 341 and AB 1826, Mandatory Commercial Recycling and Mandatory Organics Commercial Recycling, respectively) the Utilities Department is requesting an additional appropriation and change order for our solid waste consultant, MSW Consultants. MSW will assist with in-person site visits/assessments to a select number of businesses in the City to provide education and bring businesses to compliance prior to the end of August 2022, which will avoid possible enforcement actions by CalRecycle.

Description	Cost
Original Proposal Amount - Solid Waste Consulting Services (includes the cost for approx. 100 in-person site visits/assessments)	\$86,500
Additional amount needed (to assist with an additional 250 in-person site visits/assessments)	\$40,815
Total Amount for Purchase Order	\$127,315

Item d - appropriate \$120,000, in the Dwelling Development Tax Fund 289, to the Harrison Shelter Phase 2 project (CIP #75025).

On November 18, 2020, the City Council awarded Notice Inviting Bid (NIB) 21-011CA to J.A. Urban for \$1,001,816.89 for the Phase 1 Harrison Shelter Rehabilitation Project with change orders authorized up to 20% of the contract amount or \$200,363.38. An additional \$125,000 was budgeted for design, construction management, and project management bringing the Phase 1 project total to \$1,327,180.27.

During the Phase 1 construction, new partnerships were developed to support the Homeless Strategic Plan. As a result of these new partnerships and team discussions about maximum functionality of the Shelter/Navigation Center, staff proposed additional improvements to enhance the provision of multi-disciplinary services at the Shelter/Navigation Center.

On June 2, 2021, City Council approved staff recommendations to proceed with plans for Phase 2 renovations which will include building modifications to accommodate Centro Medico Community Clinic, Security System Enhancements, and a Dog Run Shelter/Patio Cover.

Accordingly, City Council directed staff to proceed with cost estimates, develop a Phase 2 scope of work, contractor bid selection process, and return to City Council with recommendations.

The Phase 1 renovation project had unanticipated costs related to the fire protection system and disabled access improvements. Although the fire protection system improvements have been completed, the disabled access improvements are still outstanding.

In addition, there are other Phase 2 costs associated with design, project management, staff support and other miscellaneous costs.

To ensure that staff can complete the outstanding disabled access improvements as well as complete the project design and bid process, staff recommends that \$120,000 be transferred from the Dwelling Development Tax Fund 289 to the Harrison Shelter Phase 2 CIP #75025289. A breakdown of the \$120,000 appropriation is as follows:

Description	Cost
Outstanding ADA Improvements	\$40,000
Phase 2 Design Costs	\$50,000
Project Management/Staff Support	\$10,000
Contingency/Miscellaneous Costs	\$20,000
Total	\$120,000

At the conclusion of the bid process, staff will return to City Council for approval of a construction contract for the Phase 2 improvements. At that time, the total Phase 2 budget will be adjusted to represent the final project budget.

Item e - appropriate \$2,000, in the Low Mod Income Housing Fund 291, for computer equipment. The Community Assistance and Transportation functions recently transferred to the Community Services Department from the Planning and Development and Public Works departments. The technology that came with that transfer was insufficient, causing interruptions in service. The appropriation is for the purchase of a desktop computer and Surface Pro tablet to work while offsite at the airport, housing complexes, and the Harrison Avenue Shelter Project.

Item f - appropriate \$65,964 and increase revenue estimates by the same amount (\$36,450 Family Literacy Services and \$29,514 Adult Family Literacy), in the Adult and Family Literacy Grant Fund 442, for the FY 2022 literacy services grant award.

- Family Literacy: In Fiscal Year 2019, the Corona Public Library (CPL) was awarded funds from the California State Library to support family literacy. The funding has allowed the Library's Literacy program to expand services to families of low-literate adults to improve their reading and writing skills and foster literacy in the home.

CPL has been awarded \$36,450 for Fiscal Year 2022 to support existing family literacy programming in the community. These funds will be used to strengthen the services provided to learners enrolled in the California Library Literacy Services program and support the library in reaching out to and engaging underserved adults and families. Some of the grant dollars also fund a portion of one existing part-time staff position involved in literacy programming.

- **Adult Literacy:** The Corona Public Library (CPL) applies annually for funds to support the Adult Literacy program. Fiscal Year 2022 CPL has been awarded \$29,514. This grant provides for one-on-one literacy tutoring for adults. Tutoring encompasses a myriad of skills from reading to math and from financial literacy to basic computer skills.

The Adult Literacy program has been in existence since 1994. It is funded almost exclusively through grants from the California State Library, for which the City must apply annually. This funding supports the purchase of supplies and resources, such as educational software and online resources for our volunteer tutors and their adult learners. Training for volunteer tutors and staff is also funded as is the partial funding of an existing part-time position.

The annual funds are supplemented with other grants, donations, and general City revenues when they are available. Due to the impact of COVID-19, 14 existing tutor/learner pairs are connecting virtually or in person. The Adult literacy grant has allowed for the creation of a partnership with Corona Norco Unified School District (CNUSD) Adult school, and this class currently has 20 English Literacy and Civics (ELAC) students.

Item g - appropriate \$15,000, in the LMD 84-2 Zone 10 Fund 460, for weed abatement costs.

The Fire Department, in cooperation with the Community Services Department, is requesting an appropriation of \$15,000 to add to the contract with Environmental Land Management, Inc. The funds will be utilized for additional acres of weed abatement in the landscape maintenance area.

Item h - appropriate \$100,000, in the Reclaimed Water System Fund 567, to the Booster Station Rehabilitation project (CIP #7034).

The City of Corona, Utilities Department (UD), utilizes booster stations to transfer potable or reclaimed water from one pressure zone into another due to changes in elevation and topography. Without functioning booster stations, UD would not be able to provide potable water and reclaimed water to customers of South Corona.

The Border Reclaimed Water Booster station located at 2525 Border Avenue has four (4) submersible pumps powered by 300-hour motors which each pump approximately 1,800 gallons per minute (GPM) to the Gilbert Reclaimed Water Storage Tank and into the reclaimed water system. As part of proactive maintenance, pump no. 3 and its motor were removed and replaced in May 2021. However, in July 2021, the motor failed during the warranty period and was taken out of service for warranty related repairs.

Meanwhile, pump no. 2 short-circuited unexpectedly on September 27, 2021. The Border Reclaimed Water Booster station has a peak demand requiring three (3) pumps running simultaneously to meet

the reclaimed water system demands. With two (2) pumps out of service, the station was working at half capacity.

The motor for pump no. 2 was replaced on an emergency basis by the City's on call contractor, Legend Pump and Well Services. Pump no. 2 is currently in service and working satisfactorily.

This unexpected expense was not included in the Reclaimed Water Utility Operating Budget. The Utilities Department requests an appropriation to the Booster Station Rehabilitation CIP 73040567 in the amount of \$100,000 from the Reclaimed Water Utility fund to cover the cost of the motor replacement.

Item i - Inter-fund loan agreement between Water Reclamation Utility Fund 572 and Reclaimed Water Utility Fund 567.

In order for the Reclaimed Water Utility system to allow more customers to convert to recycled water, the system must expand. By expanding the Reclaimed Water Utility system, the demand for potable water is reduced, resulting in increased water conservation. When a water system is initially established, the capital spending for the utility is high, and operating revenue cannot always fully support capital costs. This will continue until the system is established and more customers are brought online.

In order to fund the capital spending that is not covered by operating revenue, the utility needed to borrow funds. In May 2003, the State Water Resources Control Board (SWRCB) approved a State Revolving Fund (SRF) Loan to the City of Corona for the expansion of the Reclaimed Water Utility system in the amount of \$19,960,000. In December 2003, the loan amount was increased by \$9,980,000 to \$29,940,000 to cover increasing capital costs. In September 2006, the Reclaimed Water Utility fund made the first payment on this loan. Debt service payments will continue on this loan through September 2025.

As the Reclaimed Water Utility continued to expand, the debt service payments for the SRF loan plus the high capital improvement project budget created a need for an additional loan. The Utilities Department chose to borrow the funds in the form of an inter-fund loan from the Water Reclamation Utility fund (572). In FY2018 and FY2019, the Reclaimed Water Utility fund (567) borrowed \$1,854,604 and \$1,760,084 respectively from the Water Reclamation Utility fund (572), resulting in a total inter-fund loan of \$3,614,688.

The Utilities Department requests to memorialize this loan in the form of an inter-fund loan and repayment agreement. Repayment of the loan will be based upon available working capital in the Reclaimed Water Utility fund (567) each year until the loan is paid in full. Until the principal is repaid, the Reclaimed Water Utility fund shall remit interest based upon the annualized Local Agency Investment Fund (LAIF) quarterly apportionment rates for the fiscal year but in no case will interest be charged greater than two percent.

FINANCIAL IMPACT:

Approval of the recommended actions will have fiscal impacts as noted below in the following tables.

GENERAL FUND	
Adopted Budget - FY 2022 Estimated Revenue Over Expenditures	\$ 14,593,660
Less Measure X Reserves	(13,144,418)
Previously Approved/Revised Budget Adjustments (Net)*	(56,501)
Current Estimated Revenue Over Expenditures	1,392,741
FY 2022 - Q1 - Kids Club Benjamin Franklin Elementary - Appropriation	(33,000)
FY 2022 - Q1 - Kids Club Benjamin Franklin Elementary - Revenue	33,000
FY 2022 - Q1 - Reduce 911 Phone System CIP #70100	45,483
FY 2022 - Q1 - Reduce Revenue Estimates for 911 Phone System Reimbursement	(45,483)
FY 2022 - Q1 - Potential Transfer to Residential Refuse/Recycling Fund	(40,815)
Revised Estimated Revenue Over Expenditures [Note 1]	\$ 1,351,926
Budget Balancing Measures Reserve - Estimated 06/30/2021	27,665,595
Estimated FY 2022 Change in Budget Balancing Measures Reserve	1,351,926
Estimated Budget Balancing Measures Reserve - 06/30/22	\$ 29,017,521

* Approved through Council Action or other operational process.

Note 1: Includes other General Fund items on the November 3, 2021 agenda.

Governmental Funds - Fund Balance

Action	Fund	07/01/21 Est. Fund Balance	Budgeted Revenues/Sources	Budgeted Expenditures/Uses	Fund Balance Impacts	06/30/22 Est. Fund Balance
b	Asset Forfeiture Fund 250	\$354,654	\$6,634	(\$161,700)	Appropriation (\$32,000)	\$167,588
c	Residential Refuse/Recycling Fund 260	\$19,302	\$11,564,743	(\$11,584,045)	Appropriation (\$40,815) Transfer \$40,815	\$0
d	Dwelling Development Tax Fund 289	\$550,315	\$0	(\$135,816)	Appropriation (\$120,000)	\$294,499
e	Low Mod Income Housing Asset Fund 291	\$30,013,254	\$849,353	(\$175,335)	Appropriation (\$2,00)	\$30,685,272
f	Adult & Family Literacy Grant Fund 442	\$49,407	\$1,068	\$0	Appropriation (\$65,964) Revenue \$65,964	\$50,475
g	LMD 84-2, Zone 10 Fund 460	\$6,545,150	\$2,239,929	(\$1,392,542)	Appropriations (\$15,000)	\$7,377,537

Enterprise Funds - Working Capital

Action	Fund	07/01/21 Est. Working Capital	Budgeted Revenues/ Sources	Budgeted Expenditures/ Uses	Working Capital Impacts	06/30/22 Est. Working Capital
h	Reclaimed Water System Fund 567 [Note 1]	\$0	\$4,972,006	(\$4,891,115)	Appropriations (\$100,000) Potential Loan \$19,109	\$0
h	Water Reclamation Utility Fund 572 [Note 1, 2]	\$38,460,751	\$32,893,509	(\$39,646,327)	Potential Loan (\$19,109)	\$31,688,824

Note 1: Potential loan from Fund 572 to Fund 567 at fiscal-year end, if needed, based on actuals.

Note 2: Includes other Fund 572 items on the November 3, 2021 agenda.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action is to approve budgetary adjustments for Fiscal Year 2022, and there is no possibility that approval of the recommended actions will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: KIM SITTON, FINANCE DIRECTOR

Attachments:

1. Exhibit 1 - Interfund Loan Agreement WR (572) to Reclaimed (567)

**INTER-FUND LOAN AND REPAYMENT
AGREEMENT**

**(Water Reclamation Utility Fund to Reclaimed
Water Utility Fund)**

by the

CORONA UTILITY AUTHORITY

and the

CITY OF CORONA

with reference to the

WATER RECLAMATION UTILITY FUND

and

RECLAIMED WATER UTILITY FUND

INTER-FUND LOAN AND REPAYMENT AGREEMENT

THIS INTER-FUND LOAN AND REPAYMENT AGREEMENT (the "Agreement") is made as of November 3rd, 2021, by the CORONA UTILITY AUTHORITY, a joint powers authority established under the Joint Powers Law (Articles 1 through 4 of Chapter 5, Division 7, Title 1 of the California Government Code (the "Authority") and by the CITY OF CORONA, a general law city and California municipal corporation organized under the constitution and laws of the State of California (the "City"), with reference to the Water Reclamation Utility Fund (the "Water Reclamation Utility Fund") and the Reclaimed Water Utility Fund (the "Reclaimed Water Utility Fund") and the following recited facts:

RECITALS

A. WHEREAS, funds in the Reclaimed Water Utility Fund have been used to construct capital improvement projects and pay off debt service for projects that expand the recycled water utility; and

B. WHEREAS, the expansion of the Reclaimed Water Utility will eventually allow customers to convert to recycled water, which will lower the demand for the potable water system; and

C. WHEREAS, the amount of Reclaimed Water Utility revenue collected to date and deposited into the Reclaimed Water Utility Fund has been insufficient to pay for the entire cost to construct the system expansion capital improvement projects and repay the related debt service; and

D. WHEREAS, in order to allow expansion of the Reclaimed Water System to proceed and related debt service to be paid off, loans in the total amount of \$3,614,688 ("Interfund Loan") have been authorized and transferred from the Water Reclamation Utility Fund (Fund 572) to the Reclaimed Water Utility Fund (Fund 567) in Fiscal Year 2017-18 and Fiscal Year 2018-19; and

E. WHEREAS, the City and the Authority desire to memorialize the Interfund Loan in this Agreement and establish the terms for the repayment of the Interfund Loan from the Reclaimed Water Utility Fund.

NOW, THEREFORE, IN CONSIDERATION OF THE PROMISES SET FORTH IN THIS AGREEMENT AND OTHER GOOD AND VALUABLE CONSIDERATION, THE AUTHORITY AND THE CITY AGREE, AS FOLLOWS:

ARTICLE 1

DEFINITIONS

1.1 **Defined Terms.** In addition to the usage of certain words, terms or phrases that

are defined elsewhere in this Agreement, the following words, terms and phrases are used in this Agreement, as follows, unless the particular context of usage of a word, term or phrase requires another interpretation:

1.1.1 **"Available Working Capital"** means the difference between current assets and current liabilities of the Reclaimed Water Utility Fund less all of the following: (i) continuing capital improvement project appropriations of the Reclaimed Water Utility Fund; (ii) all encumbrances of the Reclaimed Water Utility Fund existing as of the Due Date; and (iii) any capital improvement project appropriations of the Reclaimed Water Utility Fund for the following fiscal year that are not otherwise covered by projected revenue for the same year. Available Working Capital of the Reclaimed Water Utility Fund will be calculated as of each Due Date.

1.1.2 **"Current Assets"** means all cash, accounts receivable less reserve for uncollectable accounts, due from other governments, and interest receivable of the Reclaimed Water Utility Fund.

1.1.3 **"Current Liabilities"** means all accounts payable, payroll payable, current portion of long-term debt, current portion of compensated absences payable, and principal payments on debt of the Reclaimed Water utility Fund.

1.1.4 **"Due Date"** means the last day of each fiscal year.

1.1.5 **"Effective Date"** means the date on which this Agreement is approved by the City Council of the City and the Corona Utility Authority.

1.1.6 **"Interest Rate"** means annualized Local Agency Investment Fund (LAIF) quarterly apportionment rates for the fiscal year but in no case greater than two percent (2%).

1.1.7 **"Interfund Loan "** means Three Million Six Hundred Fourteen Thousand Six Hundred Eighty-Eight Dollars (\$3,614,688) plus interest as set forth in Section 3.4 of this Agreement.

1.1.8 **"Person"** means any association, corporation, governmental entity or agency, individual, joint venture, joint-stock company, limited liability company, partnership, trust, unincorporated organization, or other entity of any kind.

ARTICLE 2

RECLAIMED WATER UTILITY LOAN

2.1 **Interfund Loan Authorization.** As previously authorized, the Water Reclamation Utility Fund has loaned to the Reclaimed Water Utility Fund the Interfund Loan to provide sufficient funding for the Reclaimed Water System expansion and related debt service.

ARTICLE 3

INTERFUND LOAN REPAYMENT

3.1 **Interfund Loan Repayment.** The Reclaimed Water Utility Fund shall repay the Interfund Loan from Available Working Capital. On or before the Due Date each fiscal year, any and all Available Working Capital shall be transferred from the Reclaimed Water Utility Fund to the Water Reclamation Utility Fund to repay the Interfund Loan. If Available Working Capital is not sufficient to pay off the Interfund Loan, any unpaid balance (whether principal or interest) shall be carried forward without default to the next fiscal year.

3.2 **No Separate Instrument.** The obligation of the Reclaimed Water Utility Fund to repay the Interfund Loan and all accrued and unpaid interest thereon shall be evidenced solely by this Agreement and shall not require any separate instrument to perfect the lien on Available Working Capital of the Reclaimed Water Utility Fund.

3.3 **Application of Payments.** Each transfer from the Reclaimed Water Utility Fund to the Water Reclamation Utility Fund shall be credited in the following order: (i) interest payable under this Agreement, and (ii) outstanding principal of the Interfund Loan.

3.4 **Interest.** The Interfund Loan shall bear interest on the unpaid principal amount at the Interest Rate per annum until paid.

3.5 **Usury.** This Agreement is expressly limited, so that in no event or contingency, whether because of the advancement of the proceeds or otherwise, shall the amount paid or agreed to be paid to the Water Reclamation Utility Fund for the use, forbearance, or retention of the money to be advanced hereunder exceed the highest lawful rate permissible under applicable law. If, under any circumstances, fulfillment of any provision of this Agreement, after timely performance of such provision is due, shall involve exceeding the limit of validity prescribed by law that a court of competent jurisdiction deems applicable, then, ipso facto, the obligations to be fulfilled shall be reduced to the maximum limit of such validity. If, under any circumstances, the Water Reclamation Utility Fund shall ever receive as interest an amount that exceeds the highest lawful rate, the amount that would be excessive interest shall be applied to reduce the unpaid principal balance of the Interfund Loan, and not to pay interest, or, if such excessive interest exceeds the unpaid principal balance of the Interfund Loan, such excess shall be refunded to the Reclaimed Water Utility Fund.

3.6 **Not a Pledge of Reclaimed Water Utility Fund Revenues.** Notwithstanding any other provision of this Agreement, the Reclaimed Water Utility Fund's obligations under this Agreement do not constitute a formal pledge of any revenues of the Reclaimed Water Utility Fund. The Reclaimed Water Utility Fund's repayment obligations under this Agreement shall be a special, limited fund obligation of the Reclaimed Water Utility Fund, payable solely from Available Working Capital as described herein. The Reclaimed Water Utility Fund's obligations under this Agreement are subject and subordinate to payment of debt service or other

amounts relating to any outstanding bonds, notes, installment payments, or other evidences of indebtedness, to which the Reclaimed Water Utility Fund is pledged and that were issued before or after the Effective Date, satisfaction of all obligations of the Reclaimed Water Utility Fund under existing agreements of the City (exclusive of this Agreement) and any other obligations of the Reclaimed Water Utility Fund, incurred, established or agreed to prior to the Effective Date or to which this Agreement is subordinated by the terms of this Agreement or by separate agreement. The Reclaimed Water Utility Fund's obligations regarding repayment under this Agreement shall be automatically junior and subordinate to any bonded indebtedness to which the Reclaimed Water Utility Fund is pledged after the Effective Date, without further notice or action.

ARTICLE 4

GENERAL PROVISIONS

4.1 **Incorporation of Recitals.** The recitals of fact set forth preceding this Agreement are true and correct and are incorporated into this Agreement in their entirety by this reference.

4.2 **Calculation of Time Periods.** Unless otherwise specified, all references to time periods in this Agreement measured in days shall be to consecutive calendar days, all references to time periods in this Agreement measured in months shall be to consecutive calendar months and all references to time periods in this Agreement measured in years shall be to consecutive calendar years. Any reference to business days in this Agreement shall mean and refer to business days of the City.

4.3 **Amendment.** No amendment or modification of this Agreement shall be effective, unless it is made in writing by the City, following approval by the City Council of the City and the Corona Utility Authority.

4.4 **Severability.** If any provision of this Agreement as applied to any Person or to any circumstance is adjudged by a court of competent jurisdiction to be void or unenforceable for any reason, this fact shall in no way affect (to the maximum extent permissible by law) any other provision of this Agreement, the application of any such provision regarding another Person or under circumstances different from those adjudicated by the court, or the validity or enforceability of this Agreement as a whole.

4.5 **Construction.** Unless otherwise indicated, all article and section references are to the articles and sections of this Agreement. The headings used in this Agreement are provided for convenience of reference only and this Agreement shall be interpreted without reference to any headings. Whenever required by the context of this Agreement, the singular shall include the plural and the masculine shall include the feminine and vice versa. If the date on which any action is required to be taken under the terms of this Agreement is not a business day, the action shall be taken on the next succeeding business day. The use of the word "or" in this Agreement shall also include the word "and." The use of the word "including" in this

Agreement shall be interpreted as though followed by the phrase "without limitation."

4.6 **Governing Law.** This Agreement shall be governed by, interpreted under, and construed and enforced in accordance with the laws of the State of California, without application of conflicts of laws principals.

4.7 **No Third-Party Beneficiaries.** Nothing in this Agreement, express or implied, is intended to confer any rights or remedies under or by reason of this Agreement on any Person other than the City.

4.8 **Binding on Successors and Assigns.** This Agreement shall be binding upon and inure to the benefit of the Parties and their respective legal representatives, successors and assigns.

4.9 **Entire Agreement.**

4.9.1 This Agreement includes six (6) pages that constitute the entire understanding and agreement regarding the subjects addressed in this Agreement.

4.9.2 This Agreement integrates all of the terms and conditions mentioned in this Agreement or incidental to this Agreement and supersedes all previous agreements with respect to the subjects addressed in this Agreement.

[SIGNATURES ON THE NEXT PAGE]

SIGNATURE PAGE TO
INTER-FUND LOAN AND REPAYMENT AGREEMENT
(Water Reclamation Utility Fund to Reclaimed
Water Utility Fund)

IN WITNESS WHEREOF, the City on behalf of the Reclaimed Water Utility Fund and Water Reclamation Utility Fund executes this Agreement to evidence the obligations of each such fund under the terms and conditions of this Agreement.

CITY OF CORONA

CORONA UTILITY AUTHORITY

By: _____
Mayor

By: _____
President

ATTEST:

ATTEST:

By: _____
City Clerk

By: _____
Secretary

APPROVED AS TO FORM:

APPROVED AS TO FORM:

By: _____
City Attorney

By: _____
General Counsel



Staff Report

File #: 21-1011

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Finance Department

SUBJECT:
Appropriation of American Rescue Plan Act Funds.

EXECUTIVE SUMMARY:

The American Rescue Act Plan of 2021 allocates funds to states, territories, tribal areas, cities, and counties for pandemic relief. The City of Corona is expected to receive \$29.2 million. The project options were presented to the City Council at the September 29, 2021 Fall Workshop. Based on discussions at the workshop, staff is recommending the appropriation of American Rescue Plan Act Funds.

RECOMMENDED ACTION:

That the City Council:

- a. Approve an estimated revenue increase of \$29,158,725 in the American Rescue Plan Act (ARPA) Fund 413.
- b. Approve appropriations totaling \$29,077,125 in the American Rescue Plan Act (ARPA) Fund 413 to the following items that will be set up as capital improvement projects (CIP) to provide precise tracking of ARPA funds:
 1. \$10,000,000 to a new CIP titled Fire Station Rebuild.
 2. \$8,000,000 to a new CIP titled 6th Street Beautification and Revitalization Project.
 3. \$6,000,000 to a new CIP titled Traffic Signal Optimization.
 4. \$1,500,000 to the Corona Innovation Center CIP (CIP #7170).
 5. \$1,018,825 to a new CIP titled PPE/Vaccine Programs.
 6. \$1,000,000 to a new CIP titled Business Grants.
 7. \$500,000 to a new CIP titled Nonprofit Grant Program.
 8. \$370,000 to a new CIP titled Armored Rescue Vehicle.

9. \$200,000 to a new CIP titled Communications Studio.
10. \$200,000 to a new CIP titled Rental Assistance to Historic Civic Center (HCC) Non-Profit Tenants.
11. \$120,000 to a new CIP titled Business Support.
12. \$100,000 to a new CIP titled Broadcast System Overhaul.
13. \$50,000 to a new CIP titled Open Air Stage - Circle City Center.
14. \$18,300 to a new CIP titled Computer Equipment - Senior Center.

- c. Approve a cash transfer of \$50,000 from the American Rescue Act Plan Fund 413 to the General Fund to replenish unemployment trust funds.
- d. Approve a cash transfer of \$31,600 from the American Rescue Act Plan Fund 413 to the General Fund for digital access and support activities. Appropriate \$27,600 to the Community Services' operating budget.

BACKGROUND & HISTORY:

The American Rescue Plan Act ("Act") of 2021 appropriates nearly \$220 billion to states, territories, and tribal areas, and \$130 billion to cities and counties for pandemic relief. Funds will be distributed in block grant fashion. In the case of CDBG eligible cities ("metropolitan cities," generally those with a population of 50,000 or larger), dollars are allocated according to the CDBG distribution formula, not by population. In the cases of smaller cities and counties, the Act provides that dollars will be distributed solely by population.

ANALYSIS:

The American Rescue Plan Act was approved to provide direct pandemic relief allocations to states, territories, tribal areas, cities, and counties. For local governments, funding may be used for the following purposes (quoted from the Act):

- A. To respond to the public health to respond to the public health emergency with respect to the Coronavirus Disease 2019 (COVID-19) or its negative economic impacts, including assistance to households, small businesses, and nonprofits, or aid to impacted industries such as tourism, travel, and hospitality; or
- B. To respond to workers performing essential work during the COVID-19 public health emergency by providing premium pay to eligible workers of the metropolitan city, non-entitlement unit of local government, or county that are performing such essential work, or by providing grants to eligible employers that have eligible workers who perform essential work; or
- C. For the provision of government services to the extent of the reduction in revenue of such metropolitan city, non-entitlement unit of local government, or county due to the COVID-19 public health emergency relative to revenues collected in the most recent full fiscal year of the metropolitan city, non-entitlement unit of local government, or county prior to the emergency; or
- D. To make necessary investments in water, sewer, or broadband infrastructure.

The Act specifically precludes agencies from using the funds for deposit into any pension fund.

Additionally, funds cannot be used to reduce taxes or delay a tax increase. Lastly, the funds may not be used as a non-Federal match for other Federal programs.

The City of Corona is estimated to receive \$29,158,725 from the American Rescue Plan Act of 2021. The funding will be distributed in two tranches. The City received the first distribution of \$14,579,362.50 in July 2021. The second allocation is expected in July 2022. By December 31, 2024, funds must be fully encumbered to projects, with a final expenditure deadline of December 31, 2026.

Information on the ARPA funds was initially presented at the Committee of the Whole meeting on June 9, 2021. After further developing the projects and recommendations for funding, a second presentation was made at the Fall Workshop on September 29, 2021. Based on the discussions at that meeting, the appropriations and transfers are requested for approval. The appropriation and transfer explanations are included below.

Item b1. \$10,000,000 to a new CIP titled Fire Station Rebuild

Several Corona Fire Stations are at end of life and in need of significant renovation or rebuild. The identified project allocation will allow for the design/build of a new fire station. A complete assessment of all fire facilities prioritizing specific facility needs will take place at the end of FY 2022.

Item b2. \$8,000,000 to a new CIP titled 6th Street Beautification and Revitalization Project

Sixth Street corridor improvements including asphalt, curb, gutter, water, sewer, landscape, irrigation, and general deferred maintenance.

Item b3. \$6,000,000 to a new CIP titled Traffic Signal Optimization

Citywide traffic optimization utilizing artificial intelligence with advanced traffic algorithms to produce real time traffic signal timing adjustments. This project aims to reduce vehicle delays, environmental impacts, and improve quality of life for motorists in Corona.

Item b4. \$1,500,000 to the Corona Innovation Center CIP (CIP #7170)

Rehabilitation of existing City facility to repurpose for an Innovation Center. The Innovation Center will offer business services, events, trainings, and entrepreneurship development opportunities. This could include adults and youth.

Item b5. \$1,018,825 to a new CIP titled PPE/Vaccine Programs

Provides funding for vaccination programs, regular testing, and personal protective equipment.

Item b6. \$1,000,000 to a new CIP titled Business Grants

Business grants to support our community, including entrepreneurial development and those hit hard through the pandemic. A portion of the grant funds could be offered in partnership with the Emprendedor@s program.

Item b7. \$500,000 to a new CIP titled Nonprofit Grant Program

Grant program to support community nonprofit groups doing work in support of City goals. Nonprofit applicants must operate in Corona or operate as an affiliate of a larger organization which operates

locally.

Item b8. \$370,000 to a new CIP titled Armored Rescue Vehicle

The purchase of a second armored rescue vehicle is needed due to our current retrofitted vehicle's age (1993) and overall ineffectiveness. The best practice on critical, high-risk tactical calls in today's environment is to have two armored vehicles. One is used to evacuate victims and neighbors or move essential assets/gear to and from the command post. The other is utilized to protect SWAT operators, tactical medics, and negotiator personnel near the primary location for immediate response. In addition, a second armored rescue vehicle can be utilized as a regional asset to our neighboring agencies.

Item b9. \$200,000 to a new CIP titled Communications Studio

The need for digital engagement and real time communication has grown in light of the pandemic. In order to increase the production of digital media and provide real-time, critical information to our residents, we need to streamline our media production process by building an integrated studio space. The studio will feature sets, backdrops, a sound stage, fixed lighting, an editing bay and a production office to allow for weekly output of formatted content in the fashion of news, PSA's, talk shows, podcasts, ads and other short form non-fiction media.

Item b10. \$200,000 to a new CIP titled Rental Assistance to Historic Civic Center (HCC) Non-Profit Tenants

Provide rental support to nonprofit tenants with existing leases at the Historic Civic Center.

Item b11. \$120,000 to a new CIP titled Business Support

Funding for technology investments to offer more digital services to businesses. Funding to provide educational events aimed at further supporting remote working, business development, etc. Develop marketing materials in multiple languages to promote better accessibility for entrepreneurs/owners.

Item b12. \$100,000 to a new CIP titled Broadcast System Overhaul

Since the beginning of the pandemic, the need for reliable Broadcast Systems to deliver virtual participation for our Council, Commission, and Committee meetings has grown and is as important as ever. These demands have pushed the limits of our current system, resulting in frequent technical malfunctions that have hindered the Council's ability to conduct meetings. By overhauling our broadcast system, we will eliminate many of these technical issues as well as enhance the overall experience of our citizens participating virtually.

Item b13. \$50,000 to a new CIP titled Open Air Stage - Circle City Center

Activate this large and under-utilized outdoor space at our community center. Improvements include lighting and sound to accommodate a range of performances and outdoor events and programs.

Item b14. \$18,300 to a new CIP titled Computer Equipment - Senior Center

These 10 Surface Pros will replace the four obsolete desktop stations currently available to the Seniors. This provides current technology for our Seniors for personal use or for instruction. In addition, the space currently housing the desktop stations may be used for activity space.

Item c. \$50,000 cash transfer to the General Fund to replenish the unemployment trust funds

This item will backfill the City's unemployment funds that were depleted due COVID-19. While the City did not lay off staff due to the pandemic, unemployment claim costs increased due to reduced part-time hours and the additional unemployment compensation provided to claimants. The City is self-funded, and departments will receive increased costs for unemployment claims without the replenishment of the unemployment trust fund. This figure is revised since the Fall Workshop presentation due to some CARES Act credits that were received through the Employment Development Department.

Item d. \$31,600 cash transfer to the General Fund for digital access and support. Appropriate \$27,600 to the Community Services' operating budget.

The Corona Public Library resumed operations May 26, 2020 to provide access for residents to digital resources, print materials, and Wi-Fi. This essential foundation provided support for access to workforce information, social services, and educational resources. The appropriation of \$27,600 is for expenditures in the current fiscal year. The additional \$4,000 included in the cash transfer incorporates an expenditure from FY 2021, making the General Fund whole for the digital access and support activities.

Staff is working to develop program guidelines for the grant programs. As the guidelines are finalized, those items will come before the City Council for approval. For allocations that involve purchases, departments will follow purchasing guidelines in compliance with the City's Purchasing Policy and Federally funded programs. Staff will provide the City Council with an ARPA update at least twice per year to make project adjustments as needed to meet the expenditure deadline of December 31, 2026.

FINANCIAL IMPACT:

Approval of the recommended actions will have fiscal impacts as noted in the following tables.

GENERAL FUND	
Adopted Budget - FY 2022 Estimated Revenue Over Expenditures	\$ 14,593,660
Less Measure X Reserves	(13,144,418)
Previously Approved/Revised Budget Adjustments (Net)*	(97,316)
Current Estimated Revenue Over Expenditures [Note 1]	1,351,926
Cash Transfer From ARPA Fund 413 - Unemployment Insurance	50,000
Reserve for Unemployment Claims	(50,000)
Cash Transfer From ARPA Fund 413 - Digital Access and Support	31,600
Digital Access and Support - Appropriation	(27,600)
Revised Estimated Revenue Over Expenditures [Note 1]	\$ 1,355,926
Budget Balancing Measures Reserve - Estimated 06/30/2021	27,665,595
Estimated FY 2022 Change in Budget Balancing Measures Reserve	1,355,926
Estimated Budget Balancing Measures Reserve - 06/30/22	\$ 29,021,521

* Approved through Council Action or other operational process.

Note 1: Includes other General Fund items on the November 3, 2021 agenda.

Fund	07/01/21 Est. Fund Balance	Budgeted Revenues/ Sources	Budgeted Expenditures/ Uses	Fund Balance Impacts	06/30/22 Est. Fund Balance
American Rescue Plan Act Fund 413	\$0	\$0	\$0	Revenue \$29,158,725 Appropriation (\$29,158,725) Transfers (\$81,600)	\$0
Action a) Revenue Increase					
Action b) Appropriations					
Action c) Cash Transfer					
Action d) Cash Transfer					

Appropriations:

b1) Fire Station Rebuild	\$ 10,000,000
b2) 6th Street Beautification and Revitalization Project	8,000,000
b3) Traffic Signal Optimization	6,000,000
b4) Corona Innovation Center - CIP #7170	1,500,000
b5) PPE/Vaccine Programs	1,018,825
b6) Business Grants	1,000,000
b7) Nonprofit Grant Program	500,000
b8) Armored Rescue Vehicle	370,000
b9) Communications Studio	200,000
b10) Rental Assistance to Historic Civic Center (HCC) Nonprofit Tenants	200,000
b11) Business Support	120,000
b12) Broadcast System Overhaul	100,000
b13) Open Air Stage - Circle City Center	50,000
b14) Computer Equipment - Senior Center	18,300
	<u>\$ 29,077,125</u>

Cash Transfers:

c) Unemployment Trust Funds	\$ 50,000
d) Digital Access and Support	31,600
	<u>\$ 81,600</u>

GRAND TOTAL**\$ 29,158,725****ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action is to approve budgetary adjustments for Fiscal Year 2022, and there is no possibility that approval of the recommended actions will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: KIM SITTON, FINANCE DIRECTOR



Staff Report

File #: 21-1023

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Public Works Department

SUBJECT:

Appropriation of funding from various revenue sources to the McKinley Street Grade Separation Project.

EXECUTIVE SUMMARY:

City staff is currently reviewing bids for the McKinley Grade Separation Project. The apparent lowest and second low bid is approximately 10% greater than the engineer's estimate. Budgeted funds are insufficient to cover the cost increase in right of way, contingencies, and construction bid. The City has reached out to the Riverside County Transportation Commission (RCTC) to request additional funding to help with the project costs. RCTC will consider the request to the Commissioners to cover the cost difference but is requiring the City to come up with a local match. City staff has identified \$5,000,000 in various unallocated fund balances that can be allocated to the project and included in the funding request.

RECOMMENDED ACTION:

That the City Council authorize an appropriation totaling \$5,000,000 from various fund balances as outlined in this report to the McKinley Grade Separation Project.

BACKGROUND & HISTORY:

In 2006, the City of Corona and the Riverside County Transportation Commission (RCTC) worked collaboratively to successfully place the McKinley Street / BNSF Railroad Grade Separation Project in the top priority tier of at-grade railroad crossings in Riverside County. Projects placed in the top priority tier typically involve railroad crossings characterized by high train and vehicular traffic volumes, extensive vehicle delay and emissions, and have seen one or more traffic incidents in recent years.

In March 2017, Senate Bill 132 (SB 132) funded the construction of the Riverside County Transportation Efficiency Corridor. The bill provided funding for the McKinley Grade Separation as one out of five critical projects in Riverside County. With SB 132 funding comes a key schedule driver, the deadline to spend (encumber and liquidate) the allocated funding by June 30, 2023.

In continuing progress on this project, construction bids were solicited and were subsequently opened on October 14, 2021. The apparent low bidder came in about 10% over the engineer's estimate with high costs primarily in the bid items that contained steel. The market for steel has been significantly increasing over the past several months. Given the current construction environment, with labor shortages, the high price of materials, and the overall effects of the pandemic adding to the complexities of a steel bridge structure and a fast-approaching funding deadline, the cost increase, while not desirable, was a potential outcome. Staff and Council have been working to value engineer the project. Unfortunately, the conditions in the current economy weighed heavily on the final cost, requiring additional funding to be allocated. Staff has reached out to RCTC to request additional funding to support the project.

ANALYSIS:

City staff is currently working with RCTC to present a request for additional funding assistance at RCTC's Commission meeting on November 10, 2021. RCTC staff has indicated that a funding match from the City should be allocated to assist with the overall project cost. The City is requesting RCTC provide approximately \$10 million for the project in addition to the City's funding match if the lowest responsible bidder is awarded the contract. Staff has identified \$5,000,000 that would be available from a combination of the Street and Signals Fund, Drainage Fee Fund, RMRA Fund, Gas Tax Fund, and Measure A Fund. Staff anticipates awarding the contract and providing further details at the November 17, 2021, City Council meeting contingent upon the additional funding being approved by RCTC.

FINANCIAL IMPACT:

Approval of the recommended action will appropriate \$5,000,000 to the project from various funding sources as follows:

Fund	07/01/21 Est. Fund Balance	Budgeted Revenues/ Sources	Budgeted Expenditures/ Uses	Fund Balance Impacts	06/30/22 Est. Fund Balance
Streets and Traffic Signals Fund 211	\$4,177,822	\$474,185	(\$1,213,291)	Appropriation (\$1,000,000)	\$2,438,716
Drainage Fee Fund 212	\$2,597,717	\$812,180	(\$686,536)	Appropriation (\$1,000,000)	\$1,723,361
RMRA Fund 221	\$781,510	\$3,316,865	(\$3,355,630)	Appropriation (\$500,000)	\$242,745
Gas Tax Fund 222 [Note 1]	\$1,911,114	\$4,176,947	(\$3,713,226)	Appropriation (\$500,000)	\$1,874,835
Measure A Fund 227	\$4,942,394	\$4,670,250	(\$7,206,075)	Appropriation (\$2,000,000)	\$406,569
Total Appropriation				\$5,000,000	

Note 1: Includes other Gas Tax items on the November 3, 2021 agenda.

PREPARED BY: SAVAT KHAMPHOU, PUBLIC WORKS DIRECTOR



Staff Report

File #: 21-0999

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Police Department

SUBJECT:

Acceptance of the 2021 Bulletproof Vest Partnership award from the US Department of Justice, Bureau of Justice Assistance.

EXECUTIVE SUMMARY:

Through the US Department of Justice, Office of Justice Programs, the Bulletproof Vest Partnership Grant Act was designed to provide a critical resource to state and local law enforcement agencies in outfitting police officers with ballistic vests. The City Council will consider accepting and allocating funding from this grant.

RECOMMENDED ACTION:
That the City Council

- a. Authorize the acceptance of the federal Fiscal Year 2021 Bulletproof Vest Partnership funds in the amount of \$12,733.
- b. Appropriate \$12,733 of onetime money from the unappropriated General Fund Balance to be reimbursed from the US Department of Justice, Bureau of Justice Assistance and increase the General Fund estimated revenue by the same amount for the program award.
- c. Authorize the City Manager or his designee to execute any required documents that are in compliance with the City Council's actions hereunder.

BACKGROUND & HISTORY:

In June 2021, the US Department of Justice, Bureau of Justice Assistance offered grant funding to local law enforcement agencies for the Fiscal Year 2021-2022 Bulletproof Vest Partnership. The mission of the Bulletproof Vest Partnership Program is to outfit police officers with ballistic vests. Since 1999, The Bulletproof Vest Partnership program has funded over one million vests.

ANALYSIS:

In October 2021, the Police Department was notified that the grant application was approved for the 2021 Bulletproof Vest Partnership program. The Corona Police Department was awarded this grant seventeen times since first applying in 2000.

Ballistic safety vests are provided to officers as per the police officer's Memorandum of Understanding up to \$1,150 every five (5) years. The City of Corona has certified a "mandatory-wear" body armor policy for all uniformed officers, as required for application of the grant. The Bulletproof Vest Partnership will fund up to 50 percent of the cost of each qualifying vest purchased or replaced by law enforcement applicants. The City will purchase approximately 57 vests for Fiscal Year 2022. This grant will provide 50 percent funding for approximately 22 of those vests. Only vest models that comply with the requirements of the Office of Justice Programs' National Institute of Justice, or NIJ, and are purchased after April 1, 2021, may be purchased with 2021 grant funds. The program requires that the applicant jurisdiction be responsible for providing at least 50 percent of the cost of each qualifying vest purchased. The reimbursement period ends August 31, 2023.

FINANCIAL IMPACT:

The City will receive \$12,733 for 50 percent reimbursement of bulletproof vests purchases. Approval of the recommended actions will increase the Fiscal Year 2022 Police Department's budget and revenue estimates by \$12,733, in the General Fund. Any unused funding will carry forward into Fiscal Year 2023.

GENERAL FUND	
Adopted Budget - FY 2022 Estimated Revenue Over Expenditures	\$ 14,593,660
Less Measure X Reserves	(13,144,418)
Previously Approved/Revised Budget Adjustments (Net)*	(56,501)
Current Estimated Revenue Over Expenditures	1,392,741
FY21 Bulletproof Vest Partnership Award - Revenue Increase	12,733
FY21 Bulletproof Vest Partnership Award - Appropriation	(12,733)
Revised Estimated Revenue Over Expenditures	\$ 1,392,741
Budget Balancing Measures Reserve - Estimated 06/30/2021	27,665,595
Estimated FY 2022 Change in Budget Balancing Measures Reserve	1,392,741
Estimated Budget Balancing Measures Reserve - 06/30/22	\$ 29,058,336

* Approved through Council Action or other operational process.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the

activity is not subject to CEQA. This action of purchasing ballistic vests is for the purchase of police protective equipment, and there is no possibility this will have a significant effect on the environment. Therefore, no environmental analysis is required.

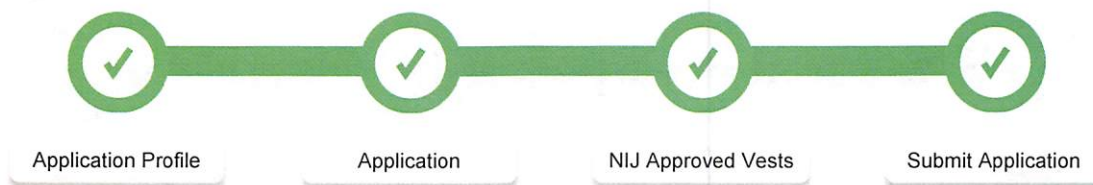
PREPARED BY: KOLLEEN HUT, ASSISTANT TO THE CHIEF OF POLICE

REVIEWED BY: ROBERT NEWMAN, CHIEF OF POLICE

Attachments:

1. Exhibit 1 - 2021 BVP Application
2. Exhibit 2 - Bulletproof Vest Partnership 2021 Award Announcement
3. Exhibit 3 - FY 2021 BVP Award Allocation Schedule
4. Exhibit 4 - BVP Allocation Status

SUBMIT APPLICATION



You have successfully submitted your application for funding for BVP approval.

The approval process may take several weeks from the application closing date. A confirmation email has been sent to Michelle.Adams@CoronaCA.gov. An email approval advisory will also be sent to Michelle.Adams@CoronaCA.gov when the program approvals are completed. Additionally, you may check the status of your application by selecting option , 'Application History', in the Jurisdiction's Handbook. Thank you for your continued patience.

For your reference, the summary data for your Application for Funding is listed below.

SUCCESSFUL SUBMISSION

Jurisdiction: CORONA CITY

Application Id: 21027431

Status/Submission Date: Sent for BVP Approval : 06/02/21

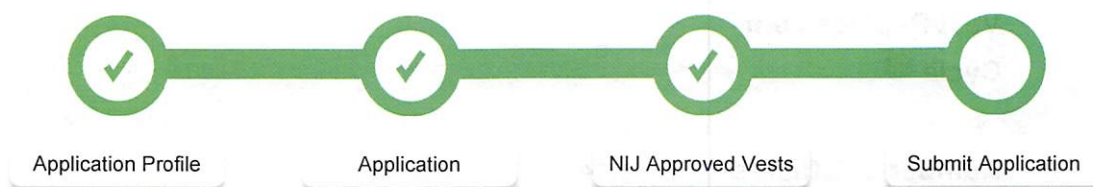
APPLICATION FOR FUNDING

Quantity	Extended Cost	Tax, S&H	Total Cost
65	\$66,315.15	\$269.93	\$66,585.08
Maximum Allowable Funding from BVP:			\$33,292.54

* Important: You can click on the 'Print Screen' button below to keep a copy for your records.

PRINT SCREEN

SUBMIT APPLICATION



PLEASE NOTE: Applications for funding may be submitted for the purchase of any armor that meets the established NIJ ballistic or stab standards ordered on or after April 1, 2021. Once the open application period closes, funding levels will be established and all applicants will be notified.

APPLICATION PROFILE

Participant	CORONA CITY
Fiscal Year	2021
Number of Agencies Applied	1
Total Number of Officers for Application	143
Number of Officers on Approved Applications	143

APPLICATION PROFILE

Fiscal Year 2021

Vest Replacement
Cycle ⓘ 5

Number of Officers 143

Number of
Emergency
Replacement
Needs ⓘ

Number
of Stolen
or
Damaged

0

Number
of Officer
Turnover

2

SUBMIT APPLICATION FOR FUNDING FOR BVP APPROVAL

Application for Funding

Name	Quantity	Extended Cost	Tax, S&H*	Total Cost
CORONA CITY	65	\$66,315.15	\$269.93	\$66,585.08
Grand Totals	65	\$66,315.15	\$269.93	\$66,585.08

Requested BVP Portion of Total Cost, up to: \$33,292.54

* Total Taxes, Shipping and Handling Cost for each Application

Warning: Funding Limitations - Applications are subject to certain funding limitations, to help account for increasing demands and unexpended funds from prior BVP applications (if applicable). Your FY 2021 Regular Fund application average unit price is **\$1,024.39**. Accordingly, your application has now exceeded the estimate average unit price of **\$800**. This may affect your future application's award funding.

SUBMIT APPLICATION FOR BVP APPROVAL

Paperwork Reduction Act Notice

Under the Paperwork Reduction Act, a person is not required to respond to a collection of information unless it displays a currently valid OMB control number. We try to create forms and instructions that are accurate, can be easily understood, and which impose the least possible burden on you to provide us with information. The estimated average time for all components of a jurisdiction to complete and file this Application for Funding form is two hours. If you have comments regarding the accuracy of this estimate, or suggestions for making this form simpler, you may use the Suggestions e-mail option on this BVP web site, or you may write to the BVP, c/o Bureau of Justice Assistance, 810 Seventh Street NW, Washington, DC, 20531.

From: BVP Email Account <ojp@public.govdelivery.com>
Sent: Thursday, October 14, 2021 7:24 AM
To: Michelle Adams
Subject: Bulletproof Vest Partnership (BVP) – FY 2021 Award Announcement

[CAUTION] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Dear BVP applicant,

The Bureau of Justice Assistance (BJA) is pleased to inform you that your jurisdiction will receive an award under the Fiscal Year (FY) 2021 Patrick Leahy Bulletproof Vest Partnership (BVP) solicitation. These funds have been posted to your account in the [BVP System](#). A complete list of FY 2021 BVP awards is available at:

<https://www.ojp.gov/program/bulletproof-vest-partnership/overview>.

Important: Jurisdictions must be registered in the SAM system (<https://www.sam.gov/SAM/>) in order to be paid for any 2021 BVP funds. Please ensure the banking information in SAM is up to date. For more information about renewing and updating your existing SAM registration, or registering in SAM as a new entity, please visit <https://sam.gov/content/status-tracker>. The SAM Helpdesk can be reached at 866- 606-8220.

The FY 2021 award may be used for National Institute of Justice (NIJ) compliant armored vests which were ordered after April 1, 2021. The deadline to request payments from the FY 2021 award is August 31, 2023, or until all available funds have been requested. Awards will not be extended past that date, and any unused funds will be forfeited.

Please see the following websites for a list of NIJ compliant vests: <https://cjtec.org/compliance-testing-program/compliant-product-lists/>

As a reminder, all jurisdictions that applied for FY 2021 BVP funding certified that a mandatory wear policy was in place for their jurisdiction. BJA will be conducting reviews of the mandatory wear policies as funds are requested from the BVP System. For more information on the BVP mandatory wear policy, please see the BVP Frequently Asked Questions document: https://www.ojp.gov/sites/g/files/xyckuh241/files/media/document/FAQsBVPMandatoryWearPolicy_0.pdf

Finally, please visit the following page for checklists and guides for each step of the BVP process: <https://www.ojp.gov/program/bulletproof-vest-partnership/program-resources>

For questions regarding the BVP Program or your award, please do not hesitate to contact the BVP Help Desk at vests@usdoj.gov or 1-877-758-3787.

Thank you

BVP Program Support Team
Bureau of Justice Assistance

This email was sent to michelle.adams@ci.corona.ca.us using GovDelivery Communications Cloud on behalf of: Department of Justice · Washington, DC

CA	BEVERLY HILLS CITY	\$7,045.68
CA	BISHOP CITY	\$2,612.57
CA	BLYTHE CITY	\$4,338.99
CA	BREA CITY	\$4,209.00
CA	BRENTWOOD CITY	\$3,640.18
CA	BRISBANE CITY	\$411.54
CA	BUENA PARK CITY	\$7,848.16
CA	BURLINGAME CITY	\$3,300.50
CA	CALAVERAS COUNTY	\$16,542.23
CA	CALIFORNIA	\$1,338,788.37
CA	CALIFORNIA CITY	\$918.20
CA	CATHEDRAL CITY	\$3,000.00
CA	CERES CITY	\$8,819.27
CA	CHINO CITY	\$8,841.30
CA	CHOWCHILLA CITY	\$3,963.31
CA	CHULA VISTA CITY	\$13,458.54
CA	CITRUS HEIGHTS CITY	\$13,414.88
CA	CLAREMONT CITY	\$4,164.19
CA	CLAYTON CITY	\$3,363.62
CA	CLEARLAKE CITY	\$1,898.44
CA	CLOVERDALE CITY	\$5,200.00
CA	CLOVIS UNIF SCH DIST	\$6,024.36
CA	COALINGA CITY	\$2,855.00
CA	COLTON CITY	\$4,536.15
CA	COLUSA COUNTY	\$5,560.17
CA	CORONA CITY	\$12,732.51
CA	CORONADO CITY	\$5,204.36
CA	COSTA MESA CITY	\$5,904.77
CA	COVINA CITY	\$3,864.01
CA	CULVER CITY	\$18,768.42
CA	CYPRESS CITY	\$3,767.62
CA	DEL NORTE COUNTY	\$6,144.60
CA	DINUBA CITY	\$5,429.85
CA	DIXON CITY	\$2,379.04
CA	DUBLIN CITY	\$22,800.00
CA	EAST BAY REGIONAL PARK DIST	\$3,614.98
CA	EL PASO DE ROBLES CITY	\$4,462.64
CA	EUREKA CITY	\$8,369.29
CA	EXETER CITY	\$3,577.10
CA	FARMERSVILLE CITY	\$2,761.00
CA	FOLSOM CITY	\$10,043.52
CA	FORT BRAGG CITY	\$2,507.50
CA	FORTUNA CITY	\$2,279.88
CA	FOSTER CITY	\$4,536.26
CA	FOWLER CITY	\$472.39
CA	FRESNO CITY	\$7,622.15
CA	FRESNO COUNTY	\$79,290.77

STATUS

This "Status" page shows any pending actions that must be completed prior to program deadlines. It also provides you with payment(s) status for tracking your requests for approved funds.

- Red !'s indicate your attention is needed in order to complete a task for action.

CURRENT ACTIVITY STATUS

Application  Approved by BVP [View Details](#)

CURRENT PAYMENT REQUESTS

ATTN	Created Date	Total Amount Requested	Current Status	Status Date	Funding Type	Action
	07/28/2021	\$7,434.62	Sent for BVP Approval	07/28/2021	Regular Fund	View Details

AVAILABLE AWARDS

ATTN	Fiscal Year	Award Amount	Total Paid	Total Requests	Eligible Balance	Expiration Date
	2020	\$7,434.62	\$0.00	\$7,434.62	\$0.00	08/31/2022
	2021	\$12,732.51	\$0.00	\$0.00	\$12,732.51	08/31/2023



Staff Report

File #: 21-0995

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Planning & Development Department

SUBJECT:

Acceptance of public improvements for Assessor Parcel Numbers 279-084-008, 279-084-009, and 279-084-010 located at the northeast corner of Winton Street and Boyd Avenue in the unincorporated area of Riverside County, and release of the securities posted by Raul Castro et al.

EXECUTIVE SUMMARY:

The three properties located at the northeast corner of Winton Street and Boyd Avenue and identified by APNs 279-084-008, 279-084-009, and 279-084-010 are located in the unincorporated area of Riverside County. The properties are within the City's sphere of influence and will receive water service from the City of Corona. The owners were required to post a security with the City for the construction of public water improvements. The improvements have been constructed and completed by the owners. The City's acceptance of these improvements will release the posted security to the owners.

RECOMMENDED ACTION:

That the City Council:

- a. Accept the public improvements for APN's 279-084-008, 279-084-009 and 279-084-010 located at the northeast corner of Winton Street and Boyd Avenue.
- b. Retain twenty-five percent (25%) of the Faithful Performance Security for one year beyond acceptance of the improvements as security for repair or replacement of any improvements that fail to meet City Standards at the end of the one-year period (Faithful Performance Bond: 4431450, \$60,800).
- c. Retain the Labor and Material Security for six months beyond the acceptance of the improvements, and automatically release the security unless any claims are filed (Labor and Material Bond: 4431450, \$30,400).

BACKGROUND & HISTORY:

Raul Castro and Claudia Castro, and Roberto Castro and Juana Castro, posted a public improvement security with the City for the construction of a new water line that is 8" in diameter and 400' in length. The water line provides water service to three newly constructed single-family homes located on the three separate parcels at the northeast corner of Winton Street and Boyd Avenue. Additionally, the parcels are located in the unincorporated area of Riverside County but receive water service from the City of Corona. The City Council at its meeting on June 17, 2020, entered into a public improvement agreement with the property owners to guarantee the construction of the public water facilities.

The single-family homes and the water line serving these homes have been constructed and inspected by City staff.

ANALYSIS:

The public improvement secured by this agreement has been completed and inspected by City staff to ensure conformity with City specifications. Therefore, the security can be released to the owners with the following restrictions:

- Twenty-five percent (25%) of the faithful performance security for the public improvements will be retained by the City for a period of one-year. This is to guarantee repair or replacement of the improvements, if any, within the one-year period. Any written claims against the performance security shall be made prior to the one-year guarantee period, which is set to expire on October 20, 2022. City staff will release the faithful performance security one year after acceptance of the improvements by the City Council, pursuant to California Government Code Section 66499.9 (c).
- Retain the labor and material security for a period of six months, in accordance with the State Subdivision Map Act.

The table below shows the security posted with the City by the owner.

PWIM2019-0016	Faithful Performance		Labor and Materials	
	Security No.	Amount	Security No.	Amount
Public Improvements	4431450	\$60,800	4431450	\$30,400

FINANCIAL IMPACT:

All applicable fees have been paid by the developer. It is the City's responsibility to begin the maintenance of the public improvements one year after the date of acceptance.

ENVIRONMENTAL ANALYSIS:

The release of this security is not a project under the California Environmental Quality Act (CEQA).

File #: 21-0995

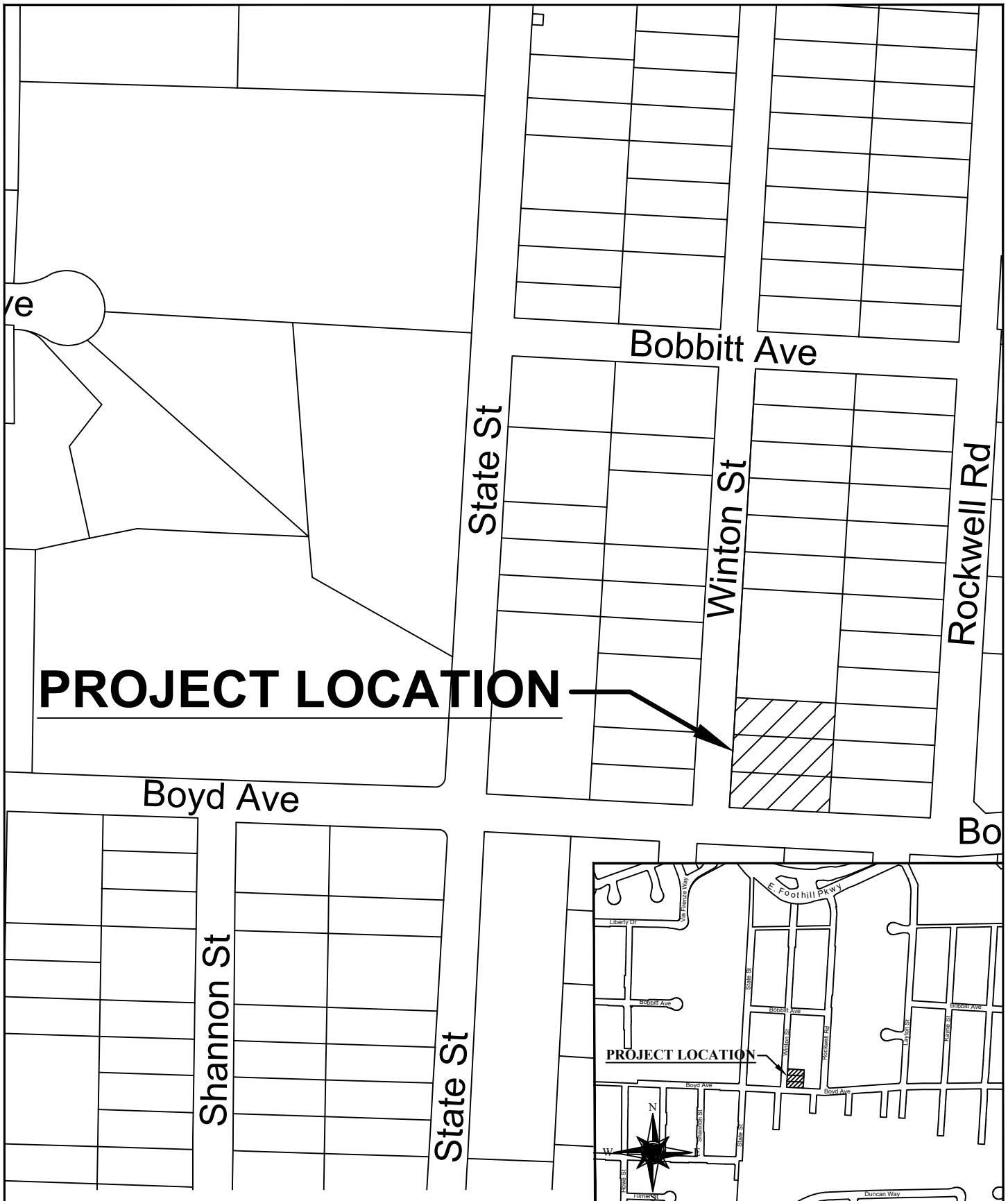
Therefore, no further environmental analysis is required.

PREPARED BY: CHRIS HORN, P.E., SENIOR ENGINEER

REVIEWED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

Attachments:

1. Exhibit 1 - Location Map



CITY OF CORONA
LAND DEVELOPMENT DIVISION

400 S. VICENTIA AVE. CORONA, CA 92882
 TELEPHONE (951) 739-4943

Prepared by:
 Christopher Rodriguez-Ruiz

EXHIBIT "1" - LOCATION MAP

Winton St and Boyd Ave

APN's: 279-084-008, 279-084-009, 279-084-010

Drawing No.

1

Scale:
 NO SCALE



Staff Report

File #: 21-0996

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Planning & Development Department

SUBJECT:

Acceptance of public improvements for 1548 and 1552 West Maple Street and release of the securities posted by La Maple Partners LLC for grading and public improvements.

EXECUTIVE SUMMARY:

The owners of 1548 and 1552 West Maple Street were required to post securities for the grading and public improvements associated with the construction of a new office building. The on-site improvements and the public improvements have been constructed and completed by the owner. The City's acceptance of these improvements will release the appropriate securities to the developer.

RECOMMENDED ACTION:

That the City Council:

- a. Accept the public improvements for 1548 and 1552 West Maple Street, Corona.
- b. Retain twenty-five percent (25%) of the Faithful Performance Security for one year beyond acceptance of the improvements as security for repair or replacement of any improvements that fail to meet City Standards at the end of the one-year period (Faithful Performance Cash Deposit R10024, \$18,200).
- c. Retain the Labor and Material Security for six months beyond the acceptance of the improvements, and automatically release the security unless any claims are filed (Labor and Material Cash Deposit R10024, \$9,100).
- d. Release the Precise Grading Security (Cash Deposit R10026, \$8,700).
- e. Release the Erosion Control Security (Cash Deposit R10025, \$2,500).

BACKGROUND & HISTORY:

La Maple Partners LLC, a Nevada Limited Liability Company, is the property owner of 1548 and 1552 West Maple Street. The owner recently constructed a 6,214 square foot, two story office building on the 0.6-acre site located in the City's M-2 (General manufacturing) Zone. The City Council at its meeting on November 20, 2018, entered into public improvement and grading agreements with the property owner to secure the construction of the required public improvements and precise grading to facilitate the development of the site.

ANALYSIS:

The public improvements secured by these agreements have been completed and inspected by City staff to ensure conformity with City specifications. Therefore, the securities can be released to the developer with the following restrictions:

- Twenty-five percent (25%) of the faithful performance security for the public improvements will be retained by the City for a period of one-year. This is to guarantee repair or replacement of the improvements, if any, within the one-year period. Any written claims against the performance security shall be made prior to the one-year guarantee period, which is set to expire on October 20, 2022. City staff will release the faithful performance security one year after acceptance of the improvements by the City Council, pursuant to California Government Code Section 66499.9 (c).
- Retain the labor and material security for a period of six months, in accordance with the State Subdivision Map Act.

The site was precise graded in accordance with all City standards and the approved grading plan. Therefore, the securities posted for the grading and erosion control are allowed to be released to the developer.

The table below shows the securities posted with the City by the owner.

PWGR2018-0009	Faithful Performance		Labor and Materials	
	Security No.	Amount	Security No.	Amount
Grading and Drainage	Cash Deposit	\$8,700.00	N/A	N/A
Erosion Control	Cash Deposit	\$2,500.00	N/A	N/A
PWIM2018-0006	Faithful Performance		Labor and Materials	
	Security No.	Amount	Security No.	Amount
Public Improvements	Cash Deposit	\$18,200.00	Cash Deposit	\$9,100.00

FINANCIAL IMPACT:

All applicable fees have been paid by the developer. It is the City's responsibility to begin the

maintenance of the public improvements one year after the date of acceptance.

ENVIRONMENTAL ANALYSIS:

The release of this security is not a project under the California Environmental Quality Act (CEQA). Therefore, no further environmental analysis is required.

PREPARED BY: CHRIS HORN, P.E., SENIOR ENGINEER

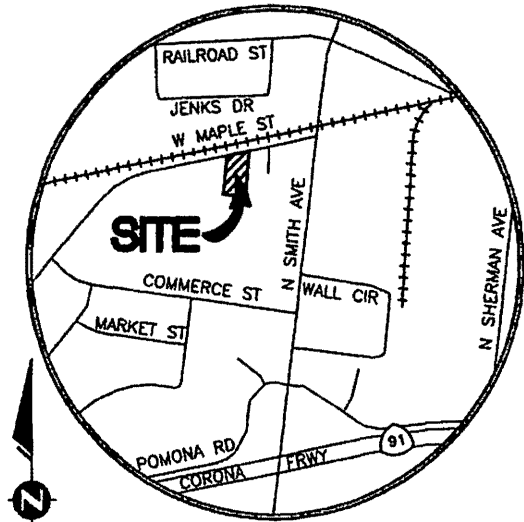
REVIEWED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

Attachments:

1. Exhibit 1 - Location Map

EXHIBIT "1" - LOCATION MAP

1548 AND 1552 WEST MAPLE STREET



VICINITY MAP

SCALE: NTS

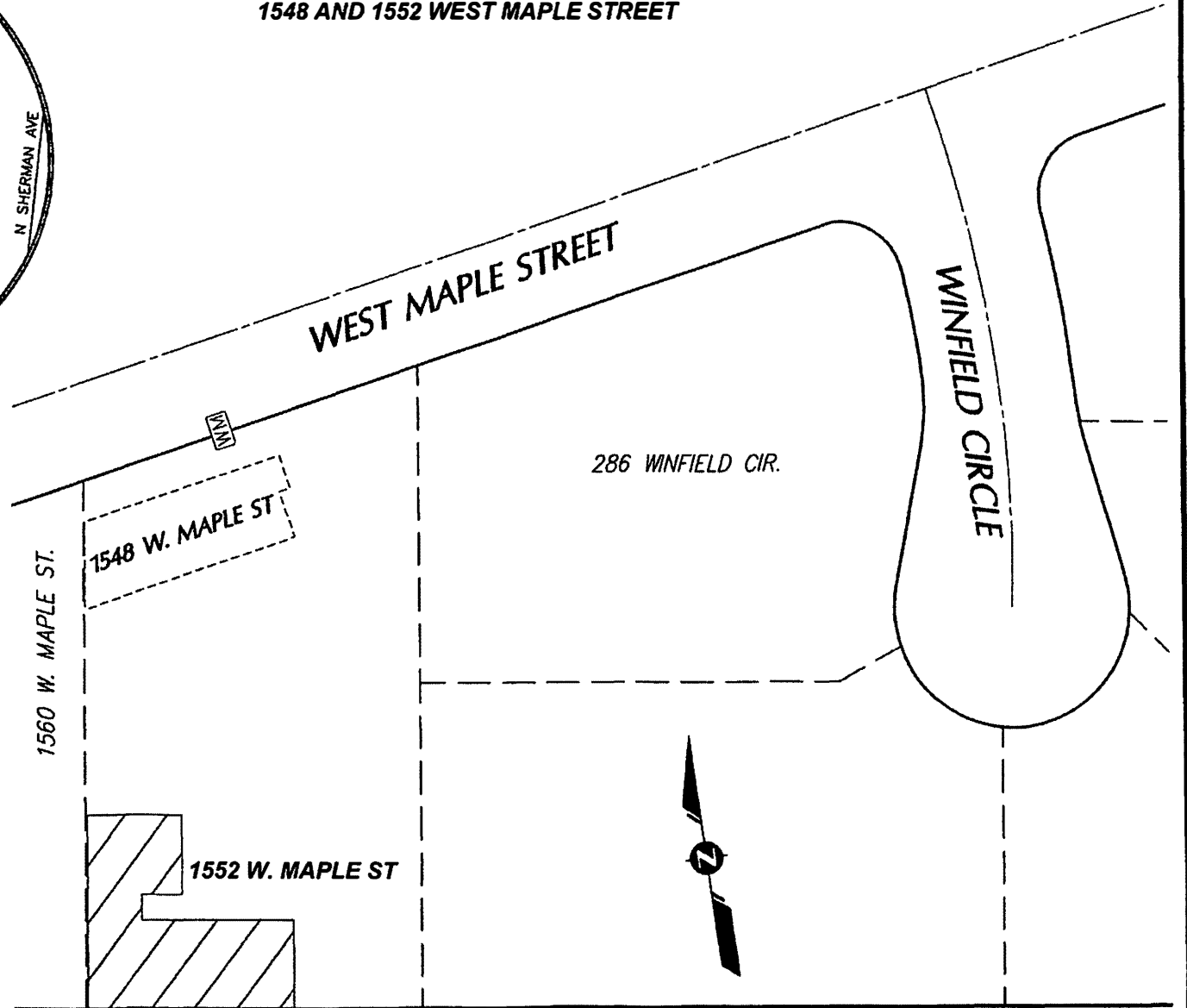
SITE INFORMATION

SITE ADDRESS:

1548 WEST MAPLE STREET.
CORONA CA

ASSESSORS PARCEL NUMBER:

118-020-021





Staff Report

File #: 21-0997

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Human Resources Department

SUBJECT:
Personnel Report providing employee updates and details on various recruitment transactions.

EXECUTIVE SUMMARY:

This Personnel Report includes new updated personnel activity since the previous meeting, which is included in the New Open/Competitive Recruitments, New Internal/Promotional Recruitments, and new employee Full-Time Appointment sections. The Report also includes employee updates and information on recruitments from Human Resources that are currently active but have been previously shown in prior updates. It also lists employee promotions and staff that is retiring from service with the City.

RECOMMENDED ACTION:

That the City Council receive and file the Personnel Report.

BACKGROUND & HISTORY:

The employee updates in the Personnel Report include full-time appointments, full-time promotions, and retirements. The recruitment activity portion of the report includes both open/competitive recruitments as well as internal/promotional recruitments.

ANALYSIS:

This Personnel Report includes employee updates and recruitments. These transaction types are reported to Council for informational purposes each meeting to enhance transparency. The report includes updated activity since the previous meeting. The employee updates in the Personnel Report include full-time appointments, full-time promotions, and retirements. The recruitment activity portion of the report includes both open/competitive recruitments as well as internal/promotional recruitments.

Full-Time Appointments

<i>Employee Name</i>	<i>Department</i>	<i>Position</i>	<i>Monthly Pay Range</i>	<i>Effective Date</i>
Guzman, Luis	Maintenance Services	Street Maintenance Worker	\$3,503 - \$4,276	September 27, 2021
Ramirez, Christina	Utilities Department	DWP Customer Care Rep I Flex	\$2,730 - \$3,332	October 5, 2021

Full-Time Promotions

<i>Employee Name</i>	<i>Department</i>	<i>Position</i>	<i>Monthly Pay Range</i>	<i>Effective Date</i>
Beringer, Greg	Information Technology	GIS Administrator	\$5,598 - \$6,834	September 25, 2021
Caruso, Rachel	Planning & Development	Code Compliance Supervisor	\$5,168 - \$6,309	September 25, 2021
Denton, Desiree	Utilities Department	DWP Customer Care Rep II Flex	\$3,332 - \$4,068	September 25, 2021
Macias, Ashley	Utilities Department	DWP Customer Care Rep III Flex	\$4,068 - \$4,966	September 25, 2021
Verhagen, Adrianna	Utilities Department	DWP Customer Care Rep II Flex	\$3,332 - \$4,068	September 25, 2021

Retirements

<i>Employee Name</i>	<i>Department</i>	<i>Position</i>	<i>Years of Service</i>	<i>Last Day on Payroll</i>
Vicondoa, David	Police Department	Police Detective	31 years	October 4, 2021

New Open/Competitive Recruitments

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Open Date</i>	<i>Closing Date</i>	<i>Status</i>
Administrative Assistant	Human Resources	Full-Time	10/14/2021	11/04/2021	Accepting Applications
Administrative Assistant	Public Works	Full-Time	10/14/2021	11/04/2021	Accepting Applications
Administrative Assistant	Utilities Department	Full-Time	10/14/2021	11/04/2021	Accepting Applications

New Open/Competitive Recruitments - Continued

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Open Date</i>	<i>Closing Date</i>	<i>Status</i>
CIP Manager/Assistant City Engineer	Public Works	Full-Time	10/14/2021	Continuous	Accepting Applications
Community Services Leader I	Community Services	Part-Time	10/14/2021	11/03/2021	Accepting Applications
Deputy Chief Operator - Water	Utilities Department	Full-Time	10/14/2021	11/07/2021	Accepting Applications
Development Services Manager	Planning and Development	Full-Time	10/14/2021	11/07/2021	Accepting Applications
Electric Utility Analyst II	Utilities Department	Full-Time	10/13/2021	11/14/2021	Accepting Applications

New Internal/Promotional Recruitments

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Open Date</i>	<i>Closing Date</i>	<i>Status</i>
Water Reclamation Operator II Flex	Utilities Department	Full-Time	10/13/2021	10/20/2021	Accepting Applications

Recruitments in Progress

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Status</i>
Accounting Supervisor	Finance	Full-Time	Accepting Applications
Accounting Technician I/II/III	Finance	Full-Time	Review Stage
Assistant City Manager	City Manager's Office	Full Time	Interview Stage
Assistant to the City Manager	City Manager's Office	Full Time	Interview Stage
Budget Manager	Finance	Full-Time	Accepting Applications
Building Inspection Supervisor	Planning and Development	Full-Time	Offer Stage
Building Permit Technician II	Planning and Development	Full Time	Offer Stage
Building Permit Technician III	Planning and Development	Full Time	Department Review Stage
Combination Plans Examiner	Planning and Development	Full-Time	Department Review Stage
Financial Analyst I	Finance	Full Time	Interview Stage
Fire Cadet	Fire Department	Part-Time	Interview Stage

Recruitments in Progress - Continued

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Status</i>
Human Resources Analyst	Human Resources	Full-Time	First Round Interview Stage
Human Resources Supervisor	Human Resources	Full-Time	Review Stage
Library Assistant	Community Services	Part-Time	Department Review Stage
Library Specialist	Community Services	Full-Time	Interview Stage
Office Assistant	Community Services	Full-Time	First Round Interview Stage
Plan Check Engineer	Planning and Development	Full-Time	Department Review Stage
Police Corporal	Police Department	Full-Time	Interview Stage
Police Officer - Academy Graduate	Police Department	Full-Time	Department Review Stage
Police Officer I/II -Lateral	Police Department	Full Time	Interview Stage
Police Trainee	Police Department	Full-Time	Accepting Applications
Public Safety Dispatch Supervisor	Police Department	Full-Time	Interview Stage
Public Safety Dispatcher II	Police Department	Full Time	Department Review Stage
Public Safety Technical Support Engineer	Information Technology	Full Time	Department Review Stage
Purchasing Specialist I	Finance	Full-Time	Accepting Applications
Radio Technician	Information Technology	Part Time	First Round Interview Stage
Senior Engineer	Planning & Development	Full-Time	Review Stage
Senior Park Ranger (PT)	Community Services	Part Time	Department Review Stage
Traffic Signal Technician	Public Works	Full Time	Offer Stage
Water Operator I/II	Utilities Department	Full-Time	Department Review Stage

FINANCIAL IMPACT:

There is no cost impact associated with the acceptance of this report. The cost of the various personnel changes listed herein are reflected in the Adopted Fiscal Year 2020-2021 Budget for the departments listed in the report.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is merely the acceptance of a report on various personnel

transaction. There is no possibility that the acceptance of this report will have a significant effect on the environment. Therefore, no further environmental review is required.

PREPARED BY: SHELLY MATHEWS, HUMAN RESOURCES ADMINISTRATIVE ASSISTANT

REVIEWED BY: ANGELA RIVERA, CHIEF TALENT OFFICER



Staff Report

File #: 21-0991

**REQUEST FOR CITY COUNCIL AND
CORONA UTILITY AUTHORITY ACTION**

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members
Honorable President and Board Members

FROM: Utilities Department

SUBJECT:

Resolution authorizing submittal of a grant application to the Bureau of Reclamation WaterSMART Grants: Water and Energy Efficiency Grants for Fiscal Year 2022.

EXECUTIVE SUMMARY:

The Utilities Department proposed to submit a funding application to the Bureau of Reclamation to complete the upgrade and installation of Advanced Metering Infrastructure throughout the City. Grant funding will partially offset the currently budgeted Capital Improvement Project's Advanced Metering Infrastructure Meter Replacement Project No. 76340.

RECOMMENDED ACTION:

That the:

- a. City Council adopt Resolution No. 2021-127 approving the application for grant funds for WaterSMART: Water and Energy Efficiency Grants for Fiscal Year 2022 Grant Program, Funding Opportunity Announcement No. R22AAS00023.
- b. City Council designate the City Manager, or his designee, to receive and spend Water SMART: Water and Energy Efficiency Grant funds in accordance with all applicable program guidelines and state and federal laws.
- c. City Council authorize the City Manager, or his designee, to act as an agent with legal authority to enter into the grant agreement, conduct all negotiations, execute and submit all documents including, but not limited to, applications, agreements, payment requests, and any other grant required correspondence which may be necessary for the completion of the grant program that is consistent with or in furtherance of the City Council's actions hereunder.

- d. City Council authorize the Finance Director, or her designee, to prepare and process any budgetary adjustments to receive and record WaterSMART: Water and Energy Efficiency Grant funds.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct that the City Council take the above actions.

BACKGROUND & HISTORY:

The United States Department of the Interior's WaterSMART (Sustain and Manage America's Resources for Tomorrow) Program provides a framework for Federal assistance to stretch and secure water supplies for future generations. Through this program, the Bureau of Reclamation (BOR) leverages federal and local funding to increase water supply sustainability through investments in existing infrastructure and attention to local water conflicts. The program provides financial assistance for projects that seek to conserve and use water more efficiently, resulting in quantifiable and sustained water savings.

In 2012, the City of Corona applied for and was awarded a Bureau of Reclamation WaterSMART: Water and Energy Efficiency Grant (WEEG). This grant allowed the City to replace and/or retrofit 1,311 outdated meters with "smart" meters with advanced metering technology capabilities. The City has continued to install Advanced Metering Infrastructure (AMI) meters through new development and currently has 4,405 AMI meters in the system. Once a robust software system is in place, these meters will help the City mitigate undetected leaks and unaccounted for water usage and loss in a timely and efficient manner, with 24/7 monitoring and alert capabilities.

Approximately 40,000 meters still need to be upgraded to the advanced metering technology through the AMI Meter Replacement project at a total cost of \$18 million as approved in the current Capital Improvement Project Five Year Plan.

ANALYSIS:

The AMI Meter Replacement Project will replace and/or retrofit Citywide direct read water meters with AMI meters. By completing the project, the Department will obtain real-time remote meter reads, detect leaks in real-time, and provide the customers the ability to monitor their usage in real-time, which should result in water savings.

The City is in the process of securing an independent consultant to evaluate the project and recommend the type of metering infrastructure most appropriate for the system. The consultant will review the various options available for AMI, along with the City's system and requirements. The consultant will make a recommendation on the system that best fits the City's needs. Once this determination is made, the City can move forward with a Request For Proposals to install the new meters.

The Department has been actively seeking grant funding to help offset the cost of this important project. The WaterSMART: WEEG Program is an excellent match for the AMI Meter Replacement project. The program's water conservation goals align well with the water savings anticipated to be

achieved by replacing and/or retrofitting 40,000 direct read meters. The City previously received this funding for a similar project, and in 2020, the BOR awarded over 27 percent of the funding for this program for Advanced Metering projects. AMI projects seem to be strongly supported through this program based on past awards.

As required by the BOR, Staff recommends adoption of Resolution No. 2021-127, authorizing the City to apply for WaterSMART: WEEG funding. If received, this grant funding will partially offset the cost of the existing AMI Meter Replacement project up to a maximum of \$2 million over the three-year period.

FINANCIAL IMPACT:

Approval of the recommended actions may result in an appropriation for the award (up to \$2 million) in the AMI Meter Replacement Project (76340) and an offsetting revenue budget for the amount of the award in the Water Utility Grant/Agreement Fund 571.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is to adopt a resolution to apply for WaterSMART: WEEG funding, and there is no possibility that adopting this resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: JACQUELINE ZUKERAN, BUSINESS MANAGER

REVIEWED BY: TOM MOODY, GENERAL MANAGER

Attachments:

1. Exhibit 1: Resolution No. 2021-127

RESOLUTION NO. 2021-127

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA APPROVING THE APPLICATION FOR GRANT FUNDS FOR THE WATERSMART: WATER AND ENERGY EFFICIENCY GRANTS FOR FISCAL YEAR 2022 GRANT PROGRAM, FUNDING OPPORTUNITY ANNOUNCEMENT NO. R22AAS00023.

WHEREAS, the President of the United States and the United States Department of the Interior have provided funds for the WaterSMART Program; and

WHEREAS, the Bureau of Reclamation has been delegated the responsibility for the administration of this grant program, establishing necessary procedures; and

WHEREAS, said procedures established by the Bureau of Reclamation require a resolution certifying the approval of application(s) by the applicant's governing board for submission of said application(s); and

WHEREAS, the applicant, if selected, will enter into an agreement with the Bureau of Reclamation to carry out the development of the proposal.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:

SECTION 1. WaterSMART Application. The City Council hereby authorizes and approves the filing of an application for the WaterSMART: Water and Energy Efficiency Grants for Fiscal Year 2022 Grant Program for the City of Corona.

SECTION 2. City Manager Authority. The City Council hereby authorizes the City Manager, or his designee, to act as agent with legal authority to enter into the grant agreement, conduct all negotiations, execute and submit all documents including, but not limited to, applications, agreements, payment requests and any other grant required correspondence which may be necessary for the completion of the grant program.

SECTION 3. Budgetary Adjustments. The City Council hereby authorizes the Finance Director or his/her designee, to prepare and process all necessary budgetary adjustments to receive and record any funds received from the WaterSMART: Water Energy and Efficiency Grants Program.

SECTION 4. Match Fund Certification. The City Council hereby certifies that the City of Corona has sufficient matching funds to provide the amount of funding/in-kind contributions specified in the funding plan included in the grant application.

SECTION 5. Application Certification. The City Council hereby certifies that the City Council of the City of Corona has reviewed and supports the proposed application.

SECTION 6. Established Deadline Certification. The City Council hereby certifies that the City of Corona will work with the Bureau of Reclamation to meet established deadlines for entering into a cooperative agreement.

SECTION 7. Effective Date. The Mayor shall sign this Resolution and the City Clerk shall attest thereto, and this Resolution shall take effect and be in force on the date of its adoption.

PASSED, APPROVED AND ADOPTED this 3rd Day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California at a regular meeting thereof held on the 3rd day of November 2021 by the following vote of the Council:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November 2021.

City Clerk of the City of Corona, California

[SEAL]



Staff Report

File #: 21-0993

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Finance Department

SUBJECT:

Resolution declaring the City's intention to annex territory to Community Facilities District No. 2016-3 (Maintenance Services) and adopting a map of the area proposed to be annexed thereto (Annexation No. 26).

EXECUTIVE SUMMARY:

The property owner requests annexation into the City's Community Facilities District No. 2016-3 (Maintenance Services) to provide maintenance services for public facilities within and for the benefit of the proposed development.

RECOMMENDED ACTION:

That the City Council adopt Resolution No. 2021-124, declaring intention to annex territory to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, and adopting a map of the area proposed to be annexed thereto (Annexation No. 26).

BACKGROUND & HISTORY:

On December 7, 2016, the City Council approved Resolution No. 2016-112 establishing Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona ("CFD No. 2016-3" or "District") for the purpose of levying special taxes on parcels of taxable property to provide certain services which are necessary to meet increased demands placed upon the City.

Development projects are subject to conditions of approval that require projects to form or annex into a maintenance district. These districts apply an annual fee or special tax upon properties within the District, which provide the revenue to offset the cost of maintenance of the public improvements necessary to serve the development.

D.R. Horton ("Owner") has submitted a Petition to the City requesting that Assessor's Parcel

Numbers 113-160-008 and 113-160-009 be annexed to CFD No. 2016-3. The Petition, including the waiver and consent by the Owner, is on file in the City Clerk's office and authorizes the City to: (1) hold the election and declare election results; (2) shorten election time requirements; (3) waive analysis and arguments; and (4) waive all noticing requirements relating to the conduct of the election immediately following the public hearing.

ANALYSIS:

The development is comprised of an empty lot located at the intersection of S Lincoln Ave. and Highgrove St. The gross acreage for the entire property in the boundary area is approximately 6.95 acres, as shown in Exhibit "A" of Resolution No. 2021-124 ("Subject Parcel"). The Owner proposes to construct 27 residential lots.

As a condition of approval, the Subject Parcel is required to be annexed into CFD No. 2016-3 in order to pay for the maintenance of landscaping, street lighting, street maintenance, drainage, parks, and graffiti abatement.

Should Resolution No. 2021-124 be approved, and the annexation process proceed, a public hearing of the proposed annexation shall be held on December 15, 2021.

FINANCIAL IMPACT:

The proposed annexation will establish Tax Zone 26 within the CFD No. 2016-3. The Subject Parcels will be assessed as residential units and will benefit from the existing and future landscaping, street lighting, street maintenance, drainage, parks, and graffiti abatement. This annexation will yield an estimate of \$29,418 annually in special assessment revenue for the District at build-out as planned.

The total annexation cost will be paid by the Owner.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action merely declares the City's intent to annex the Subject Parcel to CFD No. 2016-3 and there is no possibility that adopting this resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: LIEN-CHI CANTUBA, FINANCIAL ANALYST III

REVIEWED BY: KIM SITTON, FINANCE DIRECTOR

Attachments:

1. Exhibit 1 - CFD No. 2016-3 Annexation No. 26 Project Map
2. Exhibit 2 - Resolution No. 2021-124

PROJECT MAP
CFD NO. 2016-3 (MAINTENANCE SERVICES)
ANNEXATION NO. 26



SPICER CONSULTING
GROUP



RESOLUTION NO. 2021-124

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA DECLARING INTENTION TO ANNEX TERRITORY TO COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES) OF THE CITY OF CORONA, AND ADOPTING A MAP OF THE AREA PROPOSED TO BE ANNEXED THERETO (ANNEXATION NO. 26)

WHEREAS, the City Council (the "City Council") of the City of Corona (the "City") has heretofore initiated proceedings for the establishment of Community Facilities District No. 2016-3 of the City of Corona, County of Riverside, State of California (the "Community Facilities District") for the purpose of levying special taxes on parcels of taxable property therein for the purpose of providing certain services which are necessary to meet increased demands placed upon the City as a result of the development of said real property; and

WHEREAS, the City has received signed petitions from the owner and developer of a certain parcel of property requesting that such parcel be annexed to the Community Facilities District, and agreeing to the annual levy of special taxes on said property sufficient to pay the costs of such services and costs incidental thereto; and

WHEREAS, the City Council is authorized by Article 3.5 (commencing with Section 53339) of Chapter 2.5 of Part 1 of Division 2 of Title 5 of the Government Code, commonly known as the "Mello-Roos Community Facilities Act of 1982," (the "Act") to annex territory to the Community Facilities District by complying with the procedures set forth in said Article 3.5.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:

SECTION 1. Intention. The City Council declares its intention to conduct proceedings pursuant to Article 3.5 of the Act for the annexation to the Community Facilities District of the territory described in Exhibit "A" attached hereto. The City Council determines that the public convenience and necessity require that such territory be annexed to the Community Facilities District.

SECTION 2. Name of District. The name of the existing Community Facilities District is Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California.

SECTION 3. Description of Territory Proposed to be Annexed; Annexation Map. The territory which is included in the Community Facilities District is described on the map of the Community Facilities District recorded on November 7, 2016 in Book 80 of Maps of

Assessment and Community Facilities Districts, page 24, and as Instrument No. 2016-0494014; and the map entitled Annexation Map No. 1 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on March 6, 2017 in Book 80 of Maps of Assessment and Community Facilities Districts, at page 45, and as Instrument No. 2017-0091538; the map entitled Annexation Map No. 2 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 25, 2017 in Book 80 of Maps of Assessment and Community Facilities Districts, at page 61, and as Instrument No. 2017-0164857; the map entitled Annexation Map No. 3 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 25, 2017 in Book 80 of Maps of Assessment and Community Facilities Districts, at page 60, and as Instrument No. 2017-0164856; the map entitled Annexation Map No. 4 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 11, 2018 in Book 82 of Maps of Assessment and Community Facilities Districts, at page 33, and as Instrument No. 2018-0139326; the map entitled Annexation Map No. 5 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on May 9, 2018 in Book 82 of Maps of Assessment and Community Facilities Districts, at page 46, and as Instrument No. 2018-0180894; the map entitled Annexation Map No. 6 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on August 8, 2018 in Book 82 of Maps of Assessment and Community Facilities Districts, at page 95, and as Instrument No. 2018-0318806; the map entitled Annexation Map No. 7 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 12, 2018 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 3, and as Instrument No. 2018-0366312; the map entitled Annexation Map No. 8 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on October 24, 2018 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 19, and as Instrument No. 2018-0420213; the map entitled Annexation Map No. 9 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on December 12, 2018 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 36, and as Instrument No. 2018-0483574; the map entitled Annexation Map No. 10 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 10, 2019 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 71, and as Instrument No. 2019-0121272; the map entitled Annexation Map No. 11 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 10, 2019 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 72, and as Instrument No. 2019-0121273; the map entitled Annexation Map No. 12 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 10, 2019 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 73, and as Instrument No. 2019-0121274; the map entitled Annexation Map No. 13 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on October 31, 2019 in Book 84 of Maps of Assessment and Community Facilities Districts, at page 47, and as Instrument No. 2019-0443969; the map entitled Annexation Map No. 14 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on October 23, 2019 in Book 84 of Maps of Assessment and Community Facilities Districts, at page 40, and as Instrument No. 2019-0428088; the map entitled Annexation Map No. 15 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on February 26, 2020 in Book 84 of Maps of Assessment and Community Facilities Districts, at page 97, and as Instrument No. 2020-0087079; the map entitled Annexation Map No. 16 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on July 8, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 44, and as

Instrument No. 2020-0296754; the map entitled Annexation Map No. 17 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on June 25, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 39, and as Instrument No. 2020-0274667; the map entitled Annexation Map No. 19 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 23, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 61, and as Instrument No. 2020-0451769; the map entitled Annexation Map No. 20 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 23, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 62, and as Instrument No. 2020-0451770; the map entitled Annexation Map No. 21 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on November 12, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 93, and as Instrument No. 2020-0562417; the map entitled Annexation Map No. 22 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on November 12, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 94, and as Instrument No. 2020-0562418; the map entitled Annexation Map No. 23 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 7, 2021 in Book 86 of Maps of Assessment and Community Facilities Districts, at page 62, and as Instrument No. 2021-0246658; the map entitled Annexation Map No. 24 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on March 24, 2021 in Book 86 of Maps of Assessment and Community Facilities Districts, at page 50, and as Instrument No. 2021-0186140; the map entitled Annexation Map No. 25 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 28, 2021 in Book 86 of Maps of Assessment and Community Facilities Districts, at page 94, and as Instrument No. 2021-0264410; the map entitled Annexation Map No. 27 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on July 28, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 32, and as Instrument No. 2021-0450034; the map entitled Annexation Map No. 28 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 22, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 68, and as Instrument No. 2021-2021-0565136; the map entitled Annexation Map No. 29 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on August 5, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 43, and as Instrument No. 2021-0469342; and the map entitled Annexation Map No. 30 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 8, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 59, and as Instrument No. 2021-0535299 in the official records of the County of Riverside. The territory proposed to be annexed to the Community Facilities District is described in Exhibit "A" attached hereto and by this reference made a part hereof. Such territory is also shown and described on the map thereof entitled "Annexation Map No. 26, Community Facilities District No. 2016-3 (Maintenance Services) City of Corona, County of Riverside, State of California," which is on file with the City Clerk (the "Annexation Map").

SECTION 4. Types of Services, Incidental Expenses; Plan for Providing Services. The Community Facilities District shall provide and finance the annual costs of maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited

to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within and in the area of the Community Facilities District. The Community Facilities District shall also finance cost associated with the determination of the amount of and the levy and collection of special taxes which are levied to provide such services and costs otherwise incurred in order to carry out the authorized purposes of the Community Facilities District.

SECTION 5. Special Taxes. Except where funds are otherwise available, special taxes sufficient to pay the costs of the services described in Section 4 above and the annual administrative expenses of the City and the Community Facilities District in determining, apportioning, levying and collecting such special taxes, shall be annually levied within the territory proposed to be annexed to the Community Facilities District. Pursuant to Section 53340 of the California Government Code, the special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes. However, under no circumstances shall the special tax levied against any parcel subject to the levy of the special tax be increased as a consequence of delinquency or default by the owner of any other parcel or parcels within the Community Facilities District by more than ten (10) percent. The rates and method of apportionment of said special taxes shall be as set forth in Exhibit "B" attached hereto and by this reference made a part hereof. The rate of special tax to be levied on property within the territory proposed to be annexed to the Community Facilities District in any fiscal year to pay the cost of the services described in Section 4 above shall be equal to the rate of special tax which will be levied on all other property within the Community Facilities District to pay the cost of such services in such fiscal year.

SECTION 6. Adoption of Annexation Map. Pursuant to Section 3110.5 of the Streets and Highways Code, the City Council adopts the Annexation Map as the map of the areas proposed to be annexed to the Community Facilities District. Pursuant to Section 3111 of said Code, the City Clerk shall file the original of the Annexation Map in her office and shall file a copy of the Annexation Map with the County Recorder of the County of Riverside no later than 15 days prior to the date of the hearing specified in Section 7 hereof.

SECTION 7. Hearing. A public hearing on the proposed annexation of said territory to the Community Facilities District shall be held at 6:30 p.m. on December 15, 2021 in the Council Chambers of the City Council, 400 South Vicentia, Corona, California.

SECTION 8. Notice. The City Clerk shall publish a notice of the time and place of said hearing as required by Section 53322 of the California Government Code, and shall also give notice of the hearing by first class mail to each registered voter and landowner within the territory proposed to be annexed to the Community Facilities District as prescribed by Section 53339.4 of said Code. Said notice shall be published at least ten (10) days and mailed at least fifteen (15) days before the date of the hearing and shall contain the information required by said Section 53339.4.

SECTION 9. Description of Voting Procedures. The voting procedures to be followed in conducting the election on the proposition with respect to the levy of special taxes within the territory proposed to be annexed to the Community Facilities District to shall be as follows:

(a) If at the time of the close of the public or protest hearing (hereinafter referred to as the "protest hearing") at least 12 persons are registered to vote within the territory proposed to be annexed to the Community Facilities District, the election shall be conducted by the City Clerk, and shall be held on a date selected by the City Council in conformance with the provisions of Section 53326 of the California Government Code ("Section 53326") and pursuant to the applicable provisions of law regulating elections of the City, insofar as they may be applicable, and pursuant to Section 53326 the ballots for the election shall be distributed to the qualified electors of the territory proposed to be annexed to the Community Facilities District by mail with return postage prepaid and the election shall be conducted as a mail ballot election.

(b) If at the time of the close of the protest hearing, and for at least the preceding 90 days, less than 12 persons have been registered to vote within the territory proposed to be annexed to the Community Facilities District, and pursuant to Section 53326, the vote is therefore to be by the landowners of that territory, with each landowner of record at the close of the protest hearing having one vote for each acre or portion of an acre of land that he or she owns, the election shall be conducted by the City Clerk as follows:

(1) The election shall be held on the earliest date following the conclusion of the protest hearing upon which it can be held pursuant to Section 53326 which may be selected by the City Council, or such earlier date as the owners of land within the territory proposed to be annexed to the Community Facilities District and the City Clerk agree and concur is acceptable.

(2) Pursuant to Section 53326, the election may be held earlier than 90 days following the close of the protest hearing if the qualified electors of the territory proposed to be annexed to the Community Facilities District waive the time limits for conducting the election set forth in Section 53326 by unanimous written consent and the City Clerk concurs in such earlier election date as shall be consented to by the qualified electors.

(3) Pursuant to Section 53326, ballots for the election shall be distributed to the qualified electors by the City Clerk by mail with return postage prepaid or by personal service.

(4) Pursuant to applicable provisions of law regulating elections of the City which govern the conduct of mail ballot elections, and Division 4 (commencing with Section 4000) of the Elections Code with respect to elections conducted by mail, the City Clerk shall mail or deliver to each qualified elector an official ballot in a form specified by the City Council in the resolution calling the election, and shall also mail or deliver to all such qualified electors a ballot pamphlet and instructions to voter, including a sample ballot identical in form to the official ballot but identified as a sample ballot, a statement pursuant to Section 9401 of the said Code, an

impartial analysis by the City Attorney pursuant to Section 9280 of the said Code with respect to the ballot proposition contained in the official ballot, ballot arguments and rebuttals, if any, pursuant to Sections 9281 to 9287, inclusive, of said Code, a return identification envelope with prepaid postage thereon addressed to the City Clerk for the return of voted official ballots, and a copy of the resolution adopted by the City Council calling and scheduling the election and the exhibits thereto; provided, however, that such statement, analysis and arguments may be waived with the unanimous consent of all the landowners of the territory proposed to be annexed to the Community Facilities District and shall be so stated in the resolution adopted by the City Council calling the election.

(5) The official ballot to be mailed or delivered by the City Clerk to each landowner-voter shall have printed or typed thereon the name of the landowner-voter and the number of votes to be voted by the landowner-voter and shall have appended to it a certification to be signed by the person voting the official ballot which shall certify that the person signing the certification is the person who voted the official ballot, and if the landowner-voter is other than a natural person, that he or she is and officer of or other person affiliated with the landowner-voter entitled to vote such official ballot, that he or she has been authorized to vote such official ballot on behalf of the landowner-voter, that in voting such official ballot it was his or her intent, as well as the intent of the landowner-voter, to vote all votes to which the landowner-voter is entitled based on its land ownership on the proposition set forth in the official ballot as marked thereon in the voting square opposite such proposition, and further certifying as to the acreage of the landowner-voter's land ownership within the territory proposed to be annexed to the Community Facilities District.

(6) The return identification envelope delivered by the City Clerk to each landowner-voter shall have printed or typed thereon the following: (i) the name of the landowner, (ii) the address of the landowner, (iii) a declaration under penalty of perjury stating that the voter is the landowner or the authorized representative of the landowner entitled to vote the enclosed ballot and is the person whose name appears on the identification envelope, (iv) the printed name and signature of the voter, (v) the address of the voter, (vi) the date of signing and place of execution of said declaration, and (vii) a notice that the envelope contains an official ballot and is to be opened only by the City Clerk.

(7) The information-to-voter form to be mailed or delivered by the City Clerk to the landowner-voters shall inform them that the official ballots shall be returned to the City Clerk properly voted as provided thereon and with the certification appended thereto properly completed and signed in the sealed return identification envelope with the certification thereon completed and signed and all other information to be inserted thereon properly inserted by 5 o'clock p.m. on the date of the election.

(8) Upon receipt of the return identification envelopes which are returned prior to the voting deadline on the date of the election, the City Clerk shall canvass the votes cast in the election, and shall file a statement with the City Council at its next regular meeting regarding the results of such canvass and the election.

The procedures set forth in this section for conducting the election may be modified as the City Council may determine to be necessary or desirable by a resolution subsequently adopted by the City Council.

PASSED, APPROVED AND ADOPTED this 3rd day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 3rd day of November, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November, 2021.

City Clerk of the City of Corona, California

**EXHIBIT “A”
LEGAL DESCRIPTION**

**ANNEXATION NO. 26 TO
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
CITY OF CORONA, COUNTY OF RIVERSIDE
STATE OF CALIFORNIA**

The property located in the City of Corona, County of Riverside, State of California, and described as follows:

PARCEL A: (APN: 113-123-009)

LOT 9, TRACT NO. 25690-1, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 254, PAGES 56 THROUGH 58 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM ANY AND ALL (I) OIL RIGHTS, (II) MINERAL RIGHTS, (III) NATURAL GAS RIGHTS, (IV) RIGHTS TO ALL OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, (V) GEOTHERMAL HEAT RIGHTS OR GEOTHERMAL SUBSTANCES THAT MAY BE PRODUCED FROM THE PROPERTY, (VI) WATER RIGHTS AND CLAIMS OR RIGHTS TO WATER AND (VII) ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING (COLLECTIVELY, “SUBSURFACE RESOURCES”) LOCATED IN OR UNDER THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA DESCRIBED IN EXHIBIT “A” ATTACHED HERETO AND INCORPORATED HEREIN (THE “PROPERTY”), TO THE EXTENT SUCH SUBSURFACE RESOURCES HAVE NOT BEEN PREVIOUSLY RESERVED AS CONVEYED TO DRH ENERGY, INC., A COLORADO CORPORATION BY DEED RECORDED OCTOBER 7, 2021 AS INSTRUMENT NO. 2021-0596856 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THE PERPETUAL RIGHT TO DRILL, MINE, EXPLORE AND OPERATE FOR AND PRODUCE, STORE AND REMOVE ANY OF THE SUBSURFACE RESOURCES ON OR FROM THE PROPERTY, INCLUDING WITHOUT LIMITATION THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE, FROM LANDS OTHER THAN THE PROPERTY, WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE PROPERTY, AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS WITHIN OR BEYOND THE EXTERIOR LIMITS OF THE PROPERTY, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES, BUT WITHOUT THE RIGHT TO DRILL, MINE, EXPLORE, OPERATE, PRODUCE, STORE OR REMOVE ANY OF THE SUBSURFACE RESOURCES THROUGH OR IN THE SURFACE OF THE PROPERTY OR THE UPPER FIVE HUNDRED (500) FEET OF THE SUBSURFACE OF THE PROPERTY AS CONVEYED TO DRH ENERGY, INC., A COLORADO CORPORATION BY DEED RECORDED OCTOBER 7, 2021 AS INSTRUMENT NO. 2021-0596856 OF OFFICIAL RECORDS.

PARCEL B: (APN: 113-123-008)

LOT 8, TRACT NO. 25690-2, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP ON FILE IN BOOK 254, PAGES 59 THROUGH 61, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM ANY AND ALL (I) OIL RIGHTS, (II) MINERAL RIGHTS, (III) NATURAL GAS RIGHTS, (IV) RIGHTS TO ALL OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, (V) GEOTHERMAL HEAT RIGHTS OR GEOTHERMAL SUBSTANCES THAT MAY BE PRODUCED FROM THE PROPERTY, (VI) WATER RIGHTS AND CLAIMS OR RIGHTS TO WATER AND (VII) ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING (COLLECTIVELY, "SUBSURFACE RESOURCES") LOCATED IN OR UNDER THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN (THE "PROPERTY"), TO THE EXTENT SUCH SUBSURFACE RESOURCES HAVE NOT BEEN PREVIOUSLY RESERVED AS CONVEYED TO DRH ENERGY, INC., A COLORADO CORPORATION BY DEED RECORDED OCTOBER 7, 2021 AS INSTRUMENT NO. 2021-0596856 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THE PERPETUAL RIGHT TO DRILL, MINE, EXPLORE AND OPERATE FOR AND PRODUCE, STORE AND REMOVE ANY OF THE SUBSURFACE RESOURCES ON OR FROM THE PROPERTY, INCLUDING WITHOUT LIMITATION THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE, FROM LANDS OTHER THAN THE PROPERTY, WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE PROPERTY, AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS WITHIN OR BEYOND THE EXTERIOR LIMITS OF THE PROPERTY, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES, BUT WITHOUT THE RIGHT TO DRILL, MINE, EXPLORE, OPERATE, PRODUCE, STORE OR REMOVE ANY OF THE SUBSURFACE RESOURCES THROUGH OR IN THE SURFACE OF THE PROPERTY OR THE UPPER FIVE HUNDRED (500) FEET OF THE SUBSURFACE OF THE PROPERTY AS CONVEYED TO DRH ENERGY, INC., A COLORADO CORPORATION BY DEED RECORDED OCTOBER 7, 2021 AS INSTRUMENT NO. 2021-0596856 OF OFFICIAL RECORDS.

PARCEL C: (APNS: 113-160-008 AND 113-160-009)

LOT 298 OF ORANGE HEIGHTS, AS SHOWN BY MAP ON FILE IN BOOK 2 PAGE 2 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THOSE PORTION CONVEYED TO THE CITY OF CORONA, A MUNICIPAL CORPORATION BY FINAL ORDER OF CONDEMNATION RECORDED OCTOBER 2, 1992 AS INSTRUMENT NO. 1992-374059 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ANY AND ALL (I) OIL RIGHTS, (II) MINERAL RIGHTS, (III) NATURAL GAS RIGHTS, (IV) RIGHTS TO ALL OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, (V) GEOTHERMAL HEAT RIGHTS OR GEOTHERMAL SUBSTANCES THAT MAY BE PRODUCED FROM THE PROPERTY, (VI) WATER RIGHTS AND CLAIMS OR RIGHTS TO WATER AND (VII) ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING (COLLECTIVELY, "SUBSURFACE RESOURCES") LOCATED IN OR UNDER THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN (THE "PROPERTY"), TO THE EXTENT SUCH SUBSURFACE RESOURCES HAVE NOT BEEN PREVIOUSLY RESERVED AS CONVEYED TO DRH ENERGY, INC., A COLORADO CORPORATION BY DEED RECORDED OCTOBER 7, 2021 AS INSTRUMENT NO. 2021-0596856 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THE PERPETUAL RIGHT TO DRILL, MINE, EXPLORE AND OPERATE FOR AND PRODUCE, STORE AND REMOVE ANY OF THE SUBSURFACE RESOURCES ON OR FROM THE PROPERTY,

INCLUDING WITHOUT LIMITATION THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE, FROM LANDS OTHER THAN THE PROPERTY, WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE PROPERTY, AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS WITHIN OR BEYOND THE EXTERIOR LIMITS OF THE PROPERTY, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES, BUT WITHOUT THE RIGHT TO DRILL, MINE, EXPLORE, OPERATE, PRODUCE, STORE OR REMOVE ANY OF THE SUBSURFACE RESOURCES THROUGH OR IN THE SURFACE OF THE PROPERTY OR THE UPPER FIVE HUNDRED (500) FEET OF THE SUBSURFACE OF THE PROPERTY AS CONVEYED TO DRH ENERGY, INC., A COLORADO CORPORATION BY DEED RECORDED OCTOBER 7, 2021 AS INSTRUMENT NO. 2021-0596856 OF OFFICIAL RECORDS.

EXHIBIT “B”
RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX FOR
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
OF THE CITY OF CORONA

A Special Tax (the “Special Tax”) shall be levied on and collected from each Assessor’s Parcel (defined below) in Community Facilities District No. 2016-3 (Maintenance Services) (the “CFD No. 2016-3” or “CFD”; defined below), in each Fiscal Year, (defined below), commencing in the Fiscal Year beginning July 1, 2017, in an amount determined by the City Council of the City of Corona, acting in its capacity as the legislative body of CFD No. 2016-3, by applying the rate and method of apportionment set forth below. All of the real property in CFD No. 2016-3, unless exempted by law or by the provisions herein, shall be taxed to the extent and in the manner provided herein.

A. DEFINITIONS

“Acre” or “Acreage” means the land area of an Assessor’s Parcel as shown on any Assessor’s Parcel Map, or if the land area is not shown on the Assessor’s Parcel Map, the land area as shown on the applicable Final Map, or if the area is not shown on the applicable Final Map, the land area shall be calculated by the Administrator.

“Administrative Expenses” means the actual or reasonably estimated costs directly related to the formation, annexation, and administration of CFD No. 2016-3 including, but not limited to: the costs of computing the Special Taxes and preparing the annual Special Tax collection schedules (whether by the City or designee thereof or both); the costs to the City, CFD No. 2016-3, or any designee thereof associated with fulfilling the CFD No. 2016-3 disclosure requirements; the costs associated with responding to public inquiries regarding the Special Taxes; the costs of the City, CFD No. 2016-3 or any designee thereof related to an appeal of the Special Tax; and the City's annual administration fees including payment of a proportional share of City overhead and salaries and benefits of any City employees whose duties are related to the administration of CFD No. 2016-3 and third party expenses related to CFD No. 2016-3. Administrative Expenses shall also include amounts estimated or advanced by the City or CFD No. 2016-3 for any other administrative purposes of CFD No. 2016-3, including attorney's fees and other costs related to commencing and pursuing to completion any foreclosure of delinquent Special Taxes.

“Administrator” means the City Manager of the City of Corona, or his or her designee.

“Approved Property” means all Assessor’s Parcels of Taxable Property that are included in a Final Map that was recorded prior to the March 1 preceding the Fiscal Year in which the Special Tax is being levied, and that have not been issued a building permit on or prior to the June 1 preceding the Fiscal year in which the special tax is being levied.

“Assessor’s Parcel” means a lot or parcel of land that is identifiable by an Assessor’s Parcel Number by the County Assessor of the County of Riverside.

“Assessor’s Parcel Map” means an official map of the Assessor of the County designating parcels by Assessor’s Parcel Number.

“Assessor’s Parcel Number” means that identification number assigned to a parcel by the County Assessor of the County.

“Building Square Footage” or **“BSF”** means the floor area square footage reflected on the original construction building permit issued for construction of a building of Non-Residential Property and any Building Square Footage subsequently added to a building of such Non-Residential Property after issuance of a building permit for expansion or renovation of such building.

“Calendar Year” means the period commencing January 1 of any year and ending the following December 31.

“CFD” or **“CFD No. 2016-3”** means the City of Corona Community Facilities District No. 2016-3 (Maintenance Services).

“City” means the City of Corona.

“Contingent Services” means services permitted under the Mello-Roos Community Facilities Act of 1982 including, without limitation, those services authorized to be funded by CFD No. 2016-3 as set forth in the documents adopted by the City Council at the time the CFD was formed to be provided by the City in the event the Administrator makes a determination pursuant to Section C(2) that a Property Owners’ Association fails to adequately provide such services.

“County” means the County of Riverside.

“Developed Property” means all Assessor’s Parcels of Taxable Property for which a building permit for new construction has been issued on or prior to June 1 preceding the Fiscal Year in which the Special Tax is being levied.

“Exempt Property” means all Assessors’ Parcels designated as being exempt from the Special Tax as provided for in Section G.

“Final Map” means a subdivision of property by recordation of a final map, parcel map, or lot line adjustment, pursuant to the Subdivision Map Act (California Government Code Section 66410 et seq.) or recordation of a condominium plan pursuant to California Civil Code 1352 that creates individual lots for which building permits may be issued without further subdivision.

“Fiscal Year” means the period from and including July 1st of any year to and including the following June 30th.

“Land Use Category” or **“LUC”** means any of the categories contained in Section B hereof to which an Assessor’s Parcel is assigned consistent with the land use approvals that have been received or proposed for the Assessor’s Parcel as of June 1 preceding the Fiscal Year in which the Special Tax is being levied.

“Maximum Special Tax” means either Maximum Special Tax A and/or Maximum Special Tax B (Contingent), as applicable.

“Maximum Special Tax A” means for each Assessor’s Parcel and each Fiscal Year, the maximum Special Tax A, as determined in accordance with Section C below that can be levied on such Assessor’s Parcel in such Fiscal Year.

“Maximum Special Tax B (Contingent)” means for each Assessor’s Parcel and each Fiscal Year, the maximum Special Tax B (Contingent), as determined in accordance with Section C below that can be levied on such Assessor’s Parcel in such Fiscal Year.

“Multi-Family Residential Property” or **“MFR”** means any Assessor’s Parcel of Residential Property upon which a building or buildings comprised of attached Residential Units sharing at least one common wall with another unit are constructed or are intended to be constructed.

“Non-Residential Property” or **“NR”** means all Assessor’s Parcels of Taxable Property for which a building permit(s) was issued for a non-residential use. The Administrator shall make the determination if an Assessor’s Parcel is Non-Residential Property.

“Property Owner’s Association” or **“POA”** means the property owner’s association or homeowner’s association established to maintain certain landscaping within a Tax Zone.

“Proportionately” means for Taxable Property that is: (i) Developed Property, that the ratio of the actual Special Tax levy to the Maximum Special Tax is the same for all Parcels of Developed Property, (ii) Approved Property, that the ratio of the actual Special Tax levy to the Maximum Special Tax is the same for all Parcels of Approved Property, and (iii) Undeveloped Property that the ratio of the actual Special Tax levy per acre to the Maximum Special Tax per acre is the same for all Parcels of Undeveloped Property.

“Residential Unit” or **“RU”** means a residential unit that is used or intended to be used as a domicile by one or more persons, as determined by the Administrator.

“Residential Property” means all Assessor’s Parcels of Taxable Property upon which Residential Units have been constructed or are intended to be constructed or for which building permits have been or may be issued for purposes of constructing one or more Residential Units.

“Service(s)” means services permitted under the Mello-Roos Community Facilities Act of 1982 including, without limitation, those services authorized to be funded by CFD No. 2016-3 as set forth in the documents adopted by the City Council at the time the CFD was formed.

“Single Family Residential Property” or “SFR” means any Residential Property other than Multi-Family Residential Property on an Assessor’s Parcel.

“Special Tax(es)” means the Special Tax A or Special Tax B (Contingent) to be levied in each Fiscal Year on each Assessor’s Parcel of Taxable Property.

“Special Tax A” means the annual special tax to be levied in each Fiscal Year on each Assessor’s Parcel of Taxable Property to fund the Special Tax A Requirement.

“Special Tax A Requirement” means for each Tax Zone that amount to be collected in any Fiscal Year to pay for certain costs as required to meet the needs of such Tax Zone within CFD No. 2016-3 in both the current Fiscal Year and the next Fiscal Year. The costs to be covered shall be the direct costs for maintenance services including but not limited to (i) maintenance and lighting of parks, parkways, streets, roads and open space, (ii) maintenance and operation of water quality improvements, (iii) public street sweeping, (iv) fund an operating reserve for the costs of Services as determined by the Administrator, and (v) Administrative Expenses. Under no circumstances shall the Special Tax A Requirement include funds for Bonds.

“Special Tax B (Contingent)” means the annual special tax to be levied in each Fiscal Year on each Assessor’s Parcel of Taxable Property to fund the Special Tax B (Contingent) Requirement, if required.

“Special Tax B (Contingent) Requirement” means that amount required in any Fiscal Year, if the POA is unable to maintain the Contingent Service(s) to: (i) pay the costs of Contingent Services incurred or otherwise payable in the Calendar Year commencing in such Fiscal Year; (ii) fund an operating reserve for the costs of Contingent Services as determined by the Administrator; less a credit for funds available to reduce the annual Special Tax B (Contingent) levy as determined by the Administrator.

“Taxable Property” means all Assessor’s Parcels within CFD No. 2016-3, which are not Exempt Property.

“Taxable Unit” means a Residential Unit, Building Square Footage, or an Acre.

“Tax Zone” means a mutually exclusive geographic area, within which particular Special Tax rates may be levied pursuant to this Rate and Method of Apportionment of Special Tax. Appendix C identifies the Tax Zone in CFD No. 2016-3 at formation; additional Tax Zones may be created when property is annexed into the CFD.

“Tax Zone 1” means the specific geographic area identified on the CFD Boundary Map as Tax Zone 1.

"Tract(s)" means an area of land; i) within a subdivision identified by a particular tract number on a Final Map, ii) identified within a Parcel Map; or iii) identified within lot line adjustment approved for subdivision.

"Undeveloped Property" means, for each Fiscal Year, all Taxable Property not classified as Developed Property or Approved Property.

B. ASSIGNMENT TO LAND USE CATEGORIES

For each Fiscal Year, all Assessor's Parcels of Taxable Property within CFD No. 2016-3 shall be classified as Developed Property, Approved Property, or Undeveloped Property, and shall be subject to the levy of Special Taxes as determined pursuant to Sections C and D below. Assessor's Parcels of Developed Property and Approved Property shall be classified as either Residential Property or Non-Residential Property. Residential Property shall be further classified as Single Family Residential Property or Multi-Family Residential Property and the number of Residential Units shall be determined by the Administrator.

C. MAXIMUM SPECIAL TAX RATES

For purposes of determining the applicable Maximum Special Tax for Assessor's Parcels of Developed Property and Approved Property which are classified as Residential Property, all such Assessor's Parcels shall be assigned the number of Residential Unit(s) constructed or to be constructed thereon as specified in or shown on the building permit(s) issued or Final Map as determined by the Administrator. Once a single family attached or multi-family building or buildings have been built on an Assessor's Parcel, the Administrator shall determine the actual number of Residential Units contained within the building or buildings, and the Special Tax A levied against the Assessor's Parcel in the next Fiscal Year shall be calculated by multiplying the actual number of Residential Units by the Maximum Special Tax per Residential Unit for the Tax Zone below or as included in Appendix A as each annexation occurs.

For purposes of determining the applicable Maximum Special Tax for Assessor's Parcels of Developed Property and Approved Property which are classified as Non-Residential Property, all such Assessor's Parcels shall be assigned the number of Building Square Footage or Acres as shown on the Final Map as determined by the Administrator. Once the Administrator determines the actual number of Building Square Footage or Acres for the Assessor's Parcels, the Special Tax A levied against the Assessor's Parcel in the next Fiscal Year shall be calculated by multiplying the number of Building Square Footage or Acres by the Maximum Special Tax per Taxable Unit identified for the applicable Tax Zone below or as included in Appendix A as each annexation occurs.

1. Special Tax A

a. Developed Property

(i) Maximum Special Tax A

The Maximum Special Tax A for each Assessor's Parcel of Developed Property shall be specific to each Tax Zone within the CFD. When additional property is annexed

into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax A for the Tax Zones annexed and included in Appendix A. The Maximum Special Tax A for Developed Property for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 1 below:

**TABLE 1
MAXIMUM SPECIAL TAX A RATES
DEVELOPED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax A
1	TR 36533	Single Family Residential Property	RU	\$202

(ii) Increase in the Maximum Special Tax A

On each July 1, commencing on July 1, 2018 the Maximum Special Tax A for Developed Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

(iii) Multiple Land Use Categories

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Category. The Maximum Special Tax A that can be levied on an Assessor's Parcel shall be the sum of the Maximum Special Tax A that can be levied for each Land Use Category located on that Assessor's Parcel. For an Assessor's Parcel that contains more than one land use, the Acreage of such Assessor's Parcel shall be allocated to each type of property based on the amount of Acreage designated for each land use as determined by reference to the site plan approved for such Assessor's Parcel. The Administrator's allocation to each type of property shall be final.

b. Approved Property

The Maximum Special Tax A for each Assessor's Parcel of Approved Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax A for the Tax Zone annexed and included in Appendix A. The Maximum Special Tax A for Approved Property for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 2 below:

TABLE 2
MAXIMUM SPECIAL TAX A RATES
APPROVED PROPERTY

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax A
1	TR 36533	Single Family Residential Property	RU	\$202

On each July 1, commencing on July 1, 2018 the Maximum Special Tax A for Approved Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

c. Undeveloped Property

The Maximum Special Tax A for each Assessor's Parcel of Undeveloped Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax A for the Tax Zone annexed and included in Appendix A. The Maximum Special Tax A for Undeveloped Property for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 3 below:

TABLE 3
MAXIMUM SPECIAL TAX A RATES
UNDEVELOPED PROPERTY

Tax Zone	Tracts	Taxable Unit	Maximum Special Tax A
1	TR 36533	Acre	\$638

On each July 1, commencing on July 1, 2018 the Maximum Special Tax A for Undeveloped Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

2. Special Tax B (Contingent)

The City Council shall levy Special Tax B (Contingent) only in the event the POA defaults in its obligation to maintain the Contingent Services, which default shall be deemed to have occurred, as determined by the Administrator, in each of the following circumstances:

- (a) The POA files for bankruptcy;
- (b) The POA is dissolved;
- (c) The POA ceases to levy annual assessments for the Contingent Services; or
- (d) The POA fails to provide the Contingent Services at the same level as the City provides similar services and maintains similar improvements throughout the City and within ninety (90) days after written notice from the City, or such longer period permitted by the City Manager, fails to remedy the deficiency to the reasonable satisfaction of the City Council.

a. Developed Property

(i) Maximum Special Tax B (Contingent)

The Maximum Special Tax B (Contingent) for each Assessor's Parcel of Taxable Property is shown in Table 4 and shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax B (Contingent) for the Tax Zones annexed and included in Appendix A. The Maximum Special Tax B (Contingent) for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 4 below:

**TABLE 4
MAXIMUM SPECIAL TAX B (CONTINGENT) RATES
DEVELOPED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax B (Contingent)
1	TR 36533	Single Family Residential Property	RU	\$366

(ii) Increase in the Maximum Special Tax B (Contingent)

On each July 1, commencing on July 1, 2018 the Maximum Special Tax B (Contingent) for Developed Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

(iii) Multiple Land Use Categories

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Category. The Maximum Special Tax B (Contingent) that can be levied on an Assessor's Parcel shall be the sum of the Maximum Special Tax B (Contingent) that can be levied for each Land Use Category located on that Assessor's Parcel. For an Assessor's Parcel that contains more than one land use, the Acreage of such Assessor's Parcel shall be allocated to each type of property based on the amount of Acreage designated for each land use as determined by reference to the site plan approved for such Assessor's Parcel. The Administrator's allocation to each type of property shall be final.

b. Approved Property

The Maximum Special Tax B (Contingent) for each Assessor's Parcel of Approved Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax B (Contingent) for the Tax Zone annexed and included

in Appendix A. The Maximum Special Tax B (Contingent) for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 5 below:

**TABLE 5
MAXIMUM SPECIAL TAX B (CONTINGENT) RATES
APPROVED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax B (Contingent)
1	TR 36533	Single Family Residential Property	RU	\$366

On each July 1, commencing on July 1, 2018 the Maximum Special Tax B (Contingent) for Approved Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

c. Undeveloped Property

The Maximum Special Tax B (Contingent) for each Assessor's Parcel of Undeveloped Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax B (Contingent) for the Tax Zone annexed and included in Appendix A. The Maximum Special Tax B (Contingent) for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 6 below:

**TABLE 6
MAXIMUM SPECIAL TAX B (CONTINGENT) RATES
UNDEVELOPED PROPERTY**

Tax Zone	Tracts	Taxable Unit	Maximum Special Tax B (Contingent)
1	TR 36533	Acre	\$1,156

On each July 1, commencing on July 1, 2018 the Maximum Special Tax B (Contingent) for Undeveloped Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

D. METHOD OF APPORTIONMENT OF ANNUAL SPECIAL TAX

1. Special Tax A

Commencing with Fiscal Year 2017-18 and for each following Fiscal Year, the City Council shall determine the Special Tax A Requirement for each Tax Zone and shall levy the Special Tax A on all Assessor's Parcels of Taxable Property within such Tax Zone until the aggregate

amount of Special Tax A equals the Special Tax A Requirement for such Tax Zone. The Special Tax A shall be levied for each Fiscal Year as follows:

First: The Special Tax A shall be levied Proportionately on all Assessor's Parcels of Developed Property up to 100% of the applicable Maximum Special Tax A to satisfy the Special Tax A Requirement;

Second: If additional moneys are needed to satisfy the Special Tax A Requirement after the first step has been completed, the Special Tax A shall be levied Proportionately on each Parcel of Approved Property at up to 100% of the Maximum Special Tax A for Approved Property;

Third: If additional monies are needed to satisfy the Special Tax A Requirement after the first two steps has been completed, the Special Tax A shall be levied Proportionately on all Assessor's Parcels of Undeveloped Property up to 100% of the Maximum Special Tax A for Undeveloped Property.

2. Special Tax B (Contingent)

Commencing with the first Fiscal Year in which Special Tax B (Contingent) is authorized to be levied and for each following Fiscal Year, the City Council shall determine the Special Tax B (Contingent) Requirement for each Tax Zone, if any, and shall levy the Special Tax on all Assessor's Parcels of Taxable Property within such Tax Zone until the aggregate amount of Special Tax B (Contingent) equals the Special Tax B (Contingent) Requirement for such Tax Zone. The Special Tax B (Contingent) shall be levied for each Fiscal Year as follows:

First: The Special Tax shall be levied Proportionately on all Assessor's Parcels of Developed Property up to 100% of the applicable Maximum Special Tax B (Contingent) to satisfy the Special Tax B (Contingent) Requirement;

Second: If additional moneys are needed to satisfy the Special Tax B (Contingent) Requirement after the first step has been completed, the Special Tax B (Contingent) shall be levied Proportionately on each Parcel of Approved Property at up to 100% of the Maximum Special Tax B (Contingent) for Approved Property;

Third: If additional monies are needed to satisfy the Special Tax B (Contingent) Requirement after the first two steps has been completed, the Special Tax B (Contingent) shall be levied Proportionately on all Assessor's Parcels of Undeveloped Property up to 100% of the Maximum Special Tax B (Contingent) for Undeveloped Property.

E. FUTURE ANNEXATIONS

It is anticipated that additional properties will be annexed to CFD No. 2016-3 from time to time. As each annexation is proposed, an analysis will be prepared to determine the annual cost for providing Services to such properties. Based on this analysis, any properties to be annexed, pursuant to California Government Code section 53339 et seq. will be assigned the appropriate Maximum Special Tax rates for the Tax Zone when annexed and included in Appendix A.

F. DURATION OF SPECIAL TAX

For each Fiscal Year, the Special Tax A shall be levied as long as the Services are being provided.

For each Fiscal Year, the Special Tax B (Contingent) shall be levied as long as the Contingent Services are being provided.

G. EXEMPTIONS

The City shall classify as Exempt Property within CFD No. 2016-3, all Assessor's; (i) which are owned by, irrevocably offered for dedication, encumbered by or restricted in use by any public entity; (ii) with public or utility easements making impractical their utilization for other than the purposes set forth in the easement; (iii) which are privately owned but are encumbered by or restricted solely for public uses; or (iv) which are in use in the performance of a public function as determined by the Administrator.

H. APPEALS

Any property owner claiming that the amount or application of the Special Taxes are not correct may file a written notice of appeal with the City not later than twelve months after having paid the first installment of the Special Tax that is disputed. The Administrator of CFD No. 2016-3 shall promptly review the appeal, and if necessary, meet with the property owner, consider written and oral evidence regarding the amount of the Special Tax, and rule on the appeal. If the Administrator's decision requires that the Special Tax for an Assessor's Parcel be modified or changed in favor of the property owner, a cash refund shall not be made, but an adjustment shall be made to the Special Tax on that Assessor's Parcel in the subsequent Fiscal Year(s).

I. MANNER OF COLLECTION

The Special Tax shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided, however, that CFD No. 2016-3 may collect the Special Tax at a different time or in a different manner if necessary to meet its financial obligations.

APPENDIX A
CITY OF CORONA
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
COST ESTIMATE

Special Tax A Services - The estimate breaks down the costs of providing one year's maintenance services for Fiscal Year 2021-22. These services are being funded by the levy of Special Tax A for Community Facilities District No. 2016-3.

TAX ZONE 26 (SERVICES)
TR 36605 and TR 36608

Item	Description	Estimated Cost
1	Landscaping	\$6,800
2	Lighting	\$3,719
3	Streets	\$4,857
4	Drainage	\$3,624
5	Parks	\$5,103
6	Graffiti	\$101
7	Reserves	\$1,584
8	Admin	\$3,630
Total		\$29,418

Special Tax B Contingent Services – There are no services being funded by the levy of Special Tax B (Contingent) for Community Facilities District No. 2016-3.

**MAXIMUM SPECIAL TAXES ASSIGNED TO EACH TAX ZONE
DEVELOPED PROPERTY**

Tax Zone	Fiscal Year Included	Tract/APN	No. of Taxable Units	Land Use Category	Taxable Unit	Maximum Special Tax A	Maximum Special Tax B (Contingent)	Subdivider
1	2017-18	36533	103	SFR	RU	\$202	\$366	Mari Girgis, LLC
2	2017-18	36427	146	MFR	RU	\$368	\$14	LCG Harrington, LLC
3	2017-18	PM 37167	2.50	NR	Acre	\$953	\$0	Third Street Annex, LLC
4	2017-18	115210025	3.74	NR	Acre	\$2,608	\$0	LBA RV-Company XX, LP
6	2018-19	TTM 31373	26	SFR	RU	\$1,470	\$9	Yahnes El Kaseer, LLC
7	2018-19	TTM 33135	62	SFR	RU	\$378	\$425	Knowleton Communities, LLC
8	2019-20	TTM 37114	5	SFR	RU	\$715	\$0	Karen Parker
9	2019-20	PM 27203	4	SFR	RU	\$976	\$0	William Meister
10	2019-20	PM 36873	2	SFR	RU	\$832	\$0	Kenneth Ibbetson
11	2019-20	TR 36701	12	SFR	RU	\$315	\$84	MVV, LP
12	2019-20	PM 30844	2	SFR	RU	\$905	\$0	Padilla Family Trust
13	2019-20	LLA 2018-003	32.00	NR	Acre	\$578	\$0	Corona Industrial Park, LLC
14	2019-20	TPM 37521 TPM 37765	2	SFR	RU	\$765	\$0	Louk, Hobbs, and Armstrong
15	2019-20	PM 37357	1	SFR	RU	\$1,080	\$0	Northpoint Evangelical Church
16	2020-21	LLA 18-002	4.99	NR	Acre	\$609	\$0	Fitness International, LLC
17	2020-21	TR 37565	3.48	NR	Acre	\$4,459	\$0	Corona Regional Medical Center, LLC
18	2020-21	PM 37746	4.08	NR	Acre	\$1,131	\$0	RCTC
19	2020-21	TR 37719	23	SFR	RU	\$1,057	\$0	EB Corona, LLC
20	2020-21	TTM 37788	11.70	NR	Acre	\$979	\$1,132	Bedford Marketplace, LLC
21	2020-21	115-090-008	3.05	NR	Acre	\$2,347	\$0	Christopher Ranch
22	2020-21	TTM 37747	3.38	NR	Acre	\$1,965	\$756	CI Rancho II, LLC
23	2021-22	TTM 36634	11	SFR	RU	\$686	\$66	Poppybend, LLC
24	2021-22	PM 37763	4.36	NR	Acre	\$687	\$72	West Corona Freeway Center Owner LLC
25	2021-22	PM 38461	4.12	NR	Acre	\$488	\$0	Promenade Realty Partners, LLC
26	2021-22	TR 36605 TR 36608	27	SFR	RU	\$1,090	\$0	D.R. Horton
27	2021-22	PM 14363	1.14	NR	Acre	\$1,313	\$0	HI Corona, LLC
28	2021-22	PM 37334	4.98	NR	Acre	\$1,465	\$0	Rodolfo M. & Maria Franco
29	2021-22	TR 36821	5	SFR	RU	\$1,320	\$0	Junfei Dai
30	2021-22	PM 36667	4	SFR	RU	\$1,671	\$0	Poppybend, LLC
31	2021-22	PM 37608	71.72	NR	Acre	\$267	\$0	Latitude Business Park, LLC & Latitude Business Park II, LLC

**MAXIMUM SPECIAL TAXES ASSIGNED TO EACH TAX ZONE
UNDEVELOPED PROPERTY**

Tax Zone	Fiscal Year Included	Tract/APN	No. of Taxable Units	Taxable Unit	Maximum Special Tax A	Maximum Special Tax B (Contingent)	Subdivider
1	2017-18	36533	32.62	Acres	\$638	\$1,156	Mari Girgis, LLC
2	2017-18	36427	8.30	Acres	\$6,533	\$247	LCG Harrington, LLC
3	2017-18	PM 37167	2.50	Acres	\$953	\$0	Third Street Annex, LLC
4	2017-18	115210025	3.74	Acres	\$2,608	\$0	LBA RV-Company XX, LP
6	2018-19	TTM 31373	17.92	Acres	\$2,112	\$12	Yahnes El Kaseer, LLC
7	2018-19	TTM 33135	16.09	Acres	\$1,454	\$1,635	Knowleton Communities, LLC
8	2019-20	TTM 37114	2.99	Acres	\$1,195	\$0	Karen Parker
9	2019-20	PM 37203	1.10	Acres	\$3,550	\$0	William Meister
10	2019-20	PM 36873	1.40	Acres	\$1,187	\$0	Kenneth Ibbetson
11	2019-20	TR 36701	3.95	Acres	\$957	\$255	MVV, LP
12	2019-20	PM 30844	2.15	Acres	\$1,809	\$0	Padilla Family Trust
13	2019-20	LLA 2018-003	32.00	Acres	\$578	\$0	Corona Industrial Park, LLC
14	2019-20	TPM 37521 TPM 37765	1.78	Acres	\$859	\$0	Louk, Hobbs, and Armstrong
15	2019-20	PM 37357	1	Acres	\$1,776	\$0	Northpoint Evangelical Church
16	2020-21	LLA 18-002	4.99	Acres	\$609	\$0	Fitness International, LLC
17	2020-21	TR 37565	3.48	Acres	\$4,459	\$0	Corona Regional Medical Center, LLC
18	2020-21	PM 37746	4.08	Acres	\$1,131	\$0	RCTC
19	2020-21	TR 37719	3.74	Acres	\$6,490	\$0	EB Corona
20	2020-21	TTM 37788	11.70	Acres	\$979	\$1,132	Bedford Marketplace, LLC
21	2020-21	115-090-008	3.05	Acres	\$2,347	\$0	Christopher Ranch
22	2020-21	TTM 37747	3.38	Acres	\$1,965	\$756	CI Rancho II, LLC
23	2021-22	TTM 36634	2.33	Acres	\$3,237	\$311	Poppybend, LLC
24	2021-22	PM 37763	4.36	Acres	\$687	\$72	West Corona Freeway Center Owner LLC
25	2021-22	PM 38461	4.12	Acres	\$488	\$0	Promenade Realty Partners, LLC
26	2021-22	TR 36605 TR 36608	5.52	Acres	\$5,329	\$0	D.R. Horton
27	2021-22	PM 14363	1.14	Acres	\$1,313	\$0	HI Corona, LLC
28	2021-22	PM 37334	4.98	Acres	\$1,465	\$0	Rudy M. & Maria Franco
29	2021-22	TR 36821	4.90	Acres	\$1,347	\$0	Junfei Dai
30	2021-22	PM 36667	1.50	Acres	\$4,457	\$0	Poppybend, LLC
31	2021-22	PM 37608	71.72	Acres	\$267	\$0	Latitude Business Park, LLC & Latitude Business Park II, LLC

ESCALATION OF MAXIMUM SPECIAL TAXES

On each July 1, commencing on July 1, 2018 the Maximum Special Tax shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

APPENDIX B
CITY OF CORONA
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
DESCRIPTION OF AUTHORIZED SERVICES

The services which may be funded with proceeds of the special tax of CFD No. 2016-3, as provided by Section 53313 of the Act, will include all costs attributable to maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use. These services including the following:

(a) maintenance and lighting of parks, parkways, streets, roads and open space, which maintenance and lighting services may include, without limitation, furnishing of electrical power to street lights and traffic signals; repair and replacement of damaged or inoperative light bulbs, fixtures and standards; maintenance (including irrigation and replacement) of landscaping vegetation situated on or adjacent to parks, parkways, streets, roads and open space; maintenance and repair of irrigation facilities; maintenance of public signage; graffiti removal from and maintenance and repair of public structures situated on parks, parkways, streets, roads and open space; maintenance and repair of playground or recreation program equipment or facilities situated on any park; and

(b) maintenance and operation of water quality improvements which include storm drainage and flood protection facilities, including, without limitation, drainage inlets, catch basin inserts, infiltration basins, flood control channels, fossil fuel filters, and similar facilities. Maintenance services may include but is not limited to the repair, removal or replacement of all or part of any of the water quality improvements, fossil fuel filters within the public right-of-way including the removal of petroleum hydrocarbons and other pollutants from water runoff, or appurtenant facilities, clearing of inlets and outlets; erosion repairs; and cleanup to improvements, and other items necessary for the maintenance and servicing of the water quality basin improvements within flood control channel improvements; and

(c) public street sweeping, on the segments of the arterials within the boundaries of CFD No. 2016-3; as well as local roads within residential subdivisions located within CFD No. 2016-3; and any portions adjacent to the properties within CFD No. 2016-3; and

In addition to payment of the cost and expense of the forgoing services, proceeds of the special tax may be expended to pay "Administrative Expenses," as said term is defined in the Rate and Method of Apportionment.

The above services may be financed by proceeds of the special tax of CFD No. 2016-3 only to the extent that they are in addition to those provided in the territory of CFD No. 2016-3 before CFD No. 2016-3 was created or those provided in the territory annexed to CFD No. 2016-3 before the territory was annexed, as applicable.

APPENDIX C

CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES) PROPOSED BOUNDARIES AND POTENTIAL ANNEXATION AREA BOUNDARIES

SHEET 1 OF 1 SHEET

THIS MAP SHOWS THE BOUNDARIES OF AREAS TO BE ANNEXED TO COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES), OF THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

THE BOUNDARIES OF WHICH COMMUNITY FACILITIES DISTRICT ARE SHOWN AND DESCRIBED ON THE MAP THEREOF WHICH WAS PREVIOUSLY RECORDED ON JANUARY 28, 2016 IN BOOK 79 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICT AT PAGE 26 AND AS INSTRUMENT NO. 2016-0034624 IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

ANNEXATION MAP NO. 26
COMMUNITY FACILITIES DISTRICT NO. 2016-3
(MAINTENANCE SERVICES)
CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

FILED THIS _____ DAY OF _____, 20____ AT THE HOUR OF _____ O'CLOCK _____ M IN BOOK _____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AT PAGE _____ IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

FEE: _____ NO.: _____
PETER ALDANA, ASSESSOR, COUNTY CLERK, RECORDER

BY: _____ DEPUTY

LEGEND

- CITY BOUNDARY
- ANNEXATION AREA BOUNDARY
- PARCEL BOUNDARY
- XXX-XXX-XXX ASSESSOR'S PARCEL NUMBER
- (26) TAX ZONE

THIS ANNEXATION MAP CORRECTLY SHOWS THE LOT OR PARCEL OF LAND INCLUDED WITHIN THE BOUNDARIES OF THE COMMUNITY FACILITIES DISTRICT. FOR DETAILS CONCERNING THE LINES AND DIMENSIONS OF LOTS OR PARCELS, REFER TO THE COUNTY ASSESSOR MAPS FOR FISCAL YEAR 2020-21.

SPICER CONSULTING
S R O U P

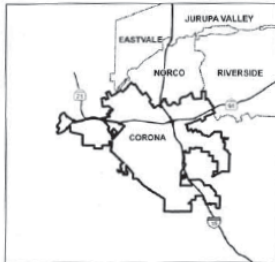
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I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE PROPOSED BOUNDARIES OF POTENTIAL ANNEXATION AREA (MAINTENANCE SERVICES), CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF CORONA AT A REGULAR MEETING THEREOF, HELD ON 2 DAY OF November, 2014, BY RESOLUTION NO. 2014-163

[Signature]
CITY CLERK
CITY OF CORONA

FILED IN THE OFFICE OF THE CITY CLERK, CITY OF CORONA, THIS 3 DAY OF November, 2014.

[Signature]
CITY CLERK
CITY OF CORONA



BOUNDARIES - POTENTIAL ANNEXATION AREA
COMMUNITY FACILITIES DISTRICT NO. 2016-3
(MAINTENANCE SERVICES)
CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

RECORDED THIS 3rd DAY OF November, 2014, AT THE HOUR OF 4:40 O'CLOCK P.M. IN BOOK 80, PAGE 23, OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

FEE: \$10.00 NO. 2014-0494013
PETER ALDANA, ASSESSOR, COUNTY CLERK, RECORDER

BY: [Signature]
DEPUTY



LEGEND
— ANNEXATION AREA BOUNDARY





Staff Report

File #: 21-0994

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Finance Department

SUBJECT:

Resolution declaring the City's intention to annex territory to Community Facilities District No. 2016-3 (Maintenance Services) and adopting a map of the area proposed to be annexed thereto (Annexation No. 31).

EXECUTIVE SUMMARY:

The property owner requests annexation into the City's Community Facilities District No. 2016-3 (Maintenance Services) to provide maintenance services for public facilities within and for the benefit of the proposed development.

RECOMMENDED ACTION:

That the City Council adopt Resolution No. 2021-125, declaring intention to annex territory to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, and adopting a map of the area proposed to be annexed thereto (Annexation No. 31).

BACKGROUND & HISTORY:

On December 7, 2016, the City Council approved Resolution No. 2016-112 establishing Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona ("CFD No. 2016-3" or "District") for the purpose of levying special taxes on parcels of taxable property to provide certain services which are necessary to meet increased demands placed upon the City.

Development projects are subject to conditions of approval that require projects to form or annex into a maintenance district. These districts apply an annual fee or special tax upon properties within the District, which provide the revenue to offset the cost of maintenance of the public improvements necessary to serve the development.

Latitude Business Park LLC and Latitude Business Park II, LLC ("Owners") have submitted a Petition

to the City requesting that several parcels be annexed to CFD No. 2016-3. The Petition, including the waiver and consent by the Owner, is on file in the City Clerk's office and authorizes the City to: (1) hold the election and declare election results; (2) shorten election time requirements; (3) waive analysis and arguments; and (4) waive all noticing requirements relating to the conduct of the election immediately following the public hearing.

ANALYSIS:

The development is comprised of an empty lot located on the northwest corner of Tom Barnes Road and Temescal Canyon Road. The gross acreage for the entire property in the boundary area is approximately 72.86 acres, as shown in Exhibit "A" of Resolution No. 2021-125 ("Subject Parcel"). The Owner proposes to construct 15 industrial and warehouse buildings.

As a condition of approval, the Subject Parcel is required to be annexed into CFD No. 2016-3 in order to pay for the maintenance of street lighting, street maintenance, and drainage.

Should Resolution No. 2021-125 be approved, and the annexation process proceed, a public hearing of the proposed annexation shall be held on December 15, 2021.

FINANCIAL IMPACT:

The proposed annexation will establish Tax Zone 31 within the CFD No. 2016-3. The Subject Parcel will be assessed as a commercial unit and will benefit from the existing and future street lighting, street maintenance, and drainage. This annexation will yield an estimate of \$19,184 annually in special assessment revenue for the District at build-out as planned.

The total annexation cost will be paid by the Owner.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action merely declares the City's intent to annex the Subject Parcel to CFD No. 2016-3 and there is no possibility that adopting this resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: LIEN-CHI CANTUBA, FINANCIAL ANALYST III

REVIEWED BY: KIM SITTON, FINANCE DIRECTOR

Attachments:

1. Exhibit 1 - CFD No. 2016-3 Annexation No. 31 Project Map
2. Exhibit 2 - Resolution No. 2021-125

PROJECT MAP
CFD NO. 2016-3 (MAINTENANCE SERVICES)
ANNEXATION NO. 31



SPICER CONSULTING
GROUP



RESOLUTION NO. 2021-125

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA DECLARING INTENTION TO ANNEX TERRITORY TO COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES) OF THE CITY OF CORONA, AND ADOPTING A MAP OF THE AREA PROPOSED TO BE ANNEXED THERETO (ANNEXATION NO. 31)

WHEREAS, the City Council (the "City Council") of the City of Corona (the "City") has heretofore initiated proceedings for the establishment of Community Facilities District No. 2016-3 of the City of Corona, County of Riverside, State of California (the "Community Facilities District") for the purpose of levying special taxes on parcels of taxable property therein for the purpose of providing certain services which are necessary to meet increased demands placed upon the City as a result of the development of said real property; and

WHEREAS, the City has received signed petitions from the owner and developer of a certain parcel of property requesting that such parcel be annexed to the Community Facilities District, and agreeing to the annual levy of special taxes on said property sufficient to pay the costs of such services and costs incidental thereto; and

WHEREAS, the City Council is authorized by Article 3.5 (commencing with Section 53339) of Chapter 2.5 of Part 1 of Division 2 of Title 5 of the Government Code, commonly known as the "Mello-Roos Community Facilities Act of 1982," (the "Act") to annex territory to the Community Facilities District by complying with the procedures set forth in said Article 3.5.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:

SECTION 1. Intention. The City Council declares its intention to conduct proceedings pursuant to Article 3.5 of the Act for the annexation to the Community Facilities District of the territory described in Exhibit "A" attached hereto. The City Council determines that the public convenience and necessity require that such territory be annexed to the Community Facilities District.

SECTION 2. Name of District. The name of the existing Community Facilities District is Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California.

SECTION 3. Description of Territory Proposed to be Annexed; Annexation Map. The territory which is included in the Community Facilities District is described on the map of the Community Facilities District recorded on November 7, 2016 in Book 80 of Maps of

Assessment and Community Facilities Districts, page 24, and as Instrument No. 2016-0494014; and the map entitled Annexation Map No. 1 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on March 6, 2017 in Book 80 of Maps of Assessment and Community Facilities Districts, at page 45, and as Instrument No. 2017-0091538; the map entitled Annexation Map No. 2 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 25, 2017 in Book 80 of Maps of Assessment and Community Facilities Districts, at page 61, and as Instrument No. 2017-0164857; the map entitled Annexation Map No. 3 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 25, 2017 in Book 80 of Maps of Assessment and Community Facilities Districts, at page 60, and as Instrument No. 2017-0164856; the map entitled Annexation Map No. 4 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 11, 2018 in Book 82 of Maps of Assessment and Community Facilities Districts, at page 33, and as Instrument No. 2018-0139326; the map entitled Annexation Map No. 5 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on May 9, 2018 in Book 82 of Maps of Assessment and Community Facilities Districts, at page 46, and as Instrument No. 2018-0180894; the map entitled Annexation Map No. 6 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on August 8, 2018 in Book 82 of Maps of Assessment and Community Facilities Districts, at page 95, and as Instrument No. 2018-0318806; the map entitled Annexation Map No. 7 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 12, 2018 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 3, and as Instrument No. 2018-0366312; the map entitled Annexation Map No. 8 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on October 24, 2018 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 19, and as Instrument No. 2018-0420213; the map entitled Annexation Map No. 9 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on December 12, 2018 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 36, and as Instrument No. 2018-0483574; the map entitled Annexation Map No. 10 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 10, 2019 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 71, and as Instrument No. 2019-0121272; the map entitled Annexation Map No. 11 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 10, 2019 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 72, and as Instrument No. 2019-0121273; the map entitled Annexation Map No. 12 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 10, 2019 in Book 83 of Maps of Assessment and Community Facilities Districts, at page 73, and as Instrument No. 2019-0121274; the map entitled Annexation Map No. 13 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on October 31, 2019 in Book 84 of Maps of Assessment and Community Facilities Districts, at page 47, and as Instrument No. 2019-0443969; the map entitled Annexation Map No. 14 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on October 23, 2019 in Book 84 of Maps of Assessment and Community Facilities Districts, at page 40, and as Instrument No. 2019-0428088; the map entitled Annexation Map No. 15 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on February 26, 2020 in Book 84 of Maps of Assessment and Community Facilities Districts, at page 97, and as Instrument No. 2020-0087079; the map entitled Annexation Map No. 16 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on July 8, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 44, and as

Instrument No. 2020-0296754; the map entitled Annexation Map No. 17 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on June 25, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 39, and as Instrument No. 2020-0274667; the map entitled Annexation Map No. 19 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 23, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 61, and as Instrument No. 2020-0451769; the map entitled Annexation Map No. 20 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 23, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 62, and as Instrument No. 2020-0451770; the map entitled Annexation Map No. 21 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on November 12, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 93, and as Instrument No. 2020-0562417; the map entitled Annexation Map No. 22 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on November 12, 2020 in Book 85 of Maps of Assessment and Community Facilities Districts, at page 94, and as Instrument No. 2020-0562418; the map entitled Annexation Map No. 23 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 7, 2021 in Book 86 of Maps of Assessment and Community Facilities Districts, at page 62, and as Instrument No. 2021-0246658; the map entitled Annexation Map No. 24 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on March 24, 2021 in Book 86 of Maps of Assessment and Community Facilities Districts, at page 50, and as Instrument No. 2021-0186140; the map entitled Annexation Map No. 25 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on April 28, 2021 in Book 86 of Maps of Assessment and Community Facilities Districts, at page 94, and as Instrument No. 2021-0264410; the map entitled Annexation Map No. 27 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on July 28, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 32, and as Instrument No. 2021-0450034; the map entitled Annexation Map No. 28 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 22, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 68, and as Instrument No. 2021-2021-0565136; the map entitled Annexation Map No. 29 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on August 5, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 43, and as Instrument No. 2021-0469342; and the map entitled Annexation Map No. 30 of Community Facilities District No. 2016-3 (Maintenance Services) recorded on September 8, 2021 in Book 87 of Maps of Assessment and Community Facilities Districts, at page 59, and as Instrument No. 2021-0535299 in the official records of the County of Riverside. The territory proposed to be annexed to the Community Facilities District is described in Exhibit "A" attached hereto and by this reference made a part hereof. Such territory is also shown and described on the map thereof entitled "Annexation Map No. 31, Community Facilities District No. 2016-3 (Maintenance Services) City of Corona, County of Riverside, State of California," which is on file with the City Clerk (the "Annexation Map").

SECTION 4. Types of Services, Incidental Expenses; Plan for Providing Services. The Community Facilities District shall provide and finance the annual costs of maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited

to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within and in the area of the Community Facilities District. The Community Facilities District shall also finance cost associated with the determination of the amount of and the levy and collection of special taxes which are levied to provide such services and costs otherwise incurred in order to carry out the authorized purposes of the Community Facilities District.

SECTION 5. Special Taxes. Except where funds are otherwise available, special taxes sufficient to pay the costs of the services described in Section 4 above and the annual administrative expenses of the City and the Community Facilities District in determining, apportioning, levying and collecting such special taxes, shall be annually levied within the territory proposed to be annexed to the Community Facilities District. Pursuant to Section 53340 of the California Government Code, the special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes. However, under no circumstances shall the special tax levied against any parcel subject to the levy of the special tax be increased as a consequence of delinquency or default by the owner of any other parcel or parcels within the Community Facilities District by more than ten (10) percent. The rates and method of apportionment of said special taxes shall be as set forth in Exhibit "B" attached hereto and by this reference made a part hereof. The rate of special tax to be levied on property within the territory proposed to be annexed to the Community Facilities District in any fiscal year to pay the cost of the services described in Section 4 above shall be equal to the rate of special tax which will be levied on all other property within the Community Facilities District to pay the cost of such services in such fiscal year.

SECTION 6. Adoption of Annexation Map. Pursuant to Section 3110.5 of the Streets and Highways Code, the City Council adopts the Annexation Map as the map of the areas proposed to be annexed to the Community Facilities District. Pursuant to Section 3111 of said Code, the City Clerk shall file the original of the Annexation Map in her office and shall file a copy of the Annexation Map with the County Recorder of the County of Riverside no later than 15 days prior to the date of the hearing specified in Section 7 hereof.

SECTION 7. Hearing. A public hearing on the proposed annexation of said territory to the Community Facilities District shall be held at 6:30 p.m. on December 15, 2021 in the Council Chambers of the City Council, 400 South Vicentia, Corona, California.

SECTION 8. Notice. The City Clerk shall publish a notice of the time and place of said hearing as required by Section 53322 of the California Government Code, and shall also give notice of the hearing by first class mail to each registered voter and landowner within the territory proposed to be annexed to the Community Facilities District as prescribed by Section 53339.4 of said Code. Said notice shall be published at least ten (10) days and mailed at least fifteen (15) days before the date of the hearing and shall contain the information required by said Section 53339.4.

SECTION 9. Description of Voting Procedures. The voting procedures to be followed in conducting the election on the proposition with respect to the levy of special taxes within the territory proposed to be annexed to the Community Facilities District to shall be as follows:

(a) If at the time of the close of the public or protest hearing (hereinafter referred to as the "protest hearing") at least 12 persons are registered to vote within the territory proposed to be annexed to the Community Facilities District, the election shall be conducted by the City Clerk, and shall be held on a date selected by the City Council in conformance with the provisions of Section 53326 of the California Government Code ("Section 53326") and pursuant to the applicable provisions of law regulating elections of the City, insofar as they may be applicable, and pursuant to Section 53326 the ballots for the election shall be distributed to the qualified electors of the territory proposed to be annexed to the Community Facilities District by mail with return postage prepaid and the election shall be conducted as a mail ballot election.

(b) If at the time of the close of the protest hearing, and for at least the preceding 90 days, less than 12 persons have been registered to vote within the territory proposed to be annexed to the Community Facilities District, and pursuant to Section 53326, the vote is therefore to be by the landowners of that territory, with each landowner of record at the close of the protest hearing having one vote for each acre or portion of an acre of land that he or she owns, the election shall be conducted by the City Clerk as follows:

(1) The election shall be held on the earliest date following the conclusion of the protest hearing upon which it can be held pursuant to Section 53326 which may be selected by the City Council, or such earlier date as the owners of land within the territory proposed to be annexed to the Community Facilities District and the City Clerk agree and concur is acceptable.

(2) Pursuant to Section 53326, the election may be held earlier than 90 days following the close of the protest hearing if the qualified electors of the territory proposed to be annexed to the Community Facilities District waive the time limits for conducting the election set forth in Section 53326 by unanimous written consent and the City Clerk concurs in such earlier election date as shall be consented to by the qualified electors.

(3) Pursuant to Section 53326, ballots for the election shall be distributed to the qualified electors by the City Clerk by mail with return postage prepaid or by personal service.

(4) Pursuant to applicable provisions of law regulating elections of the City which govern the conduct of mail ballot elections, and Division 4 (commencing with Section 4000) of the Elections Code with respect to elections conducted by mail, the City Clerk shall mail or deliver to each qualified elector an official ballot in a form specified by the City Council in the resolution calling the election, and shall also mail or deliver to all such qualified electors a ballot pamphlet and instructions to voter, including a sample ballot identical in form to the official ballot but identified as a sample ballot, a statement pursuant to Section 9401 of the said Code, an

impartial analysis by the City Attorney pursuant to Section 9280 of the said Code with respect to the ballot proposition contained in the official ballot, ballot arguments and rebuttals, if any, pursuant to Sections 9281 to 9287, inclusive, of said Code, a return identification envelope with prepaid postage thereon addressed to the City Clerk for the return of voted official ballots, and a copy of the resolution adopted by the City Council calling and scheduling the election and the exhibits thereto; provided, however, that such statement, analysis and arguments may be waived with the unanimous consent of all the landowners of the territory proposed to be annexed to the Community Facilities District and shall be so stated in the resolution adopted by the City Council calling the election.

(5) The official ballot to be mailed or delivered by the City Clerk to each landowner-voter shall have printed or typed thereon the name of the landowner-voter and the number of votes to be voted by the landowner-voter and shall have appended to it a certification to be signed by the person voting the official ballot which shall certify that the person signing the certification is the person who voted the official ballot, and if the landowner-voter is other than a natural person, that he or she is and officer of or other person affiliated with the landowner-voter entitled to vote such official ballot, that he or she has been authorized to vote such official ballot on behalf of the landowner-voter, that in voting such official ballot it was his or her intent, as well as the intent of the landowner-voter, to vote all votes to which the landowner-voter is entitled based on its land ownership on the proposition set forth in the official ballot as marked thereon in the voting square opposite such proposition, and further certifying as to the acreage of the landowner-voter's land ownership within the territory proposed to be annexed to the Community Facilities District.

(6) The return identification envelope delivered by the City Clerk to each landowner-voter shall have printed or typed thereon the following: (i) the name of the landowner, (ii) the address of the landowner, (iii) a declaration under penalty of perjury stating that the voter is the landowner or the authorized representative of the landowner entitled to vote the enclosed ballot and is the person whose name appears on the identification envelope, (iv) the printed name and signature of the voter, (v) the address of the voter, (vi) the date of signing and place of execution of said declaration, and (vii) a notice that the envelope contains an official ballot and is to be opened only by the City Clerk.

(7) The information-to-voter form to be mailed or delivered by the City Clerk to the landowner-voters shall inform them that the official ballots shall be returned to the City Clerk properly voted as provided thereon and with the certification appended thereto properly completed and signed in the sealed return identification envelope with the certification thereon completed and signed and all other information to be inserted thereon properly inserted by 5 o'clock p.m. on the date of the election.

(8) Upon receipt of the return identification envelopes which are returned prior to the voting deadline on the date of the election, the City Clerk shall canvass the votes cast in the election, and shall file a statement with the City Council at its next regular meeting regarding the results of such canvass and the election.

The procedures set forth in this section for conducting the election may be modified as the City Council may determine to be necessary or desirable by a resolution subsequently adopted by the City Council.

PASSED, APPROVED AND ADOPTED this 3rd day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 3rd day of November, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November, 2021.

City Clerk of the City of Corona, California

EXHIBIT "A"
LEGAL DESCRIPTION

**ANNEXATION NO. 31 TO
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
CITY OF CORONA, COUNTY OF RIVERSIDE
STATE OF CALIFORNIA**

Real property in the City of Corona, County of Riverside, State of California, described as follows:

TENTATIVE PARCEL MAP NO. 37608, BEING A SUBDIVISION OF THE FOLLOWING:

PARCEL 1: (APN: 279-140-014, 279-140-016)

PARCEL A AS SHOWN ON LOT LINE ADJUSTMENT NO. 18-004, AS EVIDENCED BY DOCUMENT RECORDED DECEMBER 14, 2018 AS INSTRUMENT NO. 2018-0486202 AND RE-RECORDED ON DECEMBER 19, 2018 AS INSTRUMENT NO. 2018-0491144 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF TRACT 3333-R, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 55, PAGE 96 AND 97 OF MAPS, AND A PORTION OF GOVERNMENT LOT 2 OF SECTION 16, TOWNSHIP 4 SOUTH, RANGE 6 WEST, TOGETHER WITH THOSE PORTIONS OF GOVERNMENT LOTS 1 AND 8 OF SECTION 17, TOWNSHIP 4 SOUTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN BEING SHOWN AND DESCRIBED AS PARCEL 3 ON THE LOT LINE ADJUSTMENT NO. LLA 02-005, RECORDED JULY 1, 2002 AS INSTRUMENT NO. 2002-362678 OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 16, AS SHOWN ON RECORD OF SURVEY RECORDED IN BOOK 106, PAGE 61 THROUGH 68 INCLUSIVE OF RECORDS OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

THENCE SOUTH 03°25'58" WEST ALONG THE COMPROMISE LINE BETWEEN SECTION 16 AND SECTION 17, TOWNSHIP 4 SOUTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, A DISTANCE OF 25.07 FEET TO A POINT LYING ON THE SOUTHERLY RIGHT OF WAY OF LIBERTY AVENUE, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE WESTERLY ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 89°14'07" WEST, A DISTANCE OF 1154.82 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTHERLY, LEAVING SAID SOUTHERLY RIGHT OF WAY, SOUTH 00°45'53" EAST, A DISTANCE OF 437.55 FEET; THENCE SOUTH 27°50'47" EAST, A DISTANCE OF 929.71 FEET TO A POINT LYING ON THE NORTHERLY RIGHT OF WAY LINE OF LOT "A" OF PARCEL MAP NO. 29503-1, FILED IN BOOK 203, PAGE 73 THROUGH 77, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

THENCE WESTERLY ALONG SAID NORTHERLY RIGHT OF WAY AND ALONG THE NORTHERLY LINE OF PARCEL 2 OF SAID LOT LINE ADJUSTMENT NO. 02-005, SOUTH 64°04'59" WEST, A DISTANCE OF 467.34 FEET TO THE NORTHERLY RIGHT OF WAY OF ROUTE 15 AS SHOWN ON SAID RECORD OF SURVEY;

THENCE NORTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY OF ROUTE 15, NORTH 41°48'39" WEST, A DISTANCE OF 163.36 FEET;

THENCE NORTH 51°32'18" WEST, A DISTANCE OF 222.31 FEET;

THENCE NORTH 45°04'53" WEST, A DISTANCE OF 179.63 FEET TO A POINT LYING ON THE WEST LINE OF SAID TRACT 3333-R AS SHOWN ON SAID RECORD OF SURVEY;

THENCE NORTHERLY ALONG SAID WEST LINE, NORTH 03°35'44" EAST, A DISTANCE OF 1074.76 FEET TO SAID SOUTHERLY RIGHT OF WAY OF LIBERTY AVENUE;

THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY, NORTH 89°14'07" EAST, A DISTANCE OF 323.04 FEET TO SAID TRUE POINT OF BEGINNING.

EXCEPT THEREFROM THE FOLLOWING LOTS IN BLOCK A OF OVERLOOK ADDITION NO. 3 TO CORONA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES:

LOTS 23 AND 24 AS RESERVED BY OSCAR PULLMAN, ET UX., IN DEED RECORDED JULY 21, 1960, AS DOCUMENT NO. 64521 OF OFFICIAL RECORDS.

LOTS 1 AND 2 AS RESERVED BY RALPH J. KNOX, ET UX., IN DEED RECORDED AUGUST 3, 1960, AS DOCUMENT NO. 68191 OF OFFICIAL RECORDS.

LOTS 20, 21 AND 22 AS RESERVED BY JOSEPH STOMMEL, ET UX., IN DEED RECORDED AUGUST 26, 1960, AS DOCUMENT NO. 75331 OF OFFICIAL RECORDS.

LOTS 27 AND 28 AS RESERVED BY GERTRUDE ARNOLD, IN DEED RECORDED OCTOBER 14, 1960, AS DOCUMENT NO. 88839 OF OFFICIAL RECORDS.

LOTS 100, 107 AND 132 AS RESERVED BY B. EVERETT GOBLE, ET UX., IN DEED RECORDED OCTOBER 14, 1960, AS DOCUMENT NO. 88838 OF OFFICIAL RECORDS.

LOTS 119, 120 AND 121 AS RESERVED BY GUILLERMO ANTONIO GANEY, JR., ET AL., IN DEED RECORDED JANUARY 3, 1961, AS DOCUMENT NO. 64 OF OFFICIAL RECORDS.

LOT 114 AS RESERVED BY VIVIAN W. SCHROEDER, IN DEED RECORDED SEPTEMBER 13, 1961, AS DOCUMENT NO. 78330 OF OFFICIAL RECORDS.7

LOTS 25 AND 26 AS RESERVED BY ALAN L. ALEXANDER, ET UX., IN DEED RECORDED AUGUST 10, 1962, AS DOCUMENT NO. 75196 OF OFFICIAL RECORDS. LOT 41 AS RESERVED BY ANDREW SURINA, ET UX., IN DEED RECORDED SEPTEMBER 17, 1964, AS DOCUMENT NO. 113358 OF OFFICIAL RECORDS.

LOTS 39 AND 40 AS RESERVED BY ANDREW SURINA, ET UX., IN DEED RECORDED OCTOBER 2, 1964, AS DOCUMENT NO. 119820 OF OFFICIAL RECORDS.

LOT 92 AS RESERVED BY KENNETH C. METHERELL, ET UX., IN DEED RECORDED DECEMBER 30, 1964, AS DOCUMENT NO. 154561 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOTS 48 AND 49 ALL OF THE OIL RIGHTS AS RESERVED BY LURA M. WELLS, IN DEED RECORDED SEPTEMBER 6, 1955, AS DOCUMENT NO. 57574 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOTS 124 AND 125 ALL OIL AND GAS RIGHTS, AS RESERVED BY MITCHELL O. DION, ET UX., IN DEED RECORDED FEBRUARY 3, 1958, AS DOCUMENT NO. 7908 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOT 122 GAS AND OIL RIGHTS, AS RESERVED BY FRANK N. CAMP, ET UX., IN DEED RECORDED FEBRUARY 17, 1958, AS DOCUMENT NO. 11756 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOTS 4, 5 AND 44 1/8TH OF ALL OIL OR PETROLEUM PRODUCTS EXTRACTED FROM UNDER SAID LAND, AS RESERVED BY HANSEN HEIGHTS LAND CO., INC., IN DEED RECORDED APRIL 26, 1962, AS DOCUMENT NO. 38358 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOT 88 AN UNDIVIDED 5/6THS OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY THEODORE WILLIAM MARSHALL, ET AL., IN DEED RECORDED AUGUST 9, 1963, AS DOCUMENT NO. 83604 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOT 88 AN UNDIVIDED 1/6TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY THEODORE W. MARSHALL, AS GUARDIAN OF THE PERSON AND ESTATE OF JOHN E. MARSHALL, INCOMPETENT,

IN DEED RECORDED SEPTEMBER 16, 1963, AS DOCUMENT NO. 97170 OF OFFICIAL RECORDS.

PARCEL 1A:

AN EASEMENT FOR DISCHARGE, FLOW, DRAINAGE AND RELEASE OF SURFACE, STORM, GROUND, STREAM, WATERCOURSE AND OTHER WATERS, AS CONTAINED IN THAT CERTAIN EASEMENT AGREEMENT, RECORDED APRIL 9, 2003, AS DOCUMENT NO. 2003-248444 OF OFFICIAL RECORDS.

PARCEL 2: (APN: 279-140-015, 279-140-017, 279-230-044)

PARCEL B AS SHOWN ON LOT LINE ADJUSTMENT NO. 18-004, AS EVIDENCED BY DOCUMENT RECORDED DECEMBER 14, 2018 AS INSTRUMENT NO. 2018-0486202 AND RE-RECORDED ON DECEMBER 19, 2018 AS INSTRUMENT NO. 2018-0491144 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF TRACT 3333-R, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 55, PAGE 96 AND 97 OF MAPS, AND A PORTION OF GOVERNMENT LOT 2 OF SECTION 16, TOWNSHIP 4 SOUTH, RANGE 6 WEST, TOGETHER WITH THOSE PORTIONS OF GOVERNMENT LOTS 1 AND 8 OF SECTION 17, TOWNSHIP 4 SOUTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN BEING SHOWN AND DESCRIBED AS PARCEL 3 ON THE LOT LINE ADJUSTMENT NO. LLA 02-005, RECORDED JULY 1, 2002 AS INSTRUMENT NO. 2002-362678 OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 16, AS SHOWN ON RECORD OF SURVEY RECORDED IN BOOK 106, PAGE 61 THROUGH 68 INCLUSIVE OF RECORDS OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID SECTION 16, SOUTH 87°22'22" EAST, A DISTANCE OF 1103.98 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF TEMESCAL CANYON ROAD, 80.00 FEET IN WIDTH, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY, SOUTH 47°48'37" EAST, A DISTANCE OF 324.27 FEET TO THE MOST NORTHERLY CORNER OF LOT A OF PARCEL MAP NO. 29503-1, FILED IN BOOK 203, PAGE 73 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

THENCE WESTERLY ALONG THE NORTHERLY RIGHT OF WAY OF SAID LOT A, SOUTH 42°11'23" WEST, A DISTANCE OF 27.00 FEET TO THE BEGINNING OF A NON-

TANGENT CURVE, CONCAVE WESTERLY AND HAVING A RADIUS OF 23.00 FEET, A RADIAL BEARING TO SAID POINT BEARS SOUTH 42°11'23" WEST;

THENCE SOUTHERLY AND SOUTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 98°01'38", AN ARC DISTANCE OF 39.35 FEET TO THE BEGINNING OF A COMPOUND CURVE, CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 650.00 FEET, A RADIAL BEARING TO SAID POINT BEARS SOUTH 39°46'59" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 14°43'27", AN ARC DISTANCE OF 167.04 FEET TO THE BEGINNING OF A TANGENT LINE;

THENCE SOUTHWESTERLY ALONG SAID TANGENT LINE, SOUTH 64°56'29" WEST, A DISTANCE OF 134.14 FEET;

THENCE SOUTH 55°58'07" WEST, A DISTANCE OF 115.41 FEET;

THENCE SOUTH 64°56'29" WEST, A DISTANCE OF 1011.58 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 1500.00 FEET;

THENCE SOUTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 07°16'09", AN ARC DISTANCE OF 190.30 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE NORTHWESTERLY AND HAVING A RADIUS 1468.00 FEET, A RADIAL BEARING TO SAID POINT BEARS SOUTH 32°19'40" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°50'38", AN ARC DISTANCE OF 226.59 FEET TO THE BEGINNING OF A TANGENT LINE;

THENCE SOUTHWESTERLY ALONG SAID TANGENT LINE, SOUTH 66°30'58" WEST, A DISTANCE OF 363.06 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHERLY AND HAVING A RADIUS OF 25.00 FEET;

THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 79°38'55", AN ARC DISTANCE OF 34.75 FEET TO THE BEGINNING OF A COMPOUND CURVE, CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 532.00 FEET, A RADIAL BEARING TO SAID POINT BEARS SOUTH 56°09'53" WEST;

THENCE NORTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°13'24", AN ARC DISTANCE OF 11.36 FEET TO THE BEGINNING OF A NON-TANGENT LINE;

THENCE SOUTHWESTERLY ALONG SAID NON-TANGENT LINE, SOUTH 64°04'59" WEST, A DISTANCE OF 32.44 FEET;

THENCE NORTHWESTERLY, LEAVING SAID NORTHERLY LINE OF LOT A, NORTH 27°50'47" WEST, A DISTANCE OF 929.71 FEET;

THENCE NORTH 00°45'53" WEST, A DISTANCE OF 437.55 FEET TO A POINT LYING ON THE SOUTHERLY RIGHT OF WAY OF LIBERTY AVENUE AS SHOWN ON SAID RECORD OF SURVEY;

THENCE EASTERLY ALONG SAID RIGHT OF WAY, NORTH 89°14'07" EAST, A DISTANCE OF 1477.86 FEET TO A POINT LYING ON THE COMPROMISE LINE BETWEEN SECTION 16 AND SECTION 17, TOWNSHIP 4 SOUTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE NORTHERLY ALONG SAID COMPROMISE LINE, NORTH 03°25'58" EAST, A DISTANCE OF 25.07 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THE FOLLOWING LOTS IN BLOCK A OF OVERLOOK ADDITION NO. 3 TO CORONA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES:

LOTS 23 AND 24 AS RESERVED BY OSCAR PULLMAN, ET UX., IN DEED RECORDED JULY 21, 1960, AS DOCUMENT NO. 64521 OF OFFICIAL RECORDS.

LOTS 1 AND 2 AS RESERVED BY RALPH J. KNOX, ET UX., IN DEED RECORDED AUGUST 3, 1960, AS DOCUMENT NO. 68191 OF OFFICIAL RECORDS.

LOTS 20, 21 AND 22 AS RESERVED BY JOSEPH STOMMEL, ET UX., IN DEED RECORDED AUGUST 26, 1960, AS DOCUMENT NO. 75331 OF OFFICIAL RECORDS.

LOTS 27 AND 28 AS RESERVED BY GERTRUDE ARNOLD, IN DEED RECORDED OCTOBER 14, 1960, AS DOCUMENT NO. 88839 OF OFFICIAL RECORDS.

LOTS 100, 107 AND 132 AS RESERVED BY B. EVERETT GOBLE, ET UX., IN DEED RECORDED OCTOBER 14, 1960, AS DOCUMENT NO. 88838 OF OFFICIAL RECORDS.

LOTS 119, 120 AND 121 AS RESERVED BY GUILLERMO ANTONIO GANEY, JR., ET AL., IN DEED RECORDED JANUARY 3, 1961, AS DOCUMENT NO. 64 OF OFFICIAL RECORDS.

LOT 114 AS RESERVED BY VIVIAN W. SCHROEDER, IN DEED RECORDED SEPTEMBER 13, 1961, AS DOCUMENT NO. 78330 OF OFFICIAL RECORDS.

LOTS 25 AND 26 AS RESERVED BY ALAN L. ALEXANDER, ET UX., IN DEED RECORDED AUGUST 10, 1962, AS DOCUMENT NO. 75196 OF OFFICIAL RECORDS.

LOT 41 AS RESERVED BY ANDREW SURINA, ET UX., IN DEED RECORDED SEPTEMBER 17, 1964, AS DOCUMENT NO. 113358 OF OFFICIAL RECORDS.

LOTS 39 AND 40 AS RESERVED BY ANDREW SURINA, ET UX., IN DEED RECORDED OCTOBER 2, 1964, AS DOCUMENT NO. 119820 OF OFFICIAL RECORDS.

LOT 92 AS RESERVED BY KENNETH C. METHERELL, ET UX., IN DEED RECORDED DECEMBER 30, 1964, AS DOCUMENT NO. 154561 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOTS 48 AND 49 ALL OF THE OIL RIGHTS AS RESERVED BY LURA M. WELLS, IN DEED RECORDED SEPTEMBER 6, 1955, AS DOCUMENT NO. 57574 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOTS 124 AND 125 ALL OIL AND GAS RIGHTS, AS RESERVED BY MITCHELL O. DION, ET UX., IN DEED RECORDED FEBRUARY 3, 1958, AS DOCUMENT NO. 7908 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOT 122 GAS AND OIL RIGHTS, AS RESERVED BY FRANK N. CAMP, ET UX., IN DEED RECORDED FEBRUARY 17, 1958, AS DOCUMENT NO. 11756 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOTS 4, 5 AND 44 1/8TH OF ALL OIL OR PETROLEUM PRODUCTS EXTRACTED FROM UNDER SAID LAND, AS RESERVED BY HANSEN HEIGHTS LAND CO., INC., IN DEED RECORDED APRIL 26, 1962, AS DOCUMENT NO. 38358 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOT 88 AN UNDIVIDED 5/6THS OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY THEODORE WILLIAM MARSHALL, ET AL., IN DEED RECORDED AUGUST 9, 1963, AS DOCUMENT NO. 83604 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM LOT 88 AN UNDIVIDED 1/6TH OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY THEODORE W. MARSHALL, AS GUARDIAN OF THE PERSON AND ESTATE OF JOHN E. MARSHALL, INCOMPETENT, IN DEED RECORDED SEPTEMBER 16, 1963, AS DOCUMENT NO. 97170 OF OFFICIAL RECORDS.

PARCEL 2A:

AN EASEMENT FOR DISCHARGE, FLOW, DRAINAGE AND RELEASE OF SURFACE, STORM, GROUND, STREAM, WATERCOURSE AND OTHER WATERS, AS CONTAINED

IN THAT CERTAIN EASEMENT AGREEMENT, RECORDED APRIL 9, 2003, AS DOCUMENT NO. 2003-248444 OF OFFICIAL RECORDS.

PARCEL 3: (APN: 279-123-001, 279-123-002, 279-123-003)

LOTS 88 THROUGH 102, INCLUSIVE IN BLOCK B OF OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM LOTS 93 THROUGH 97, INCLUSIVE ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY ANNA M. WATTS, IN DEED RECORDED JULY 23, 1965, AS DOCUMENT NO. 85253 OF OFFICIAL RECORDS.

PARCEL 4: (APN: 279-134-002, 279-134-003, 279-134-004)

LOTS 179 THROUGH 183, INCLUSIVE IN BLOCK B OF OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION OF SAID LOTS 181, 182 AND 183 DESCRIBED IN DEEDS TO THE STATE OF CALIFORNIA, RECORDED APRIL 8, 1965, AS DOCUMENT NO. 40306 AND AS DOCUMENT NO. 40307 OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM SAID LOTS 182 AND 183 ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY CURTIS A. CHANCE, JR., ET AL., IN DEED RECORDED AUGUST 16, 1963, AS DOCUMENT NO. 86205 OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM SAID LOTS 179 AND 180 ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY JAMES BRADY, ET UX., IN DEED RECORDED FEBRUARY 29, 1968, AS DOCUMENT NO. 18345 OF OFFICIAL RECORDS.

PARCEL 5: (APN: 279-122-001, 279-122-002, 279-122-003, 279-122-004)

LOTS 58 THROUGH 87 INCLUSIVE IN BLOCK B OF THE OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION DESCRIBED IN DEED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES, RECORDED APRIL 8, 1965, AS DOCUMENT NO. 40307 OF OFFICIAL RECORDS.

ALSO EXCEPT LOTS 61, 65, 66, 67, 68, 69, 76, 77, 78, 79 AND 80 HEREINABOVE ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES, AS RESERVED IN DEED RECORDED MARCH 29, 1963, AS DOCUMENT NO. 30796; AND JULY 7, 1965, AS DOCUMENT NO. 78159 BOTH OF OFFICIAL RECORDS.

PARCEL 6: (APN: 279-121-005)

LOTS 48, 49, 50, 51 AND 52 IN BLOCK B OF OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION OF LOTS 48 AND 49 GRANTED TO THE STATE OF CALIFORNIA FOR FREEWAY PURPOSES, BY DEED RECORDED JANUARY 21, 1965, AS DOCUMENT NO. 7577 OF OFFICIAL RECORDS.

PARCEL 7: (APN: 279-125-004)

LOT 25 IN BLOCK B OF OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION DESCRIBED IN DEED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES, RECORDED APRIL 8, 1965, AS DOCUMENT NO. 40307 OF OFFICIAL RECORDS.

PARCEL 8: (APN: 279-121-004, 279-121-006)

LOTS 29 THROUGH 36 INCLUSIVE, LOTS 46, 47, AND 53 THROUGH 57 INCLUSIVE IN BLOCK B OF OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION DESCRIBED IN DEED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES, RECORDED APRIL 8, 1965, AS DOCUMENT NO. 40306; AND AS DOCUMENT NO. 40307 BOTH OF OFFICIAL RECORDS.

ALSO EXCEPT ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS RESERVED IN DEED RECORDED FEBRUARY 26, 1964, AS DOCUMENT NO. 24113 OF OFFICIAL RECORDS.

PARCEL 9: (APN: 279-134-001)

LOT 177 AND 178 IN BLOCK B OF OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

EXCEPT THAT PORTION OF SAID LOTS 177 AND 178 AS DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED APRIL 8, 1965, AS DOCUMENT NO. 40306; AND AS DOCUMENT NO. 40307 BOTH OF OFFICIAL RECORDS.

ALSO EXCEPT FROM SAID LAND ALL OIL, GAS AND HYDROCARBON SUBSTANCES, AS RESERVED BY DR. DAVID F. HYDER IN DEED RECORDED APRIL 17, 1963, AS DOCUMENT NO. 38523 OF OFFICIAL RECORDS.

PARCEL 10:

THOSE PORTIONS OF LOTS J, K, N AND X, BLOCK B OF OVERLOOK ADDITION NO.3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING NORTHEASTERLY OF THE STATE HIGHWAY SOUTHERLY OF LOT W OF SAID MAP; AND WESTERLY OF THE WESTERLY BOUNDARY OF TRACT NO. 3333-4, RECORDED IN BOOK 55, PAGE 96 AND 97 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION OF THE WESTERLY ONE HALF OF LOT J LYING NORTHERLY OF THE EASTERLY PROLONGATION OF SOUTHERLY BOUNDARY OF LOT 26 OF BLOCK B OF SAID TRACT.

PARCEL 11:

INTENTIONALL DELETED

PARCEL 12:

THAT PORTION OF LOT "M" INCLUSIVE IN BLOCK B OF THE OVERLOOK ADDITION NO. 3 TO CORONA, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 47 THROUGH 49 INCLUSIVE OF MAPS, IN THE OFFICE RECORDER OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 178 OF SAID MAP;

THENCE SOUTH 02°55'00" WEST ALONG THE EASTERLY LINE OF SAID LOT 178, 74.87 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY OF THE INTERSTATE 15 FREEWAY;

THENCE SOUTH 45°45'35" EAST ALONG SAID RIGHT-OF-WAY LINE, 66.58 FEET TO A POINT ON THE WESTERLY LINE OF LOT 181 OF SAID MAP;

THENCE NORTH 02°55'00" EAST ALONG SAID WESTERLY LINE, 119.07 FEET TO NORTHWEST CORNER OF LOT 179 OF SAID MAP;

THENCE NORTH 87°21'21" WEST, 50.00 FEET TO THE POINT OF BEGINNING;

NOTE: THE ABOVE DESCRIPTION IS FOR IDENTIFICATION PURPOSES ONLY AND HAS BEEN PROVIDED FOR THE ACCOMODATION OF THIS REPORT. SAID DESCRIPTION IS NOT INSURABLE PURSUANT TO THE SUBDIVISION MAP ACT OF THE STATE OF CALIFORNIA AND SHOULD NOT BE RELIED UPON TO CONVEY OR ENCUMBER SAID LAND.

APN: 279-231-044, 279-140-014, 279-140-016, 279-140-015, 279-140-017, 279-123-001, 279-123-002, 279-123-003, 279-134-002, 279-134-003, 279-134-004, 279-122-001, 279-122-002, 279-122-003, 279-122-004, 279-121-005, 279-125-004, 279-121-004, 279-121-006, 279-134-001(REFERENCED FOR INFORMATIONAL PURPOSES ONLY)

EXHIBIT “B”
RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX FOR
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
OF THE CITY OF CORONA

A Special Tax (the “Special Tax”) shall be levied on and collected from each Assessor’s Parcel (defined below) in Community Facilities District No. 2016-3 (Maintenance Services) (the “CFD No. 2016-3” or “CFD”; defined below), in each Fiscal Year, (defined below), commencing in the Fiscal Year beginning July 1, 2017, in an amount determined by the City Council of the City of Corona, acting in its capacity as the legislative body of CFD No. 2016-3, by applying the rate and method of apportionment set forth below. All of the real property in CFD No. 2016-3, unless exempted by law or by the provisions herein, shall be taxed to the extent and in the manner provided herein.

A. DEFINITIONS

“Acre” or “Acreage” means the land area of an Assessor’s Parcel as shown on any Assessor’s Parcel Map, or if the land area is not shown on the Assessor’s Parcel Map, the land area as shown on the applicable Final Map, or if the area is not shown on the applicable Final Map, the land area shall be calculated by the Administrator.

“Administrative Expenses” means the actual or reasonably estimated costs directly related to the formation, annexation, and administration of CFD No. 2016-3 including, but not limited to: the costs of computing the Special Taxes and preparing the annual Special Tax collection schedules (whether by the City or designee thereof or both); the costs to the City, CFD No. 2016-3, or any designee thereof associated with fulfilling the CFD No. 2016-3 disclosure requirements; the costs associated with responding to public inquiries regarding the Special Taxes; the costs of the City, CFD No. 2016-3 or any designee thereof related to an appeal of the Special Tax; and the City's annual administration fees including payment of a proportional share of City overhead and salaries and benefits of any City employees whose duties are related to the administration of CFD No. 2016-3 and third party expenses related to CFD No. 2016-3. Administrative Expenses shall also include amounts estimated or advanced by the City or CFD No. 2016-3 for any other administrative purposes of CFD No. 2016-3, including attorney's fees and other costs related to commencing and pursuing to completion any foreclosure of delinquent Special Taxes.

“Administrator” means the City Manager of the City of Corona, or his or her designee.

“Approved Property” means all Assessor’s Parcels of Taxable Property that are included in a Final Map that was recorded prior to the March 1 preceding the Fiscal Year in which the Special Tax is being levied, and that have not been issued a building permit on or prior to the June 1 preceding the Fiscal year in which the special tax is being levied.

“Assessor’s Parcel” means a lot or parcel of land that is identifiable by an Assessor’s Parcel Number by the County Assessor of the County of Riverside.

“Assessor’s Parcel Map” means an official map of the Assessor of the County designating parcels by Assessor’s Parcel Number.

“Assessor’s Parcel Number” means that identification number assigned to a parcel by the County Assessor of the County.

“Building Square Footage” or **“BSF”** means the floor area square footage reflected on the original construction building permit issued for construction of a building of Non-Residential Property and any Building Square Footage subsequently added to a building of such Non-Residential Property after issuance of a building permit for expansion or renovation of such building.

“Calendar Year” means the period commencing January 1 of any year and ending the following December 31.

“CFD” or **“CFD No. 2016-3”** means the City of Corona Community Facilities District No. 2016-3 (Maintenance Services).

“City” means the City of Corona.

“Contingent Services” means services permitted under the Mello-Roos Community Facilities Act of 1982 including, without limitation, those services authorized to be funded by CFD No. 2016-3 as set forth in the documents adopted by the City Council at the time the CFD was formed to be provided by the City in the event the Administrator makes a determination pursuant to Section C(2) that a Property Owners’ Association fails to adequately provide such services.

“County” means the County of Riverside.

“Developed Property” means all Assessor’s Parcels of Taxable Property for which a building permit for new construction has been issued on or prior to June 1 preceding the Fiscal Year in which the Special Tax is being levied.

“Exempt Property” means all Assessors’ Parcels designated as being exempt from the Special Tax as provided for in Section G.

“Final Map” means a subdivision of property by recordation of a final map, parcel map, or lot line adjustment, pursuant to the Subdivision Map Act (California Government Code Section 66410 et seq.) or recordation of a condominium plan pursuant to California Civil Code 1352 that creates individual lots for which building permits may be issued without further subdivision.

“Fiscal Year” means the period from and including July 1st of any year to and including the following June 30th.

“Land Use Category” or **“LUC”** means any of the categories contained in Section B hereof to which an Assessor’s Parcel is assigned consistent with the land use approvals that have been received or proposed for the Assessor’s Parcel as of June 1 preceding the Fiscal Year in which the Special Tax is being levied.

“Maximum Special Tax” means either Maximum Special Tax A and/or Maximum Special Tax B (Contingent), as applicable.

“Maximum Special Tax A” means for each Assessor’s Parcel and each Fiscal Year, the maximum Special Tax A, as determined in accordance with Section C below that can be levied on such Assessor’s Parcel in such Fiscal Year.

“Maximum Special Tax B (Contingent)” means for each Assessor’s Parcel and each Fiscal Year, the maximum Special Tax B (Contingent), as determined in accordance with Section C below that can be levied on such Assessor’s Parcel in such Fiscal Year.

“Multi-Family Residential Property” or **“MFR”** means any Assessor’s Parcel of Residential Property upon which a building or buildings comprised of attached Residential Units sharing at least one common wall with another unit are constructed or are intended to be constructed.

“Non-Residential Property” or **“NR”** means all Assessor’s Parcels of Taxable Property for which a building permit(s) was issued for a non-residential use. The Administrator shall make the determination if an Assessor’s Parcel is Non-Residential Property.

“Property Owner’s Association” or **“POA”** means the property owner’s association or homeowner’s association established to maintain certain landscaping within a Tax Zone.

“Proportionately” means for Taxable Property that is: (i) Developed Property, that the ratio of the actual Special Tax levy to the Maximum Special Tax is the same for all Parcels of Developed Property, (ii) Approved Property, that the ratio of the actual Special Tax levy to the Maximum Special Tax is the same for all Parcels of Approved Property, and (iii) Undeveloped Property that the ratio of the actual Special Tax levy per acre to the Maximum Special Tax per acre is the same for all Parcels of Undeveloped Property.

“Residential Unit” or **“RU”** means a residential unit that is used or intended to be used as a domicile by one or more persons, as determined by the Administrator.

“Residential Property” means all Assessor’s Parcels of Taxable Property upon which Residential Units have been constructed or are intended to be constructed or for which building permits have been or may be issued for purposes of constructing one or more Residential Units.

“Service(s)” means services permitted under the Mello-Roos Community Facilities Act of 1982 including, without limitation, those services authorized to be funded by CFD No. 2016-3 as set forth in the documents adopted by the City Council at the time the CFD was formed.

“Single Family Residential Property” or “SFR” means any Residential Property other than Multi-Family Residential Property on an Assessor’s Parcel.

“Special Tax(es)” means the Special Tax A or Special Tax B (Contingent) to be levied in each Fiscal Year on each Assessor’s Parcel of Taxable Property.

“Special Tax A” means the annual special tax to be levied in each Fiscal Year on each Assessor’s Parcel of Taxable Property to fund the Special Tax A Requirement.

“Special Tax A Requirement” means for each Tax Zone that amount to be collected in any Fiscal Year to pay for certain costs as required to meet the needs of such Tax Zone within CFD No. 2016-3 in both the current Fiscal Year and the next Fiscal Year. The costs to be covered shall be the direct costs for maintenance services including but not limited to (i) maintenance and lighting of parks, parkways, streets, roads and open space, (ii) maintenance and operation of water quality improvements, (iii) public street sweeping, (iv) fund an operating reserve for the costs of Services as determined by the Administrator, and (v) Administrative Expenses. Under no circumstances shall the Special Tax A Requirement include funds for Bonds.

“Special Tax B (Contingent)” means the annual special tax to be levied in each Fiscal Year on each Assessor’s Parcel of Taxable Property to fund the Special Tax B (Contingent) Requirement, if required.

“Special Tax B (Contingent) Requirement” means that amount required in any Fiscal Year, if the POA is unable to maintain the Contingent Service(s) to: (i) pay the costs of Contingent Services incurred or otherwise payable in the Calendar Year commencing in such Fiscal Year; (ii) fund an operating reserve for the costs of Contingent Services as determined by the Administrator; less a credit for funds available to reduce the annual Special Tax B (Contingent) levy as determined by the Administrator.

“Taxable Property” means all Assessor’s Parcels within CFD No. 2016-3, which are not Exempt Property.

“Taxable Unit” means a Residential Unit, Building Square Footage, or an Acre.

“Tax Zone” means a mutually exclusive geographic area, within which particular Special Tax rates may be levied pursuant to this Rate and Method of Apportionment of Special Tax. Appendix C identifies the Tax Zone in CFD No. 2016-3 at formation; additional Tax Zones may be created when property is annexed into the CFD.

“Tax Zone 1” means the specific geographic area identified on the CFD Boundary Map as Tax Zone 1.

"Tract(s)" means an area of land; i) within a subdivision identified by a particular tract number on a Final Map, ii) identified within a Parcel Map; or iii) identified within lot line adjustment approved for subdivision.

"Undeveloped Property" means, for each Fiscal Year, all Taxable Property not classified as Developed Property or Approved Property.

B. ASSIGNMENT TO LAND USE CATEGORIES

For each Fiscal Year, all Assessor's Parcels of Taxable Property within CFD No. 2016-3 shall be classified as Developed Property, Approved Property, or Undeveloped Property, and shall be subject to the levy of Special Taxes as determined pursuant to Sections C and D below. Assessor's Parcels of Developed Property and Approved Property shall be classified as either Residential Property or Non-Residential Property. Residential Property shall be further classified as Single Family Residential Property or Multi-Family Residential Property and the number of Residential Units shall be determined by the Administrator.

C. MAXIMUM SPECIAL TAX RATES

For purposes of determining the applicable Maximum Special Tax for Assessor's Parcels of Developed Property and Approved Property which are classified as Residential Property, all such Assessor's Parcels shall be assigned the number of Residential Unit(s) constructed or to be constructed thereon as specified in or shown on the building permit(s) issued or Final Map as determined by the Administrator. Once a single family attached or multi-family building or buildings have been built on an Assessor's Parcel, the Administrator shall determine the actual number of Residential Units contained within the building or buildings, and the Special Tax A levied against the Assessor's Parcel in the next Fiscal Year shall be calculated by multiplying the actual number of Residential Units by the Maximum Special Tax per Residential Unit for the Tax Zone below or as included in Appendix A as each annexation occurs.

For purposes of determining the applicable Maximum Special Tax for Assessor's Parcels of Developed Property and Approved Property which are classified as Non-Residential Property, all such Assessor's Parcels shall be assigned the number of Building Square Footage or Acres as shown on the Final Map as determined by the Administrator. Once the Administrator determines the actual number of Building Square Footage or Acres for the Assessor's Parcels, the Special Tax A levied against the Assessor's Parcel in the next Fiscal Year shall be calculated by multiplying the number of Building Square Footage or Acres by the Maximum Special Tax per Taxable Unit identified for the applicable Tax Zone below or as included in Appendix A as each annexation occurs.

1. Special Tax A

a. Developed Property

(i) Maximum Special Tax A

The Maximum Special Tax A for each Assessor's Parcel of Developed Property shall be specific to each Tax Zone within the CFD. When additional property is annexed

into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax A for the Tax Zones annexed and included in Appendix A. The Maximum Special Tax A for Developed Property for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 1 below:

**TABLE 1
MAXIMUM SPECIAL TAX A RATES
DEVELOPED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax A
1	TR 36533	Single Family Residential Property	RU	\$202

(ii) Increase in the Maximum Special Tax A

On each July 1, commencing on July 1, 2018 the Maximum Special Tax A for Developed Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

(iii) Multiple Land Use Categories

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Category. The Maximum Special Tax A that can be levied on an Assessor's Parcel shall be the sum of the Maximum Special Tax A that can be levied for each Land Use Category located on that Assessor's Parcel. For an Assessor's Parcel that contains more than one land use, the Acreage of such Assessor's Parcel shall be allocated to each type of property based on the amount of Acreage designated for each land use as determined by reference to the site plan approved for such Assessor's Parcel. The Administrator's allocation to each type of property shall be final.

b. Approved Property

The Maximum Special Tax A for each Assessor's Parcel of Approved Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax A for the Tax Zone annexed and included in Appendix A. The Maximum Special Tax A for Approved Property for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 2 below:

**TABLE 2
MAXIMUM SPECIAL TAX A RATES
APPROVED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax A
1	TR 36533	Single Family Residential Property	RU	\$202

On each July 1, commencing on July 1, 2018 the Maximum Special Tax A for Approved Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

c. Undeveloped Property

The Maximum Special Tax A for each Assessor's Parcel of Undeveloped Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax A for the Tax Zone annexed and included in Appendix A. The Maximum Special Tax A for Undeveloped Property for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 3 below:

**TABLE 3
MAXIMUM SPECIAL TAX A RATES
UNDEVELOPED PROPERTY**

Tax Zone	Tracts	Taxable Unit	Maximum Special Tax A
1	TR 36533	Acre	\$638

On each July 1, commencing on July 1, 2018 the Maximum Special Tax A for Undeveloped Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

2. Special Tax B (Contingent)

The City Council shall levy Special Tax B (Contingent) only in the event the POA defaults in its obligation to maintain the Contingent Services, which default shall be deemed to have occurred, as determined by the Administrator, in each of the following circumstances:

- (a) The POA files for bankruptcy;
- (b) The POA is dissolved;
- (c) The POA ceases to levy annual assessments for the Contingent Services; or
- (d) The POA fails to provide the Contingent Services at the same level as the City provides similar services and maintains similar improvements throughout the City and within ninety (90) days after written notice from the City, or such longer period permitted by the City Manager, fails to remedy the deficiency to the reasonable satisfaction of the City Council.

a. Developed Property

(i) Maximum Special Tax B (Contingent)

The Maximum Special Tax B (Contingent) for each Assessor's Parcel of Taxable Property is shown in Table 4 and shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax B (Contingent) for the Tax Zones annexed and included in Appendix A. The Maximum Special Tax B (Contingent) for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 4 below:

**TABLE 4
MAXIMUM SPECIAL TAX B (CONTINGENT) RATES
DEVELOPED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax B (Contingent)
1	TR 36533	Single Family Residential Property	RU	\$366

(ii) Increase in the Maximum Special Tax B (Contingent)

On each July 1, commencing on July 1, 2018 the Maximum Special Tax B (Contingent) for Developed Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

(iii) Multiple Land Use Categories

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Category. The Maximum Special Tax B (Contingent) that can be levied on an Assessor's Parcel shall be the sum of the Maximum Special Tax B (Contingent) that can be levied for each Land Use Category located on that Assessor's Parcel. For an Assessor's Parcel that contains more than one land use, the Acreage of such Assessor's Parcel shall be allocated to each type of property based on the amount of Acreage designated for each land use as determined by reference to the site plan approved for such Assessor's Parcel. The Administrator's allocation to each type of property shall be final.

b. Approved Property

The Maximum Special Tax B (Contingent) for each Assessor's Parcel of Approved Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax B (Contingent) for the Tax Zone annexed and included

in Appendix A. The Maximum Special Tax B (Contingent) for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 5 below:

**TABLE 5
MAXIMUM SPECIAL TAX B (CONTINGENT) RATES
APPROVED PROPERTY**

Tax Zone	Tract	Land Use Category	Taxable Unit	Maximum Special Tax B (Contingent)
1	TR 36533	Single Family Residential Property	RU	\$366

On each July 1, commencing on July 1, 2018 the Maximum Special Tax B (Contingent) for Approved Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

c. Undeveloped Property

The Maximum Special Tax B (Contingent) for each Assessor's Parcel of Undeveloped Property shall be specific to each Tax Zone within the CFD. When additional property is annexed into CFD No. 2016-3, the rate and method adopted for the annexed property shall reflect the Maximum Special Tax B (Contingent) for the Tax Zone annexed and included in Appendix A. The Maximum Special Tax B (Contingent) for Fiscal Year 2017-18 within Tax Zone 1 is identified in Table 6 below:

**TABLE 6
MAXIMUM SPECIAL TAX B (CONTINGENT) RATES
UNDEVELOPED PROPERTY**

Tax Zone	Tracts	Taxable Unit	Maximum Special Tax B (Contingent)
1	TR 36533	Acre	\$1,156

On each July 1, commencing on July 1, 2018 the Maximum Special Tax B (Contingent) for Undeveloped Property shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

D. METHOD OF APPORTIONMENT OF ANNUAL SPECIAL TAX

1. Special Tax A

Commencing with Fiscal Year 2017-18 and for each following Fiscal Year, the City Council shall determine the Special Tax A Requirement for each Tax Zone and shall levy the Special Tax A on all Assessor's Parcels of Taxable Property within such Tax Zone until the aggregate

amount of Special Tax A equals the Special Tax A Requirement for such Tax Zone. The Special Tax A shall be levied for each Fiscal Year as follows:

First: The Special Tax A shall be levied Proportionately on all Assessor's Parcels of Developed Property up to 100% of the applicable Maximum Special Tax A to satisfy the Special Tax A Requirement;

Second: If additional moneys are needed to satisfy the Special Tax A Requirement after the first step has been completed, the Special Tax A shall be levied Proportionately on each Parcel of Approved Property at up to 100% of the Maximum Special Tax A for Approved Property;

Third: If additional monies are needed to satisfy the Special Tax A Requirement after the first two steps has been completed, the Special Tax A shall be levied Proportionately on all Assessor's Parcels of Undeveloped Property up to 100% of the Maximum Special Tax A for Undeveloped Property.

2. Special Tax B (Contingent)

Commencing with the first Fiscal Year in which Special Tax B (Contingent) is authorized to be levied and for each following Fiscal Year, the City Council shall determine the Special Tax B (Contingent) Requirement for each Tax Zone, if any, and shall levy the Special Tax on all Assessor's Parcels of Taxable Property within such Tax Zone until the aggregate amount of Special Tax B (Contingent) equals the Special Tax B (Contingent) Requirement for such Tax Zone. The Special Tax B (Contingent) shall be levied for each Fiscal Year as follows:

First: The Special Tax shall be levied Proportionately on all Assessor's Parcels of Developed Property up to 100% of the applicable Maximum Special Tax B (Contingent) to satisfy the Special Tax B (Contingent) Requirement;

Second: If additional moneys are needed to satisfy the Special Tax B (Contingent) Requirement after the first step has been completed, the Special Tax B (Contingent) shall be levied Proportionately on each Parcel of Approved Property at up to 100% of the Maximum Special Tax B (Contingent) for Approved Property;

Third: If additional monies are needed to satisfy the Special Tax B (Contingent) Requirement after the first two steps has been completed, the Special Tax B (Contingent) shall be levied Proportionately on all Assessor's Parcels of Undeveloped Property up to 100% of the Maximum Special Tax B (Contingent) for Undeveloped Property.

E. FUTURE ANNEXATIONS

It is anticipated that additional properties will be annexed to CFD No. 2016-3 from time to time. As each annexation is proposed, an analysis will be prepared to determine the annual cost for providing Services to such properties. Based on this analysis, any properties to be annexed, pursuant to California Government Code section 53339 et seq. will be assigned the appropriate Maximum Special Tax rates for the Tax Zone when annexed and included in Appendix A.

F. DURATION OF SPECIAL TAX

For each Fiscal Year, the Special Tax A shall be levied as long as the Services are being provided.

For each Fiscal Year, the Special Tax B (Contingent) shall be levied as long as the Contingent Services are being provided.

G. EXEMPTIONS

The City shall classify as Exempt Property within CFD No. 2016-3, all Assessor's; (i) which are owned by, irrevocably offered for dedication, encumbered by or restricted in use by any public entity; (ii) with public or utility easements making impractical their utilization for other than the purposes set forth in the easement; (iii) which are privately owned but are encumbered by or restricted solely for public uses; or (iv) which are in use in the performance of a public function as determined by the Administrator.

H. APPEALS

Any property owner claiming that the amount or application of the Special Taxes are not correct may file a written notice of appeal with the City not later than twelve months after having paid the first installment of the Special Tax that is disputed. The Administrator of CFD No. 2016-3 shall promptly review the appeal, and if necessary, meet with the property owner, consider written and oral evidence regarding the amount of the Special Tax, and rule on the appeal. If the Administrator's decision requires that the Special Tax for an Assessor's Parcel be modified or changed in favor of the property owner, a cash refund shall not be made, but an adjustment shall be made to the Special Tax on that Assessor's Parcel in the subsequent Fiscal Year(s).

I. MANNER OF COLLECTION

The Special Tax shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided, however, that CFD No. 2016-3 may collect the Special Tax at a different time or in a different manner if necessary to meet its financial obligations.

APPENDIX A
CITY OF CORONA
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
COST ESTIMATE

Special Tax A Services - The estimate breaks down the costs of providing one year's maintenance services for Fiscal Year 2021-22. These services are being funded by the levy of Special Tax A for Community Facilities District No. 2016-3.

TAX ZONE 31 (SERVICES)
PM 37608

Item	Description	Estimated Cost
1	Lighting	\$2,997
2	Streets	\$11,352
3	Drainage	\$1,450
4	Reserves	\$1,014
5	Admin	\$2,370
Total		\$19,183

Special Tax B Contingent Services – There are no services being funded by the levy of Special Tax B (Contingent) for Community Facilities District No. 2016-3.

**MAXIMUM SPECIAL TAXES ASSIGNED TO EACH TAX ZONE
DEVELOPED PROPERTY**

Tax Zone	Fiscal Year Included	Tract/APN	No. of Taxable Units	Land Use Category	Taxable Unit	Maximum Special Tax A	Maximum Special Tax B (Contingent)	Subdivider
1	2017-18	36533	103	SFR	RU	\$202	\$366	Mari Girgis, LLC
2	2017-18	36427	146	MFR	RU	\$368	\$14	LCG Harrington, LLC
3	2017-18	PM 37167	2.50	NR	Acre	\$953	\$0	Third Street Annex, LLC
4	2017-18	115210025	3.74	NR	Acre	\$2,608	\$0	LBA RV-Company XX, LP
6	2018-19	TTM 31373	26	SFR	RU	\$1,470	\$9	Yahnes El Kaseer, LLC
7	2018-19	TTM 33135	62	SFR	RU	\$378	\$425	Knowleton Communities, LLC
8	2019-20	TTM 37114	5	SFR	RU	\$715	\$0	Karen Parker
9	2019-20	PM 27203	4	SFR	RU	\$976	\$0	William Meister
10	2019-20	PM 36873	2	SFR	RU	\$832	\$0	Kenneth Ibbetson
11	2019-20	TR 36701	12	SFR	RU	\$315	\$84	MVV, LP
12	2019-20	PM 30844	2	SFR	RU	\$905	\$0	Padilla Family Trust
13	2019-20	LLA 2018-003	32.00	NR	Acre	\$578	\$0	Corona Industrial Park, LLC
14	2019-20	TPM 37521 TPM 37765	2	SFR	RU	\$765	\$0	Louk, Hobbs, and Armstrong
15	2019-20	PM 37357	1	SFR	RU	\$1,080	\$0	Northpoint Evangelical Church
16	2020-21	LLA 18-002	4.99	NR	Acre	\$609	\$0	Fitness International, LLC
17	2020-21	TR 37565	3.48	NR	Acre	\$4,459	\$0	Corona Regional Medical Center, LLC
18	2020-21	PM 37746	4.08	NR	Acre	\$1,131	\$0	RCTC
19	2020-21	TR 37719	23	SFR	RU	\$1,057	\$0	EB Corona, LLC
20	2020-21	TTM 37788	11.70	NR	Acre	\$979	\$1,132	Bedford Marketplace, LLC
21	2020-21	115-090-008	3.05	NR	Acre	\$2,347	\$0	Christopher Ranch
22	2020-21	TTM 37747	3.38	NR	Acre	\$1,965	\$756	CI Rancho II, LLC
23	2021-22	TTM 36634	11	SFR	RU	\$686	\$66	Poppybend, LLC
24	2021-22	PM 37763	4.36	NR	Acre	\$687	\$72	West Corona Freeway Center Owner LLC
25	2021-22	PM 38461	4.12	NR	Acre	\$488	\$0	Promenade Realty Partners, LLC
26	2021-22	TR 36605 TR 36608	27	SFR	RU	\$1,090	\$0	D.R. Horton
27	2021-22	PM 14363	1.14	NR	Acre	\$1,313	\$0	HI Corona, LLC
28	2021-22	PM 37334	4.98	NR	Acre	\$1,465	\$0	Rodolfo M. & Maria Franco
29	2021-22	TR 36821	5	SFR	RU	\$1,320	\$0	Junfei Dai
30	2021-22	PM 36667	4	SFR	RU	\$1,671	\$0	Poppybend, LLC
31	2021-22	PM 37608	71.72	NR	Acre	\$267	\$0	Latitude Business Park, LLC & Latitude Business Park II, LLC

**MAXIMUM SPECIAL TAXES ASSIGNED TO EACH TAX ZONE
UNDEVELOPED PROPERTY**

Tax Zone	Fiscal Year Included	Tract/APN	No. of Taxable Units	Taxable Unit	Maximum Special Tax A	Maximum Special Tax B (Contingent)	Subdivider
1	2017-18	36533	32.62	Acres	\$638	\$1,156	Mari Girgis, LLC
2	2017-18	36427	8.30	Acres	\$6,533	\$247	LCG Harrington, LLC
3	2017-18	PM 37167	2.50	Acres	\$953	\$0	Third Street Annex, LLC
4	2017-18	115210025	3.74	Acres	\$2,608	\$0	LBA RV-Company XX, LP
6	2018-19	TTM 31373	17.92	Acres	\$2,112	\$12	Yahnes El Kaseer, LLC
7	2018-19	TTM 33135	16.09	Acres	\$1,454	\$1,635	Knowleton Communities, LLC
8	2019-20	TTM 37114	2.99	Acres	\$1,195	\$0	Karen Parker
9	2019-20	PM 37203	1.10	Acres	\$3,550	\$0	William Meister
10	2019-20	PM 36873	1.40	Acres	\$1,187	\$0	Kenneth Ibbetson
11	2019-20	TR 36701	3.95	Acres	\$957	\$255	MVV, LP
12	2019-20	PM 30844	2.15	Acres	\$1,809	\$0	Padilla Family Trust
13	2019-20	LLA 2018-003	32.00	Acres	\$578	\$0	Corona Industrial Park, LLC
14	2019-20	TPM 37521 TPM 37765	1.78	Acres	\$859	\$0	Louk, Hobbs, and Armstrong
15	2019-20	PM 37357	1	Acres	\$1,776	\$0	Northpoint Evangelical Church
16	2020-21	LLA 18-002	4.99	Acres	\$609	\$0	Fitness International, LLC
17	2020-21	TR 37565	3.48	Acres	\$4,459	\$0	Corona Regional Medical Center, LLC
18	2020-21	PM 37746	4.08	Acres	\$1,131	\$0	RCTC
19	2020-21	TR 37719	3.74	Acres	\$6,490	\$0	EB Corona
20	2020-21	TTM 37788	11.70	Acres	\$979	\$1,132	Bedford Marketplace, LLC
21	2020-21	115-090-008	3.05	Acres	\$2,347	\$0	Christopher Ranch
22	2020-21	TTM 37747	3.38	Acres	\$1,965	\$756	CI Rancho II, LLC
23	2021-22	TTM 36634	2.33	Acres	\$3,237	\$311	Poppybend, LLC
24	2021-22	PM 37763	4.36	Acres	\$687	\$72	West Corona Freeway Center Owner LLC
25	2021-22	PM 38461	4.12	Acres	\$488	\$0	Promenade Realty Partners, LLC
26	2021-22	TR 36605 TR 36608	5.52	Acres	\$5,329	\$0	D.R. Horton
27	2021-22	PM 14363	1.14	Acres	\$1,313	\$0	HI Corona, LLC
28	2021-22	PM 37334	4.98	Acres	\$1,465	\$0	Rudy M. & Maria Franco
29	2021-22	TR 36821	4.90	Acres	\$1,347	\$0	Junfei Dai
30	2021-22	PM 36667	1.50	Acres	\$4,457	\$0	Poppybend, LLC
31	2021-22	PM 37608	71.72	Acres	\$267	\$0	Latitude Business Park, LLC & Latitude Business Park II, LLC

ESCALATION OF MAXIMUM SPECIAL TAXES

On each July 1, commencing on July 1, 2018 the Maximum Special Tax shall increase by i) the percentage increase in the Consumer Price Index (All Items) for Los Angeles - Riverside - Orange County (1982-84 = 100) since the beginning of the preceding Fiscal Year, or ii) by two percent (2.0%), whichever is greater.

APPENDIX B
CITY OF CORONA
COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)
DESCRIPTION OF AUTHORIZED SERVICES

The services which may be funded with proceeds of the special tax of CFD No. 2016-3, as provided by Section 53313 of the Act, will include all costs attributable to maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use. These services including the following:

(a) maintenance and lighting of parks, parkways, streets, roads and open space, which maintenance and lighting services may include, without limitation, furnishing of electrical power to street lights and traffic signals; repair and replacement of damaged or inoperative light bulbs, fixtures and standards; maintenance (including irrigation and replacement) of landscaping vegetation situated on or adjacent to parks, parkways, streets, roads and open space; maintenance and repair of irrigation facilities; maintenance of public signage; graffiti removal from and maintenance and repair of public structures situated on parks, parkways, streets, roads and open space; maintenance and repair of playground or recreation program equipment or facilities situated on any park; and

(b) maintenance and operation of water quality improvements which include storm drainage and flood protection facilities, including, without limitation, drainage inlets, catch basin inserts, infiltration basins, flood control channels, fossil fuel filters, and similar facilities. Maintenance services may include but is not limited to the repair, removal or replacement of all or part of any of the water quality improvements, fossil fuel filters within the public right-of-way including the removal of petroleum hydrocarbons and other pollutants from water runoff, or appurtenant facilities, clearing of inlets and outlets; erosion repairs; and cleanup to improvements, and other items necessary for the maintenance and servicing of the water quality basin improvements within flood control channel improvements; and

(c) public street sweeping, on the segments of the arterials within the boundaries of CFD No. 2016-3; as well as local roads within residential subdivisions located within CFD No. 2016-3; and any portions adjacent to the properties within CFD No. 2016-3; and

In addition to payment of the cost and expense of the forgoing services, proceeds of the special tax may be expended to pay "Administrative Expenses," as said term is defined in the Rate and Method of Apportionment.

The above services may be financed by proceeds of the special tax of CFD No. 2016-3 only to the extent that they are in addition to those provided in the territory of CFD No. 2016-3 before CFD No. 2016-3 was created or those provided in the territory annexed to CFD No. 2016-3 before the territory was annexed, as applicable.

APPENDIX C

CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES) PROPOSED BOUNDARIES AND POTENTIAL ANNEXATION AREA BOUNDARIES

SHEET 1 OF 1 SHEET

ANNEXATION MAP NO. 31
COMMUNITY FACILITIES DISTRICT NO. 2016-3
(MAINTENANCE SERVICES)
CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

THIS MAP SHOWS THE BOUNDARIES OF AREAS TO BE ANNEXED TO COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES), OF THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

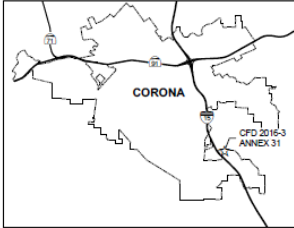
THE BOUNDARIES OF WHICH COMMUNITY FACILITIES DISTRICT ARE SHOWN AND DESCRIBED ON THE MAP THEREOF WHICH WAS PREVIOUSLY RECORDED ON JANUARY 28, 2016 IN BOOK 79 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICT AT PAGE 26 AND AS INSTRUMENT NO. 2016-0034624 IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING PROPOSED BOUNDARIES OF COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES), OF THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF CORONA AT A REGULAR MEETING THEREOF, HELD ON ____ DAY OF ____ 20____ BY ITS RESOLUTION NO. _____


CITY CLERK
CITY OF CORONA

FILED IN THE OFFICE OF THE CITY CLERK, CITY OF CORONA, THIS ____ DAY OF ____ 20____

CITY CLERK
CITY OF CORONA



THIS ANNEXATION MAP CORRECTLY SHOWS THE LOT OR PARCEL OF LAND INCLUDED WITHIN THE BOUNDARIES OF THE COMMUNITY FACILITIES DISTRICT. FOR DETAILS CONCERNING THE LINES AND DIMENSIONS OF LOTS OR PARCELS, REFER TO THE COUNTY ASSESSOR MAPS FOR FISCAL YEAR 2021-22.



FILED THIS ____ DAY OF ____ 20____ AT THE HOUR OF ____ O'CLOCK ____ M IN BOOK ____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AT PAGE ____ IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

FEE: _____ NO.: _____
PETER ALDANA, ASSESSOR, COUNTY CLERK, RECORDER


BY: _____ DEPUTY

REF. NO.	APN
1	279-530-027
2	279-140-015
3	279-140-017
4	279-140-014
5	279-140-016
6	279-123-001
7	279-123-002
8	279-123-003
9	279-134-002
10	279-134-003
11	279-134-004
12	279-122-003
13	279-122-004
14	279-122-002
15	279-122-001
16	279-134-001
17	279-121-004
18	279-121-005
19	279-121-006
20	279-125-004

LEGEND

— CITY BOUNDARY
— ANNEXATION AREA BOUNDARY
— PARCEL BOUNDARY

XXX-XXX-XXX ASSESSOR'S PARCEL NUMBER
(31) TAX ZONE
1 REFERENCE NUMBER

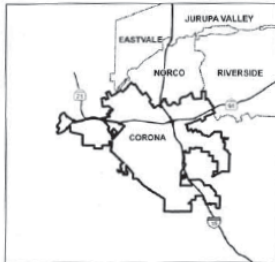


I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE PROPOSED BOUNDARIES OF POTENTIAL ANNEXATION AREA (MAINTENANCE SERVICES), CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF CORONA AT A REGULAR MEETING THEREOF, HELD ON 2 DAY OF November, 2014, BY RESOLUTION NO. 2014-1675

[Signature]
CITY CLERK
CITY OF CORONA

FILED IN THE OFFICE OF THE CITY CLERK, CITY OF CORONA, THIS 3 DAY OF November, 2014.

[Signature]
CITY CLERK
CITY OF CORONA



BOUNDARIES - POTENTIAL ANNEXATION AREA
COMMUNITY FACILITIES DISTRICT NO. 2016-3
(MAINTENANCE SERVICES)
CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

RECORDED THIS 3rd DAY OF November, 2014, AT THE HOUR OF 4:40 O'CLOCK P.M. IN BOOK 80, PAGE 23, OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

FEE: \$10.00 NO. 2014-0494013
PETER ALDANA, ASSESSOR, COUNTY CLERK, RECORDER

BY: [Signature]
DEPUTY



LEGEND
— ANNEXATION AREA BOUNDARY





Staff Report

File #: 21-0963

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Planning & Development Department

SUBJECT:

General Plan Amendment to update the Housing Element for the 6th Cycle Regional Housing Needs Assessment covering Planning Period 2021-2029.

EXECUTIVE SUMMARY:

General Plan Amendment 2021-0001 (GPA2021-0001) is an update to the Housing Element for the 6th Cycle Regional Housing Needs Assessment covering Planning Period 2021-2029. The Housing Element is one of the eight mandatory elements of the City's General Plan. Pursuant to state law, the Housing Element is required to be periodically updated, which is done every eight years. The Housing Element is responsible for identifying: a City's existing and projected housing need; goals, policies and quantified objectives on achieving housing for all economic segments of the population; available financial resources; scheduled programs for the preservation of housing; and an identification of adequate housing sites for all economic segments of the community, persons with special needs, and emergency shelters

RECOMMENDED ACTION:

That the City Council:

- a. Authorize the Planning and Development Director to make non-legislative changes to the Housing Element Update that addresses final comments made from the State Department of Housing and Community Development.
- b. Adopt Resolution No. 2021-121 adopting an addendum to the General Plan Environmental Impact Report (SCH#2018081039) and approving an amendment to the City General Plan to update the Housing Element for the 6th Cycle Regional Housing Needs Assessment covering Planning Period 2021-2029 (GPA2021-0001).

BACKGROUND & HISTORY:

The Housing Element Update for Planning Period 2021-2029 aligns with the State's allocation of the

Regional Housing Needs Assessment, commonly known as RHNA. The Southern California Association of Governments (SCAG) Regional Council adopted the final RHNA allocation for the jurisdictions within its region at its meeting on March 4, 2021. The City of Corona was issued a final RHNA allocation of 6,088 housing units. The City is required to demonstrate the planning of these units within the Housing Element Update for the next eight years.

Public Meetings on the Housing Element Update

The following is a summary of the public meetings that discussed the Housing Element Update covering Years 2021-2029.

- **January 21, 2021. City Council and Planning and Housing Commission Joint Study Session.** The study session covered an introduction to the Housing Element Update, the RHNA allocation process, various state legislation governing Housing Element law, and the information covered in the Housing Element.
- **February 16 & 18, 2021. Stakeholder Workshops.** The City held two stakeholder workshops with special interest groups on the Housing Element Update. Special interest groups included organizations and agencies that provide housing or assist special needs groups with housing opportunities (low-income persons, senior citizens, persons with disabilities, persons needing rehabilitation, persons experiencing homelessness, persons of domestic violence, etc.).
- **March 17, 2021. City Council Public Meeting.** At the request of the City Council, staff provided an administrative report on the RHNA and the state law regarding the implementation of the RHNA.
- **May 27, 2021. Community Meeting.** The City held a community meeting on the Housing Element Update. The meeting discussed the purpose of the Housing Element, the RHNA allocation, and the housing sites inventory.
- **June 21, 2021. Planning and Housing Commission Meeting.** An administrative report was provided to the Commission on the release of the Housing Element Update 2021-2029 Draft. The draft document was posted on the city's website and was made available to the public for a period of 60 days for review and public comments.
- **June 23, 2021. City Council Study Session.** An update on the status of the Housing Element Update and the housing sites inventory was provided to the City Council.
- **October 11, 2021. Planning and Housing Commission Public Hearing.** Public hearing on the Housing Element Update.

Public Information Outreach on Housing Element Update

On the City's website a webpage was created for the Housing Element Update to provide information to the public. The Housing Element Update webpage is available at www.CoronaCA.gov/GPUUpdate. The website was used to provide the following types of information to the public.

- **Housing Survey.** An online housing survey was made available to the public for a period of 35 days starting on January 25, 2021. The City received 260 responses on the survey. The results of the housing survey are included in Appendix A of the Housing Element Update 2021-2029 Draft.
- **Stakeholder Workshops.** A flyer was circulated on the city's Facebook page and on the

Housing Element Update webpage advertising the stakeholder workshop meetings on February 16 & 18, 2021. An email with the flyer was circulated to 74 special interest groups on the city's contact list. This information is provided in Appendix A of the Housing Element Update Draft.

- **Community Meeting.** A flyer was circulated on the city's Facebook page and on the Housing Element Update webpage advertising the community meeting on May 27, 2021. Additionally, staff mailed 100 letters to the property owners that have property identified on the housing sites inventory and circulated an email with the flyer to 74 special interest groups on the city's contact list. This information is provided in Appendix A of the Housing Element Update Draft.
- **Map Social Interactive Mapping Tool.** An interactive mapping tool on the proposed housing sites inventory was placed on the Housing Element Update webpage and advertised on the city's Facebook page. The purpose of the mapping tool was to engage feedback on the housing sites being identified in the Housing Element Update.
- **City Facebook and Housing Element Update Webpage.** Announcements on the Housing Element Update are posted on the City's Facebook in addition to the website. Materials related to the Housing Element are also posted on the website.

Housing and Community Development (HCD) Review of Corona's Housing Element Update Draft

The City's Housing Element Update Draft was submitted to the State Department of Housing and Community Development (HCD) on July 1, 2021, initiating a 60-day review. HCD completed its review on August 30, 2021. The Housing Element Update has since been revised to reflect the comments received from HCD. The revised Housing Element Update was posted on the City's Housing Element Update webpage on September 27, 2021.

ANALYSIS:

The element includes six chapters and appendices. The following is a brief description of the chapters and appendices covered in the element.

Chapter 1: Introduction. This chapter gives a general overview of the city's profile, the purpose of the Housing Element, sources of information used in the Housing Element and the public participation process.

Chapter 2: Housing Needs Assessment. This chapter covers the city's population growth trend, the characteristics (age distribution, race and ethnicity, employment, household characteristics, household by income category, special need groups), housing stock characteristics, Riverside County's Area Median Income, and the number of assisted housing units in Corona.

Corona's housing stock mostly consists of single-family homes, which includes 37,394 units (72.6%). Multiple family homes includes 12,275 units (23.8%) and mobile homes or other units include 1,835 units (3.6%). The information in the Housing Element is based on 2014-2018 data from the American Community Survey.

The average median income in Riverside County based on a 4-person household is \$77,500. This is based on HCD's state income limits published in 2021. Based on the area median income (AMI), the household income distribution in the city is shown in the below table.

Corona's Households by Income Category

Income Category (Percent of County AMI)	Households
Extremely Low (30% or less)	8.8%
Very Low Income (less than 50% if AMI)	15.6%
Low Income (50-80% AMI)	15%
Moderate Income (80-120% AMI)	12%
Above Moderate Income (greater than 120%)	48.5%

Corona's household characteristics and average household size along with overcrowded households are depicted in the following tables.

Corona's Household Characteristics

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786

Corona's Average Household Size and Overcrowded Households

Jurisdiction	Average Household Size	Percent of Households That are Overcrowded	Percent of Overcrowded Households: Renters	Percent of Overcrowded Households: Owners
Corona	3.32	5.9%	66.4%	33.6%

Chapter 3: Housing Constraints. This chapter covers constraints when it comes to building housing or providing housing. Housing constraints can include market constraints (construction and labor costs, land cost and financing), governmental constraints (land use zoning and development standards related to parking requirements, lot coverage, building setbacks and open space), constraints when it comes to providing housing for persons with special needs (24-hour care facilities, emergency shelters, mobile homes, accessory dwelling units, transitional and supportive housing), development fees and infrastructure requirements associated with new construction, permit processing times, etc.

Chapter 4: Housing Resources. This chapter covers the City's future housing need and RHNA allocation for the next eight years. Corona's RHNA allocation based on income categories is shown in the below table.

**City of Corona RHNA Allocation
Years 2021-2029**

Income Category Based on Area Median Income (AMI)	Number of Units to Accommodate	Percentage
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81% and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%

This chapter identifies how the city plans on meeting its RHNA allocation for each income category for planning period 2021-2029. The analysis uses: a) existing zoning (includes vacant sites and non-vacant sites), b) pending projects that have either been approved but not yet built or submitted to city staff for review but not yet entitled, and c) rezoning of sites.

Sites suitable for low-income units must have a zoning and General Plan designation that allows a higher density of at least 30 dwelling units to the acre. Moderate income units also can be accounted for in the higher density but can be included in a medium density that allows up to 15 dwelling units to the acre. Therefore, to plan for the City's RHNA allocation of low and moderate income units for planning period 2021-2029, the City will need to rezone property. The proposed rezoning program would need to accommodate at a minimum 2,532 low income units and 887 moderate income units. The City's proposed rezoning would accommodate 3,123 low income units and 888 moderate income units. The surplus of units provides a 20% buffer to accommodate a potential shortfall of sites should any of the low income sites identified in the sites inventory is underbuilt. HCD also requires that cities plan for at least a 20% buffer in its RHNA allocation. The table below shows the City's residential site's inventory.

Residential Sites Inventory

	Lower Income	Moderate Income	Above Moderate Income	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
ADUs Anticipated	46	28	6	80
Remaining RHNA	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units	3,346	1,097	2,966	7,455
Total Unit Surplus	600	1	766	1,367

The rezone sites are shown as Figure 9 and Figure 10 in the Housing Element. The City is taking two approaches on the rezone program. The first approach is shown in Figure 9 which includes rezoning property to either a high density or medium density designation. These sites were chosen based on their current condition and if the size of the property can support additional housing units. For example, the properties shown on Quarry Street across from City Park and the parcels on Ford Street and Barth Street are zoned single family residential but have parcel sizes capable of accommodating additional units such as a duplex. Properties such as this are being considered for medium density development to accommodate moderate income units.

The parcels shown on Figure 10 are intended to be rezoned with an affordable housing overlay zone. An affordable housing overlay zone is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed in the future. The non-vacant commercial sites included in the housing sites inventory were selected because the sites may be underutilized, have building coverage less than 50%, have struggled with vacancies or turnover over the years and are within walking distance to public transportation and other commercial services.

The affordable housing overlay zone will allow up to 60 dwelling units to the acre. To meet the RHNA allocation assigned to low income units, a higher density is needed on these properties because of the City's limited land resources.

The Housing Survey distributed in January 2021 asked respondents where housing in the city should be located and which areas would be better suited for high density residential. The majority of

respondents (47.97%) said housing should be located throughout the city. However, when asked where high density housing would be better suited the majority of the respondents (75.20%) said in areas where public transportation is within walking distance. The second preference (42.80%) was in areas near commercial centers. A copy of the survey responses is provided in Appendix A of the Housing Element.

Rezone Program

Properties that are required to be rezoned as part of the housing sites inventory of the Housing Element shall be done within three years of the start of the planning period. The start of the Housing Element planning period begins October 15, 2021. The City will initiate a separate process after the adoption of the Housing Element to rezone the properties identified on the sites inventory. The rezone program would follow the same procedures as a change of zone, which requires the city to do an environmental analysis of the changes, create an affordable housing overlay zone, and conduct public outreach and public hearings on the process.

It is worth noting that with the passage of SB 1398, which was signed by the Governor on September 28, 2021, a rezoning program would need to be adopted within one year from the start of the planning period should a jurisdiction fail to adopt a housing element that HCD found to be in substantial compliance with State law within 120 days of the statutory deadline. Therefore, if HCD does not determine the City to have a state compliant Housing Element 120 days from October 15, 2021, the completion of the rezone program identified in the Housing Element would be reduced from three years to one year.

Chapter 5: Review of Past Accomplishments. This chapter covers the past accomplishments of the housing plan programs from planning period 2013-2021. This chapter identifies the previous programs from the Housing Element, the objectives of the programs and the city's progress and continued appropriateness of the programs.

Chapter 6: Housing Plan. This chapter identifies the goals and policies of the Housing Element and the housing programs that the city will implement in planning period 2021-2029. The programs will include existing programs being carried over into the new planning period as well as new programs. Certain programs are a continuation annually whereas others are required to be implemented by a certain date.

New housing programs included in this Housing Element Update include the Mobile Home Park Program (Program 4), new Site Availability and Rezone Program (Program 7), Flexibility in Development Standards (Program 15), Affirmatively Furthering Fair Housing (Program 18), Fair Housing Services (Program 19), Segregation in Housing Implementation (Program 20), Housing for Special Needs Population (Program 22), Safe and Healthy Communities (Program 23), Alternative Housing Program (Program 24), Community Outreach Program (Program 25), Community Placemaking Pilot Program (Program 26), and Replacement Housing Program (Program 27).

Appendices A through C. The appendices to the Housing Element Update include the public outreach materials used during the preparation of the Housing Element (Appendix A), spreadsheets of the sites inventory (Appendix B), and discussion on Affirmatively Furthering Fair Housing

(Appendix C).

FINANCIAL IMPACT:

GPA2021-0001 is initiated by the City; therefore, no fees were associated with this application.

ENVIRONMENTAL ANALYSIS:

The City has prepared an environmental evaluation to analyze the potential environmental impacts of the Housing Element Update and whether the environmental impacts of the Housing Element were adequately addressed in the Corona General Plan Update EIR (SCH#2018081039) certified on June 3, 2020. The evaluation indicated that the Housing Element Update will not result in impacts beyond what was previously analyzed in the General Plan EIR or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts. As permitted by State California Environmental Quality Act (CEQA) Guidelines Sections 15164(e) and 15168(c), an addendum to the General Plan EIR was prepared.

PLANNING AND HOUSING COMMISSION ACTION:

At its meeting of October 11, 2021, the Planning and Housing Commission considered the subject matter and took the following action:

Motion was made, seconded (Meza/Sherman) with Vice Chair Alexander voting "No" and Commissioners Siqueland and Woody absent, that the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environmental Impact Report (SCH#2018081039) and APPROVAL of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029. Because Planning and Housing Commission Resolution No. 2578 was not adopted by an affirmative vote of at least a majority of the total membership of the Planning Commission, pursuant to the requirements of Government Code Section 65354 the written recommendation from the Planning Commission is not a recommendation for approval. The minutes of the Planning and Housing Commission meeting are included as Exhibit 3.

PREPARED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

Attachments:

1. Exhibit 1 - City Resolution No. 2021-121
2. Exhibit 2 - Planning and Housing Commission staff report
3. Exhibit 3 - Draft Minutes of the Planning and Housing Commission meeting of October 11, 2021

RESOLUTION NO. 2021-121

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, ADOPTING AN ADDENDUM TO THE GENERAL PLAN ENVIRONMENTAL IMPACT REPORT (SCH# 2018081039) AND APPROVING AN AMENDMENT TO THE CITY'S GENERAL PLAN TO UPDATE THE HOUSING ELEMENT FOR THE 6TH CYCLE COVERING PLANNING PERIOD 2021-2029 (GPA2021-0001)

WHEREAS, on October 11, 2021, the Planning and Housing Commission of the City of Corona ("Planning Commission") conducted a duly noticed public hearing concerning an Addendum to the General Plan Environmental Impact Report (SCH# 2018081039) and GPA2021-0001, an amendment to the General Plan to update the Housing Element for Planning Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment ("Housing Element Update"); and

WHEREAS, in connection with GPA2021-0001, the City prepared an environmental evaluation to analyze the potential environmental impacts associated with the Housing Element Update and determine whether such impacts were adequately addressed in the Corona General Plan Technical Update Environmental Impact Report (SCH# 20180081039) ("General Plan EIR") certified on June 3, 2020. The evaluation indicated that the Housing Element Update will not result in impacts beyond what was previously analyzed in the General Plan EIR and will not require additional mitigation measures not otherwise included in the General Plan EIR because the Housing Element Update will not have new or substantially more severe significant environmental impacts. In accordance with the requirements of the California Environmental Quality Act (Pub. Res. Code Section 21000 et seq.), together with the State Guidelines (14 Cal. Code Regs. Section 15000 et seq.) and local guidelines implementing said Act (collectively, "CEQA") the City prepared an addendum to the General Plan EIR ("General Plan EIR Addendum"); and

WHEREAS, on January 21, 2021, the City Council and the Planning Commission opened a duly noticed public study session to introduce the Housing Element Update, the Regional Housing Needs Assessment ("RHNA") process, various state legislation governing Housing Element law, and the information contained in the Housing Element; and

WHEREAS, on February 16 and 18, 2021, the City held two stakeholder workshops with special interest groups, including organizations and agencies that provide housing or assist special needs groups with housing opportunities (low-income persons, senior citizens, persons with disabilities, persons needing rehabilitation, persons experiencing homelessness, persons of domestic violence, etc.) on the Housing Element Update; and

WHEREAS, at the request of the City Council, staff provided an administrative report at the March 17, 2021 City Council meeting on the RHNA and state law regarding the implementation of the RHNA; and

WHEREAS, on May 27, 2021, the City held a community meeting on the Housing Element Update and provided an overview of the purpose of the Housing Element, the City's RHNA allocation, and the housing sites inventory; and

WHEREAS, on June 21, 2021, the Planning Commission received an administrative report regarding the release of the draft Housing Element Update, which was posted on the City's website and available to the public for a period of 60 days for review and public comment; and

WHEREAS, on June 23, 2021, the City Council opened a duly noticed public study session on the Housing Element Update and provided an update on the status of the Housing Element Update and the housing sites inventory; and

WHEREAS, on July 1, 2021, the City submitted its draft Housing Element Update to the California Department of Housing and Community Development ("HCD") to initiate a 60-day review by the HCD and the Housing Element Update was thereafter revised to include HCD's comments; and

WHEREAS, on September 27, 2021, the revised Housing Element Update was posted on the City's Housing Element Update webpage; and

WHEREAS, Government Code Section 65354 requires that the Planning Commission make a written recommendation to the City Council on Housing Element Update and further provides that a recommendation for approval be made by the affirmative vote of not less than a majority of the total membership of the Planning Commission; and

WHEREAS, based on the findings set forth below, the Planning Commission adopted Planning and Housing Commission Resolution No. 2578, by a vote of 2-1, recommending approval of the Housing Element Update; and

WHEREAS, because Planning and Housing Commission Resolution No. 2578 was not adopted by an affirmative vote of at least a majority of the total membership of the Planning Commission, pursuant to the requirements of Government Code Section 65354 the written recommendation from the Planning Commission is not a recommendation for approval; and

WHEREAS, on November 3, 2021, the City Council held a duly noticed public hearing at which all persons wishing to testify in connection with the Housing Element Update were heard and the Housing Element Update was comprehensively reviewed.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:

SECTION 1. CEQA Findings. The City Council has reviewed and considered the

information contained in the General Plan EIR Addendum and the administrative record for this Housing Element Update, including all written and oral evidence provided during the public hearing. Based upon the facts and information contained in the General Plan EIR Addendum and the entire administrative record before it, the City Council hereby makes and adopts the following findings:

A. The General Plan EIR Addendum and administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, the City of Corona Local CEQA Guidelines and other applicable law.

B. The General Plan EIR Addendum contains a complete and accurate reporting of the environmental impacts associated with this Housing Element Update and reflects the independent judgment and analysis of the City Council.

C. There is no substantial evidence that the Housing Element Update will result in any new, increased, or substantially different significant impacts, other than those previously considered and addressed in the General Plan EIR and no significant changes or additions to the General Plan EIR are necessary and that none of the conditions described in State CEQA Guidelines Section 15162 that would require subsequent or supplemental CEQA review for the Housing Element Update otherwise exist.

D. The City Council hereby adopts the General Plan EIR Addendum attached hereto as Exhibit “A” and incorporated herein by reference.

SECTION 2. General Plan Amendment Findings. Based on the entire administrative record before the City Council, including all written and oral evidence presented to the City Council, the City Council hereby makes and adopts the following findings:

A. The approval of GPA2021-0001 is in the public interest and would not be detrimental to public health, safety and welfare for the following reason:

(i) The Housing Element is an integral part of the City’s General Plan and its purpose is to adequately provide for the planning of housing for all economic segments of the community and to ensure housing opportunities and housing services are available to the most vulnerable populations and those with special needs. The Housing Element Update will ensure that the City’s Housing Element remains compliant with the Housing Element law set forth in Government Code Section 65580 *et seq.*

B. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:

(i) Goal H-1 and Policies H-1.3 and H-1.5 set forth in the Housing Element Update encourage and facilitate the production of housing based on the varied income levels and special needs groups, which is the premise of the Housing Element.

(ii) Goal H-2 and Policies H-2.1 through H-2.5 and Goal H-4 set forth in the Housing Element Update are to conserve and improve existing affordable housing, maximize housing opportunities throughout the community, assist in the provision of affordable housing, remove governmental and other constraints to housing investment, and promote fair and equal housing opportunities, which is the premise of the Housing Element.

SECTION 3. Approval of Housing Element Update - General Plan Amendment GPA2021-0001. The Housing Element Update (GPA2021-001) is hereby approved. The City Council hereby adopts the amendment to the Housing Element of the City's General Plan as set forth in Housing Element Update attached hereto as Exhibit "B" and incorporated herein by reference.

SECTION 4. Custodian of Records. The documents and materials that constitute the record of proceedings on which the findings set forth in this Resolution have been based are located at City of Corona City Hall, 400 S. Vicentia Avenue, Corona, California 92882. The custodian for these records is Joanne Coletta, Community Development Director.

SECTION 5. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED AND ADOPTED this 3rd day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 3rd day of November, 2021, by the following vote of the Council:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November, 2021.

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT “A”
GENERAL PLAN EIR ADDENDUM**

**(THE GENERAL PLAN ADDENDUM IS ATTACHED AS PAGE A-1 – A-104 BEHIND
THIS PAGE)**



City of Corona 2021 Housing Element Update

General Plan EIR Addendum Evaluation

prepared by

City of Corona

Planning Division

400 South Vicentia Avenue, Suite 320

Corona, California 92882

Contact: Joanna Coletta, Community Development Director

prepared with the assistance of

Rincon Consultants, Inc.

1980 Orange Tree Lane, Suite 105

Redlands, California 92374

September 2021

City of Corona 2021 Housing Element Update

General Plan EIR Addendum Evaluation

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RINCON CONSULTANTS, INC.

Environmental Scientists | Planners | Engineers

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1 Introduction and Project Summary

1.1 Project Title

City of Corona Housing Element Update 2021-2029

1.2 Lead Agency Name and Address

City of Corona
Planning Division
400 South Vicentia Avenue, Suite 320
Corona, California 92882

1.3 Contact Person and Phone Number

Joanna Coletta, Community Development Director
(951) 736-2434

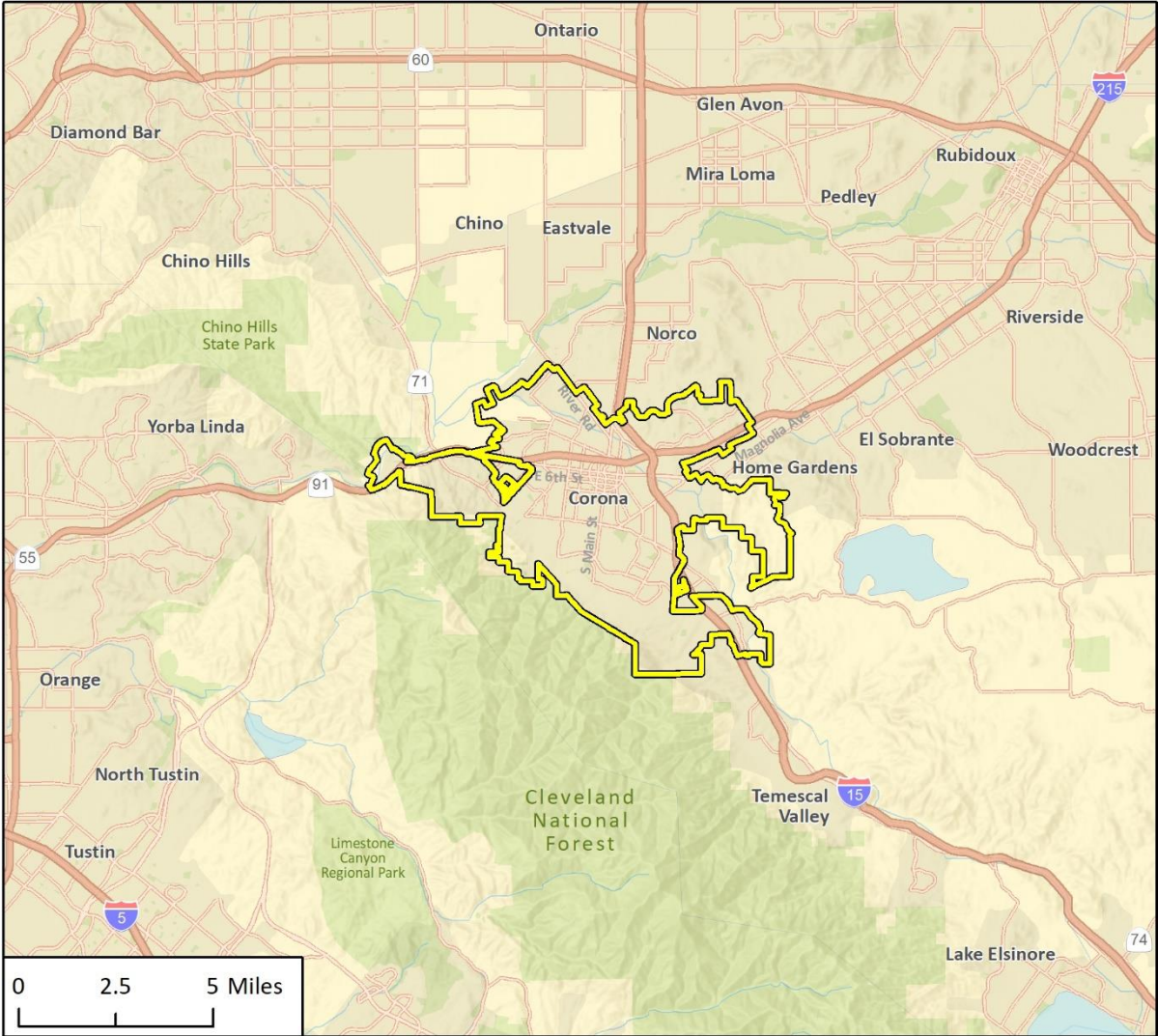
1.4 Project Location

The City of Corona (City) encompasses approximately 39 square miles and is located in western Riverside County, near the boundaries of Orange and San Bernardino counties. The City is south of the City of Norco, southwest of the City of Riverside, and north of the Cleveland National Forest. Unincorporated Riverside County borders the City along the majority of the eastern and southern extents. The Housing Element update's planning boundaries coincide with the Corona city limits, both of which are depicted in Figure 1.

1.5 Project Sponsor's Name and Address

City of Corona
Planning Division
400 South Vicentia Avenue, Suite 320
Corona, California 92882

Figure 1 Regional Project Location, Planning Boundaries



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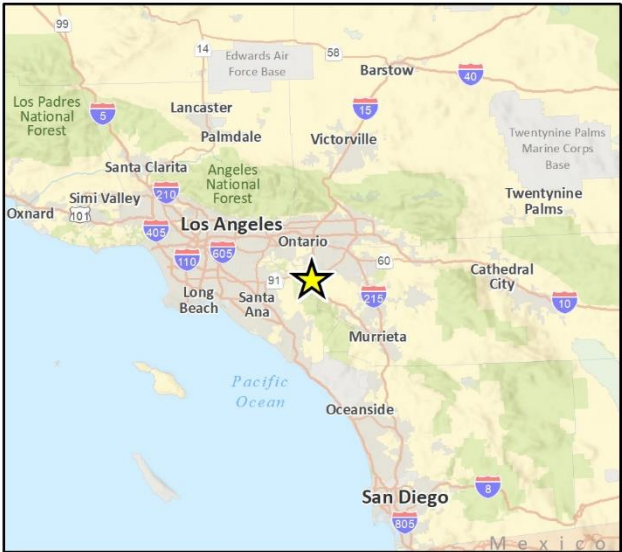


Fig 1 Regional Location

1.6 Project Description

The project consists of a comprehensive update to the City of Corona Housing Element (herein referred to as “Housing Element update” or “project”). The City’s 2020-2040 General Plan underwent extensive environmental review in the form of an Environmental Impact Report (EIR), which was certified in 2020. The EIR for the Corona General Plan is a comprehensive document and includes discussion of alternatives and growth inducing impacts associated with urban development in the city at the time it was developed.

State law requires that housing elements be updated every eight years (California Government Code Sections 65580 to 65589.8). The Housing Element update identifies residential sites adequate to accommodate a variety of housing types for all income levels and needs of special population groups, defined under State law (California Government Code Section 65583). It analyzes governmental constraints to housing maintenance, improvement, and development; addresses conservation and improvement of the condition of existing affordable housing stock; and outlines policies that promote housing opportunities for all persons. The City of Corona Housing Element is being updated as part of the State’s 6th cycle Regional Housing Needs Assessment (RHNA) allocation. For Corona, the planning period runs from October 15, 2021 through October 15, 2029.

The project would bring the City’s Housing Element into compliance with State legislation passed since the publication of the previous (5th Cycle) Housing Element (approved in 2013). The Housing Element update includes a housing sites inventory (Appendix B of the Housing Element) that demonstrates how the city plans to meet its 6th cycle RHNA allocation. However, no formal land use changes or physical development are proposed at the time of adoption of the Housing Element. Land use changes (i.e., rezoning or General Plan land use amendments) that are required to meet the city’s RHNA allocation will be done by a separate process with an accompanying environmental analysis in accordance with the California Environmental Quality Act (CEQA). Pursuant to California Government Code Section 65583(c)(1)(A), the City has three years from the start of the Housing Element planning period to rezone property that is required for the city to plan for its RHNA allocation. The rezoning process and any amendments to the General Plan land uses will require discretionary review by the City’s Planning and Housing Commission with the future changes ultimately adopted by the City Council.

The Housing Element update will not, in and of itself, result in environmental impacts as it does not propose to develop any projects. Rather, it establishes objectives and policies designed to guide future development as the City works to achieve State-mandated housing goals. Future development will require project-specific developmental review as potential impacts are location-specific and cannot be assessed in a meaningful way until a project site and development proposal are identified. When a specific development proposal is considered for approval, that project would be subject to adopted development guidelines/standards and it must incorporate applicable mitigation measures and alternatives developed in the 2020 – 2040 General Plan EIR (in accordance with CEQA Guidelines Section 15168(c)(3)). If a subsequent activity (in this case a specific development proposal) would have effects not identified in the program EIR (the 2020 – 2040 General Plan EIR and this Addendum), the lead agency must prepare additional CEQA documentation.

This Addendum Evaluation, therefore, includes the analysis of the changes and potential impacts related to the adoption of Housing Element update. No physical development or changes in land use are addressed or evaluated. The City would analyze the future changes in land use separate from the adoption of the Housing Element. This Addendum Evaluation is intended to demonstrate the

Housing Element's consistency with the existing General Plan Technical Update EIR to satisfy the requirements of CEQA. In particular, and in line with Public Resources Code Section 21083.3, this Addendum Evaluation assesses whether the updated Housing Element, as a policy and programs document, includes impacts not addressed or analyzed as significant effects in the Corona General Plan Technical Update EIR.

1.7 Discretionary Action

Implementation of the Housing Element would require the following discretionary actions by the City of Corona Planning Commission/City Council:

- Approval of an Addendum to the General Plan EIR
- Approval of a General Plan Amendment to incorporate the Housing Element Update 2021-2029.

The California Department of Housing and Community Development (HCD) reviews and determines whether the proposed Housing Element complies with State law. Aside from HCD, no other approvals by outside public agencies are required.

1.8 Prior Environmental Document(s)

City of Corona, General Plan Environmental Impact Report (General Plan EIR). State Clearinghouse Number 2018081039, certified April 2020.

1.9 Location of Prior Environmental Document(s)

City of Corona, Planning Department website:

<https://www.coronaca.gov/government/departments-divisions/planning-division/general-plan-update>

2 Project Context

The California Legislature has identified the attainment of a decent home and suitable living environment for every resident as the State's major housing goal. Recognizing the important role of local planning programs in pursuing this goal, the legislature mandated that all cities and counties prepare a housing element as part of their comprehensive general plans. Government Code Sections 65580 to 65589.8 set forth the specific components to be contained in a community's housing element.

2.1 Purpose of the Housing Element

The Housing Element of the General Plan is designed to provide the city with a coordinated and comprehensive strategy for promoting the production of safe, decent, and affordable housing within the community. A priority of both State and local governments, Government Code Section 65580 states that "the availability of housing is of vital statewide importance, and the early attainment of decent housing and a suitable living environment for every Californian family is a priority of the highest order."

Pursuant to the State law, the Housing Element has two main purposes:

1. To provide an assessment of both current and future housing needs and constraints in meeting these needs
2. To provide a strategy that establishes housing goals, policies, and programs

The Housing Element is one of the eight General Plan elements the State mandates in Government Code Section 65302. The Housing Element serves as an integrated part of the General Plan but is updated more frequently to ensure its relevancy and accuracy. The Housing Element identifies strategies and programs that focus on:

1. Conserving and improving existing affordable housing
2. Maximizing housing opportunities throughout the community
3. Assisting in the provision of affordable housing
4. Removing governmental and other constraints to housing investment
5. Promoting fair and equal housing opportunities

The residential character of Corona is largely determined by the variety, location, and maintenance of its housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population, establishing goals, policies, and programs that will guide City decision making and set forth an action plan to implement these housing programs through an established planning period.

2.2 Updates to the Housing Element

State law requires that housing elements be updated every eight years (California Government Code Section 65588). The Housing Element must identify residential sites adequate to accommodate a variety of housing types for all income levels and to meet the needs of special population groups as

defined under State law (California Government Code Section 65583). The Housing Element analyzes market and governmental constraints to housing maintenance, improvement, and development; addresses conservation and improvement of the condition of existing affordable housing stock; and outlines policies that promote housing opportunities for all persons.

The City of Corona Housing Element is now being updated as part of the 6th cycle RHNA allocation, which is for planning period October 15, 2021 through October 15, 2029.

2.3 Regional Housing Needs Allocation

The Regional Housing Needs Allocation (RHNA) reflects the California Department of Housing and Community Development's determination of the projected housing needs in a region by household income level as a percent of the Area Median Income (AMI). The Southern California Association of Governments (SCAG) was tasked with allocating this regional housing need among the jurisdictions in the SCAG region, which includes Riverside County. Table 1 shows the breakdown of the RHNA for Corona during the 2021-2029 planning period.

Table 1 2021-2029 Regional Housing Need Allocation

Income Group	Corona Unit Needs	Percent of Total Units	Regional Unit Needs (Riverside County)	Percent of Regional Units
Very low (\leq 50% AMI)	1,752	28.7%	41,995	25.1%
Low ($>$ 50-80% AMI)	1,040	17.1%	26,473	15.8%
Moderate ($>$ 80-120% AMI)	1,096	18.1%	29,167	17.4%
Above Moderate ($>$ 120% AMI)	2,200	36.1%	69,716	41.6%
Total	6,088	100%	167,351	100%

AMI = Area Median Income (established annually by the Department of Housing and Urban Development)¹
Source: SCAG 2020a

The City had 50,298 households as of January 2021.² As of 2020, 70.8 percent were single-family, which included 66.4 percent single-family detached units and 4.4 percent single-family attached units; multi-family dwelling units comprised 25.8 percent of the city's housing stock; and the remaining three percent were mobile homes (SCAG 2020b).

¹ The City has a RHNA allocation of 1,752 very low-income units (inclusive of extremely low-income units). Pursuant to State law (AB 2634), the City must project the number of extremely low-income housing needs based on Census income distribution or assume 50 percent of the very low-income units as extremely low. According to the Comprehensive Housing Affordability Strategy (CHAS) data developed by HUD, 17.6 percent of City households earned less than 50 percent of the AMI. Among these households, 49.5 percent earned incomes below 30 percent (extremely low). Therefore, the City's RHNA allocation of 1,752 very low-income units may be split into 867 extremely low and 885 very low-income units. However, for purposes of identifying adequate sites for the RHNA allocation, State law does not mandate the separate accounting for the extremely low-income category.

² California Department of Finance 2021: <https://dof.ca.gov/Forecasting/Demographics/Estimates/E-5/>

2.4 Changes in State Law

The following items represent substantive changes to State housing law since the City's last Housing Element was adopted and certified in 2013. The Housing Element update has incorporated and addressed all pertinent housing law changes.

- Affordable Housing Streamlined Approval Process: Senate Bill 35 (2017)
- Additional Housing Element Sites Analysis Requirements: Assembly Bill 879 (2017) and Assembly Bill 1397 (2017)
- Affirmatively Furthering Fair Housing: Assembly Bill 686 (2017)
- No-Net-Loss Zoning: Senate Bill 166 (2017)
- Safety Element to Address Adaptation and Resiliency: Senate Bill 1035 (2018)
- By Right Transitional and Permanent Supportive Housing: Assembly Bill 2162 (2018) and Assembly Bill 101 (2019)
- Accessory Dwelling Units: Assembly Bill 2299 (2016), Senate Bill 1069 (2016), Assembly Bill 494 (2017), Senate Bill 229 (2017), Assembly Bill 68 (2019), Assembly Bill 881 (2019), Assembly 587 (2019), Senate Bill 13 (2019), and Assembly Bill 671 (2019)
- Density Bonus: Assembly Bill 1763 (2019)
- Housing Crisis Act of 2019: Senate Bill 330
- Surplus Land Act Amendments: Assembly Bill 1486 and AB 1255 (2019)
- Housing Impact Fee Data: Assembly Bill 1483 (2019)
- Emergency and Transitional Housing Act of 2019: Assembly Bill 139 (2019)
- Standardization of Sites Inventory Analysis and Reporting: Senate Bill 6 (2019)
- Evacuation Routes: Senate Bill 99 and AB 747 (2019)

2.5 City of Corona General Plan

State law mandates that each city and county in California adopt "a comprehensive, long-term general plan," the purpose of which is to plan for important community issues such as new growth, housing needs, and environmental protection. Furthermore, the General Plan is used to project future demand for services such as sewer, water, roadways, parks, and emergency services.

The Corona General Plan, adopted in September 2019, is a long-term document with text and diagrams that express the goals, objectives, and policies necessary to guide the community toward achieving its vision over a 20-year period (2020 to 2040). A General Plan reflects the priorities and values of the community.

City decision-makers (e.g., City Council and Planning Commission), rely on the General Plan as the basis for making decisions on matters such as land use, and the provision of public facilities (e.g., roads, parks, fire stations). It is also a policy document that guides decisions related to protecting, enhancing, and providing open space, habitat conservation, arts and recreation programming, and community character.

State law requires that every General Plan, at a minimum, address certain subject categories (called "elements"), which include land use, circulation, housing, conservation of natural resources, environmental justice, open space, noise, and safety. A General Plan may also address other

subjects that are of importance to the community" future, such as sustainability, community design, and public art. Corona's General Plan includes the following elements:

- Land Use
- Housing
- Community Design
- Historic Resources
- Economic Development
- Parks, Recreation, Cultural Arts, and Education
- Circulation
- Infrastructure and Utilities
- Public Safety

- Noise
- Healthy Community
- Environmental Resources

2.6 Corona General Plan Technical Update EIR

The Corona General Plan Technical Update EIR (herein called the General Plan EIR) addressed the potential environmental effects of the planned buildout of the City of Corona through the year 2040 and concluded that implementation of the 2020-2040 General Plan would result levels of environmental impacts as detailed in Table 2. Mitigation measures were incorporated into the General Plan EIR to reduce potential impacts from project development under the General Plan.

Table 2 Summary of Areas of Potential Impact under the Corona General Plan Technical Update EIR

Issue Area	Level of Significance After Mitigation	Mitigation Proposed in the General Plan EIR
Aesthetics	Less than significant	None
Agriculture and Forestry Resources	Significant and Unavoidable	None
Air Quality	Significant and Unavoidable	AQ 1- AQ 4
Biological Resources	Less than significant	BIO 1- BIO 7
Cultural Resources	Significant and Unavoidable	CUL 1- CUL 5
Energy	Less than significant	None
Greenhouse Gas Emissions	Significant and Unavoidable	GHG 1
Geology and Soils	Less than significant	GEO 1- GEO 6
Hazards and Hazardous Materials	Less than significant	None
Tribal Cultural Resources	Less than significant	TCR 1- TCR 3
Hydrology and Flood/Water Quality	Less than significant	None
Land Use Planning	Less than significant	None
Noise	Significant and Unavoidable	N 1

Issue Area	Level of Significance After Mitigation	Mitigation Proposed in the General Plan EIR
Population and Housing	Less than significant	None
Public Facilities and Services	Less than significant	None
Public Utilities and Infrastructure	Less than significant	None
Transportation	Significant and Unavoidable	None
Wildfire	Less than significant	None

City of Corona General Plan Assumptions

The General Plan has a year 2040 planning horizon, but it does not specify or anticipate exactly when buildout will occur, as long-range demographic and economic trends are difficult to predict. The designation in the General Plan of a site for a certain use does not necessarily mean that the site will be developed or redeveloped with that use during the planning period, as most development depends on property owner initiative.

As detailed in General Plan EIR in Table ES-1, *Buildout Statistical Summary*, the General Plan Update would result in a potential buildout total of 70,939 housing units, 241,928 residents, 82,191,657 nonresidential square feet, and 106,474 jobs in the City and its sphere of influence (SOI). During the 20-year timeframe, the General Plan would result in an increase of 11,511 units, 39,298 residents, 26,476,352 nonresidential square feet, and 31,156 jobs in the City and SOI.

2.7 Housing Element Update

The 2021 Housing Element Update has the following major components:

- An **introduction** to review the requirements of the Housing Element, public participation process, and data sources (Section 10.1)
- A profile and analysis of the city's demographics, housing characteristics, and existing and future **housing needs** (Section 10.2)
- A review of **resources available** to facilitate and encourage the production and maintenance of housing, including land available for new construction, financial and administrative resources available for housing, and opportunities for energy conservation (Section 10.3)
- An analysis of **constraints** on housing production and maintenance, including market, governmental, and environmental limitations to meeting the city's identified needs (Section 10.4)
- A review of the city's **housing programs** and evaluation of accomplishments under the 2013-2021 Housing Element (Section 10.5)
- A statement of the **Housing Plan** to address the city's identified housing needs, including an assessment of past accomplishments, and a formulation of housing goals, policies, and programs (Sections 10.6 and 10.7)
- An identification of the **goals, policies, and programs** and the city's quantified objectives for the 2021-2029 planning period, by income group, based on growth estimates, past and anticipated development, and income data (Section 10.8)

A series of appendices provide additional documentation. Appendix A provides information on the public outreach program for the Housing Element update, Appendix B is the sites inventory, and Appendix C is the Affirmatively Furthering Fair Housing assessment.

Goals, Policies, and Programs

The primary objective of the Housing Element is to encourage the production of new housing units to meet the RHNA and housing for special needs populations. This is done by adopting a series of goal and policies that support housing programs related to housing production, special needs housing, neighborhood quality and fair housing. The 2021 Housing Element Update goals, policies, and programs are summarized below and referenced throughout this Addendum Evaluation as appropriate.

Housing Production

State law requires that the goals and policies of the housing element shall encourage and facilitate the production of a range in types of housing affordable to households of varied income levels. The City supports this goal by identifying adequate sites for residential development (infill sites, vacant sites, and underutilized sites) that are appropriately zoned for the type and density that can accommodate housing for certain income levels. The Housing Element also identifies programs the City will take to support and incentivize housing development and address the City's housing needs.

The sites identified for new housing adequately accommodate the City's RHNA as determined by the state Housing and Community Development Department (HCD) for the 2021-2029 planning period. HCD reviews the Housing Element for adequacy. The following goals and policies set forth the City's commitment to facilitate and encourage the production of housing commensurate with community needs.

Goal H-1	Promote and maintain a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.										
Policies	<table><tr><td>H-1.1</td><td>Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.</td></tr><tr><td>H-1.2</td><td>Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.</td></tr><tr><td>H-1.3</td><td>Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.</td></tr><tr><td>H-1.4</td><td>Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.</td></tr><tr><td>H-1.5</td><td>Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density</td></tr></table>	H-1.1	Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.	H-1.2	Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.	H-1.3	Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.	H-1.4	Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.	H-1.5	Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density
H-1.1	Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.										
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H-1.3	Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.										
H-1.4	Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.										
H-1.5	Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density										

residential development, mixed use residential/commercial development, and transit oriented residential development in appropriate areas of the City.

Programs	<p>Program 1: Residential Rehabilitation Program. Provide forgivable loans to address critical home improvement needs such as the remediation of code violations, heating and air conditioning, exterior or interior paint, water heater replacement, roofing, plumbing, electrical, kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 103 very low income and 152 low income during the 2021-2029 period with an annual average of 15 households. The City will continue to conduct community outreach regarding available loans and grants by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A of the Housing Element.</p> <p>Program 2: Housing Voucher Program. This program will continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.</p> <p>Program 3: Conservation of Existing and Future Affordable Units. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the public housing authority, and other affordable housing opportunities in the City by October 2022. The City will assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.</p> <p>Program 4: Mobile Home Park Program. The City will continue to implement the Residential Mobile Home Park zoning ordinance (Municipal</p>
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Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5. The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance is the State Mobile home Park Rehabilitation and Restoration Ownership Program (MPRROP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Program 7: Site Availability and Rezone Program. Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a Rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B). The City will continue to:

- Provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs;
- Amend the Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024;
- Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website;
- Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses;

- Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites;
- Monitor the consumption of residential acreage to ensure an adequate inventory is available;
- Create opportunity for at least 3,726 units for lower income households;
- By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements;
- Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive;
- Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households;
- Permit at least 16 units per site;
- Require a minimum density of 20 units per acre; and
- At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites:
 - Allow 100 percent residential use; and
 - Require that all residential use occupy 50 percent of the total floor area of a mixed use project.

Program 8: Residential Sites Monitoring Program. In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss”, was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City's available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target. Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure “no net loss” in capacity to accommodate the RHNA.

- Program 9: Sites Used in Previous Planning Periods Housing Elements. The City shall rezone or amend its Zoning Code by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units.
- Program 10: Lot Consolidation and Large Lot Development. To facilitate the development of affordable housing and provide for development phases of 50 to 150 units, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards. The City will continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers, and offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include reduced development fees, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance. The City will waive fees for lot consolidation for 100 percent affordable housing.
- Program 11: Multi-Family Acquisition and Rehabilitation. The City will utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. Furthermore, the City will pursue available funds for multi-family acquisition and rehabilitation.
- Program 12: Affordable Housing Development. The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources. This program will:
- Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives;

- Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 130 lower income units within the planning period;
- Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years;
- Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing;
- Annually seek additional funding sources and identify new partnerships to greater expand resources in the City;
- By October 2023, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need;
- Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates;
- Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households; and
- Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households by the 2025 Urban Water Management Plan and includes as updates to the Sewer Master Plan and/or Sanitary Sewer Management by 2025.

Program 13: Density Bonus Program. The City will continue to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements. In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with

disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Program 14: Zoning Ordinance Monitoring. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed-use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations. This program will:

- Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development;
- Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers;
- Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop;
- Amend Title 17 of the Municipal Code by October 2024 to comply with the Employee Housing Act;
- Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP;
- Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities;
- Amend the Zoning Ordinance by October 2024 to allow up to three stories by-right in multifamily residential zones.

Program 15: Flexibility in Development Standards. The City will monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing. The City will monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. By 2024, the City will develop standards for affordable and/or high-density housing development that allow greater flexibility, such as reduced setbacks, and/or reduction of required common open space. Building and Engineering staff will study ways to mitigate the cost of construction, for example by revising engineering standards and working with the local Fire District to allow for narrower street widths, rolled curbs and parking bays, and considering allowing use

of less expensive building materials, such as plastic for storm drainage pipes, provided applicable code requirements are satisfied.

- Program 16: Development Impact Fees. The City will continue to evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities and consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing for low-income households.

- Program 17: Expedited Project Review and Hearing Process. The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

- Program 27: Replacement Housing Program. Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

- Program 28: Lot Configuration and Large Lot Development. To facilitate the development of affordable housing and provide for development phases of 50 to 150 units, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Special Needs Housing

Corona, like many cities in California, have residents with special housing needs. These include seniors, large families with five or more members, people with disabilities, single parent households, unhoused people, and others in need of housing. The City proactively addresses each of

these groups by providing a range of special needs and affordable housing suited to the lifestyles and needs of each special need group.

Goal H-2	Promote and preserve suitable and affordable housing for persons with special needs, including large families, single parent households, persons with disabilities, and seniors and shelter for the unhoused.
Policies	<p>H-2.1 Encourage the development of rental units with three or more bedrooms to provide affordable housing for large families.</p> <p>H-2.2 Work with nonprofit agencies and private sector developers to encourage development of senior housing.</p> <p>H-2.3 Encourage the production of assisted living facilities (single-story houses and apartments) for the disabled and the elderly.</p> <p>H-2.4 Provide emergency shelter with transitional support for City residents, including disadvantaged groups.</p> <p>H-2.5 Encourage the upgrade and conversion of older motels to single-room occupancy housing.</p>
Programs	<p>Program 21: <i>Housing for Persons Experiencing Homelessness.</i> The City’s Homeless Prevention Programs was created as a result of the City’s Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The City will also update the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.</p> <p>Program 22: <i>Housing for Special Needs Populations.</i> The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.</p> <p>Program 25: <i>Community Outreach Program.</i> Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City’s housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities.</p> <p>Program 26: <i>Community Placemaking Pilot Program.</i> The Community Placemaking Pilot Program will implement small-scale placemaking</p>

projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds.

Neighborhood Quality

The City of Corona’s quality of life is contingent on neighborhood quality and the safety, public amenities, and quality of development found in each neighborhood. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with sidewalks and trees, adequate physical infrastructure, and public services. In other cases, some neighborhoods show signs of deterioration and could benefit from improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services.

Given the diversity of residential neighborhoods, the City of Corona supports a multifaceted approach to improving and preserving the quality and livability of residential neighborhoods. The particular strategies employed to achieve this goal depend on the location of the neighborhood, age and tenure of housing, type of housing, and other neighborhood characteristics. These strategies include, but are not limited to, the following: historic preservation, neighborhood traffic management, infrastructure maintenance, safety, code compliance, and housing rehabilitation. The following goal and policies set forth Corona’s commitment to neighborhood quality.

Goal H-3	Maintain high quality residential development standards to ensure the establishment of livable neighborhoods with lasting safety and aesthetic value, and to promote the maintenance and preservation of historic neighborhoods.
Policies	<div><div>H-3.1</div><div>Recognize the City’s inventory of existing historic structures and seek programs to enhance and preserve those neighborhoods.</div></div> <div><div>H-3.2</div><div>Encourage the revitalization of the existing dwelling units in the circle area through rehabilitation programs.</div></div> <div><div>H-3.3</div><div>Provide public services and improvements that enhance and create neighborhood stability.</div></div> <div><div>H-3.4</div><div>Continue to establish and enforce property maintenance regulations that promote the sound maintenance of property and enhance the livability and appearance of residential areas.</div></div> <div><div>H-3.5</div><div>Maintain design review for new residential developments to ensure the construction of livable and aesthetically pleasing neighborhoods.</div></div>
Programs	<div><div>Program 5:</div><div><i>Neighborhood Improvements.</i> To foster community pride and increase incentives for private homeowner investment in their homes, the City will continue its Neighborhood Improvement Program. This program consists of public improvements such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program. Public improvements inspire property owners to stay in the neighborhood and invest in their property, thus preserving the housing stock The City continues to develop methods designed to increase the City’s collective sense of community pride.</div></div>

Program 6: *Sustainable Building*. The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Fair Housing

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

Goal H-4 Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.

H-4.2 Promote and provide for nondiscrimination in all City programs.

Programs Program 18: *Affirmatively Furthering Fair Housing*. To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data. The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Program 19: *Fair Housing Services*. The city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686

(2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Program 20: *Segregation in Housing Implementation*. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Program 23: *Safe and Healthy Communities*. Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Program 24: *Alternative Housing Program*. Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

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3 Overview of CEQA Guidelines §15164

California Environmental Quality Act (CEQA) Guidelines Sections 15162 and 15164 set forth the criteria for determining the appropriate additional environmental documentation, if any, to be completed when a project has a previously certified EIR.

CEQA Guidelines Section 15164 states that a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. CEQA Guidelines sections 15162(a) states that no Subsequent or Supplemental EIR shall be prepared for a project with a certified EIR unless the lead agency determines, based on substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project that will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, shows any of the following:
 - A. The project will have one or more significant effects not discussed in the previous EIR.
 - B. Significant effects previously examined will be substantially more severe than shown in the previous EIR.
 - C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.
 - D. Mitigation measures or alternatives that are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

The analysis pursuant to Section 15162 demonstrates whether the lead agency can approve the activity as being within the scope of the existing certified EIR, that an addendum to the existing EIR would be appropriate, and no new environmental document, such as a new EIR, would be required. The addendum need not be circulated for public review but can be included in or attached to the final EIR, and the decision-making body shall consider the addendum with the final EIR prior to deciding on the project.

The City has prepared this Addendum Evaluation, pursuant to CEQA Guidelines Sections 15162 and 15164, to evaluate whether the project's environmental impacts are covered by and within the scope of the Corona General Plan Technical Update EIR (September 2019, State Clearinghouse Number 2018081039). The following Addendum Evaluation details any changes in the project, changes in circumstances under which the project is undertaken, and/or "new information of substantial importance" that may cause one or more effects to environmental resources.

The responses herein substantiate and support the City's determination that the Housing Element update policies and programs are within the scope of the Corona General Plan Technical Update EIR, do not require subsequent action under CEQA Guidelines Section 15162 and, in conjunction with the EIR, adequately analyze potential environmental impacts.

4 Environmental Effects and Determination

Environmental Areas Determined to Have New or Substantially More Severe Significant Effects Compared to Those Identified in the Previous EIR

The subject areas checked below were determined to be new significant environmental effects or to be previously identified effects that have a substantial increase in severity either due to a change in project, change in circumstances, or new information of substantial importance, as indicated by the checklist and discussion on the following pages.

■ NONE

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology and Soils | <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards and Hazardous Materials |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities and Service Systems | <input type="checkbox"/> Wildfire | <input type="checkbox"/> Mandatory Findings of Significance |

Determination

Based on this analysis:

- ☐ Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or, there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, a SUBSEQUENT or SUPPLEMENTAL EIR is required.

- No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, the previously certified EIR is adequate and this evaluation serves as an ADDENDUM to the City of Corona, General Plan Technical Update Environmental Impact Report (General Plan EIR). State Clearinghouse Number 2018081039 dated December 2019.

Signature	Date
Joanne Coletta	Community Development Director
Printed Name	Title

5 Addendum Evaluation Methodology

5.1 General Plan Consistency

The Housing Element is a component of the City's General Plan and is periodically updated pursuant to state law. Therefore, the Housing Element update is consistent with the vision of the General Plan and is supported by goals and policies of the other General Plan Elements. The General Plan Elements and policies that correspond with the goals and policies of the Housing Element are summarized below:

- The **Land Use and Community Design Element** guides the type, location and quality of development in accordance with the Land Use Plan. The goals and policies within this element add to the value and desirability of living and working in the City. The Land Use Plan details the location and the density of development allowed throughout the city.
- The **Circulation Element** outlines the long-term plan for roadways and general operating conditions. It also provides guidance relating to the transit system, good movement system and nonmotorized travel, which includes bicycle and pedestrian travel.
- The **Parks, Recreation, Cultural Arts, Education and Environmental Resources Elements** establishes goals and policies to ensure the provision of sufficient parks, schools and library facilities are appropriate in the planning of residential and service population of the city; and addresses the preservation and conservation of open space lands for the protection of biotic resources and recreational purposes.
- The **Noise and Public Safety Elements** contain policies to protect residents from unacceptable noise levels and safety concerns by guiding future development away from significant noise sources and potential hazards and by enforcing mitigations when necessary.
- The **Economic Development Element** outlines the city's economic development objectives and guides development of future employment and commercial services, both of which are critical to supporting residents. The enhancement of well-paying jobs with the city helps with accessing housing resources and reducing transportation costs and impacts.
- The **Sustainability and Infrastructure and Utilities Elements** is an intrinsic component of all elements of the General Plan. The very same policies that further sustainable development also enhance quality-of-life and public health. The Sustainability Element affects housing through policies that encourage efficient development patterns, conservation, and sustainable energy sources such as solar. Policies recommend building design and outdoor spaces to take advantage of Corona's moderate climate and reduce the need for artificial cooling, heating, and lighting.
- The **Healthy Community Element** establishes goals and objectives to reduce pollution exposure; improve air quality; and promote public facilities, food access, safe and sanitary homes, and physical activity.
- The **Historic Resources Element** provides guidelines to preserve resources that represent the history and culture of Corona. Specifically, the element is intended to provide guidance in developing and implementing programs, in concert with community partners, that ensure the identification, designation, and protection of cultural and historical resources for future Corona generations.

Adoption of the Housing Element update will require the City to amend the General Plan's Land Use Element, specifically the Land Use Plan, to implement the housing sites inventory associated with the city's assigned RHNA allocation for planning period 2021-2029. This is required per California Government Code Section 65583(c)(1)(A).

Accommodation of the RHNA

Corona's RHNA for the current planning period is 6,088 units, including 2,792 very low and low-income housing units, 1,096 moderate housing units, and 2,200 above moderate housing units. The City must demonstrate the availability of sites with appropriate zoning and development standards that can facilitate and encourage the development of such units. The Housing Element update includes a housing plan that accommodates the RHNA plus a buffer of additional housing sites as recommended by HCD, which includes estimated 7,455 housing units. As shown in Table 3, the City anticipates the development of 80 ADUs during the eight-year planning period and 2,110 units would be accommodated from planned and approved (pipeline) projects, which can count towards the RHNA. Additionally, 1,153 units would be accommodated by vacant and nonvacant sites under the existing General Plan land uses. The remaining 3,652 units would be accommodated by a rezoning program, which includes an affordable housing overlay (AHO) zone.

Although the housing sites inventory has been identified for future planning purposes as part of the Housing Element update, the adoption of the Housing Element itself does not change the current zoning or General Plan designations of the properties. California Government Code Section 65583(c)(1)(A) states that cities have up to three years from the start of the Housing Element planning period to rezone sites, including adoption of minimum density and development standards. Therefore, the City's rezoning program, which is identified as Program 7 in Chapter 6 (Housing Plan) of the Housing Element update, would be a separate project and evaluated in accordance with CEQA at the time of its review. Prior to the approval of any changes in land use, the City would evaluate the potential environmental impacts from the rezoning or change in the General Plan Land Use Plan.

Table 3 Housing Unit Yield per Site Category

Site Category	Very Low/ Low	Moderate	Above Moderate	Total
Planned and Approved Units	0	92	2,110	2,202
Anticipated Accessory Dwelling Units	46	28	6	80
RHNA Remaining Need	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units Accommodated by Housing Plan	3,392	1,097	2,966	7,455
RHNA Required	2,792	1,096	2,200	6,088
Total Unit Surplus (Buffer)	600	1	766	1,367

Source: Adapted from Table 45 of the 2021-2029 Housing Element update

The City's General Plan proposes 5,494 additional residential units in the city limits by 2040. The 7,455 units that would be accommodated by the Housing Element update would exceed the 5,494 units by an additional 1,961 units. Therefore, additional environmental analysis would be required prior to the implementation of the rezoning program identified as Program 7 in the Housing Element.

A detailed discussion of the Housing Element update development assumptions and housing plan is provided below.

Housing Element Update Plan and Assumptions

The City used conservative assumptions to estimate the development capacity of each site. Specifically, the sites inventory assumed 75 percent of the maximum allowable density of most parcels, instead of the full development potential. This assumption is based on historical development patterns and is necessary to accommodate for a variety of site-specific factors that cannot be evaluated until a development proposal is brought to the City for review, such as previous development applications submitted for the site, conversations with landowners, development standards and requirements of the corresponding specific plan, and site-specific environmental constraints such as topography, seismic activity, flooding, and wildfire hazard zones. Many recently constructed projects or projects under construction realized densities of more than 75 percent of the maximum allowable density. For the smaller lots in the inventory, a minimum of one dwelling unit is assumed for each legal lot.

A total of 1,178 residential units can be accommodated on the vacant and nonvacant sites under existing land use policies and approved plans. Of these units, 214 qualify as feasible for facilitating the development of extremely low-, very low- and low-income units. In addition to vacant and nonvacant parcels, the City has identified a number of parcels to be part of a rezoning program to accommodate the City's lower and moderate income RHNA allocation. 368 units could be accommodated through the rezoning of low density residential and commercial parcels to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU). Of these rezoned parcels, 149 qualify as feasible for facilitating the development of very low- and low-income units. The City prioritizes rezoning in transit priority areas that are within 0.5-mile of public transit (i.e. high frequency bus route or trolley line) to improve walkability and reduce dependence on automobile use, consistent with the goals of the SCAG Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS).

The City has also identified nonvacant commercial and residential parcels that are specifically suitable for an AHO. AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing. Incentives may include:

- Increased density bonus;
- Reduced development standards ;
- Lower parking requirements;
- By-right zoning or administrative project approval;
- Streamlined permitting;
- Allowing housing in locations not zoned for residential uses; and
- Impact fee waivers.

The City would introduce an AHO as part of the housing plan for the Housing Element update. The AHO would support densities between 36-60 du/ac. Sites designated with the AHO would keep the underlying zoning but would have this affordable housing overlay if housing is to be considered on the site in the future. With the AHO, these sites could accommodate 3,652 units, and 2,983 units will qualify as feasible for facilitating the development of extremely low, very low-, and low-income units. A detailed sites inventory of the residential capacity of each site is located in Appendix B of the Housing Element update.

5.2 Preliminary Environmental Constraints

State housing law requires the city to review both governmental and non-governmental constraints to the maintenance and production of housing for all income levels. Since local governmental actions can restrict the development and increase the cost of housing, State law requires the Housing Element to “address and, where appropriate and legally possible, remove governmental constraints to the maintenance, improvement, and development of housing” (Government Code Section 65583(c)(3)).

Several factors can constrain residential development. These include market constraints, such as development costs and interest rates, and governmental constraints, which include land use controls, fees, processing times, and development standards, among others. In addition, environmental and infrastructure constraints can also impede residential development. For purposes of the Addendum Evaluation, only the potential environmental constraints, as they relate to CEQA, were evaluated.

Environmental constraints to residential development typically relate to the presence of sensitive habitat, flooding, topography, and other natural and physical characteristics that can limit the amount of development in an area or increase the cost of development. The Housing Element update, in and of itself, does not propose specific development projects, but rather puts forth goals, policies, and programs that support housing efforts in Corona. Each future housing development project and housing program adopted in the Housing Element would be subject to separate review to determine potential impacts on the environment related to each project.

6 Addendum Evaluation

1 Aesthetics

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Have a substantial adverse effect on a scenic vista?	Less than Significant	None	No	No	No	Yes	Yes
b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	Less than Significant	None	No	No	No	Yes	Yes
c. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	Less Than Significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Create a new source of substantial light or glare that would adversely affect daytime or nighttime views in the area?	Less than Significant	None	No	No	No	Yes	Yes

General Plan EIR Aesthetics Findings

The General Plan EIR determined that impacts to aesthetic resources would be less than significant for scenic vistas, scenic highways, visual quality, and light and glare. It further stated that individual development projects would be subject to project-specific development and planning review, including adherence to standards for community design and visual quality. As such, all projects proposed under General Plan implementation would be required to conform to zoning, design standards, and other regulations concerning aesthetic resources such as those that address architectural design, lighting, signage, landscaping, building setbacks, and hillside protection.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development the aesthetics on these properties would not create a significant impact from current conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to scenic vistas, scenic resources, or visual character, and will not create new sources of substantial light or glare which adversely affects views.

All future development aligning with the Housing Element update would undergo project-specific developmental review, including design review, to address potential impacts related to aesthetics. Development proposals would be subject to adopted development guidelines, including standards that govern visual quality and community design.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of aesthetics is required.

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2 Agriculture and Forestry Services

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	Significant and Unavoidable	AG-1 Retention of On-site Agricultural Uses. AG-2 Establishment of Conservation Easement or Preserves or Payment into an Agricultural Mitigation Bank. AG-3 Payment in Lieu or Transfer of Development Right.	No	No	No	Yes	Yes	

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
b. Conflict with existing zoning for agricultural use or a Williamson Act contract?	Significant and Unavoidable	AG-1 through AG-3	No	No	No	Yes	Yes
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)); timberland (as defined by Public Resources Code Section 4526); or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	Less Than Significant	None	No	No	No	Yes	Yes
d. Result in the loss of forest land or conversion of forest land to non-forest use?	Less Than Significant	None	No	No	No	Yes	Yes
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	Significant and Unavoidable	AG-1 through AG-3	No	No	No	Yes	Yes

General Plan EIR Agriculture and Forestry Resources Findings

The General Plan EIR identified that the Housing Element update would convert farmland in the City and SOI to nonagricultural use along with farmland in the SOI that is under the Williamson Act contract. Mitigation measures were identified to help reduce impacts; however, impacts would still be considered significant. General Plan policies and implementation programs are in place to minimize impacts to agricultural land conversion that apply to future development.

There are no current or planned fixed commercial timber operations subject to a Timber Harvesting Plan in southwest Riverside County and there are no timber production zones in the City of Corona or its SOI. Consequently, the General Plan EIR identified no impacts associated with forestry resources or timberland.

Addendum Analysis

The General Plan goals and policies support continued farming and restrict uses that would interfere with farming and open space uses in certain corridors. Mitigation measures identified in the General Plan EIR would be implemented to help reduce impacts to the greatest extent possible. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, agriculture and forestry uses would not be altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to farmland.

All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to farmland. Development proposals would be subject to adopted development guidelines.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of agriculture and forestry resources is required.

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3 Air Quality

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Conflict with or obstruct implementation of the applicable air quality plan?	Significant and Unavoidable	AQ-1 Construction-related emissions reduction, AQ-2 long-term emissions reduction	No	No	No	Yes	Yes
b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	Significant and Unavoidable	AQ-1	No	No	No	Yes	Yes
c. Expose sensitive receptors to substantial pollutant concentrations?	Significant and Unavoidable	AQ-2, AQ-3 Preparation of HRA	No	No	No	Yes	Yes
d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	Less than Significant	AQ-4 Odor Management Plan	No	No	No	Yes	Yes

General Plan EIR Air Quality Findings

The General Plan EIR determined that impacts to air quality would be significant and unavoidable regarding conflicting with applicable air quality plans, cumulatively considerable net increase of criteria pollutants for which the region is in non-attainment, exposure of sensitive receptors to pollutant concentrations. The General Plan EIR found that General Plan implementation would create a significant and unavoidable impact relative to existing or projected air quality. Mitigation AQ-4 would reduce potential impacts regarding odors to less than significant. The General Plan includes numerous goals and policies to reduce potential air quality impacts, and the City would enforce compliance with regional plans and programs that reduce air quality impacts.

Addendum Analysis

The General Plan goals and policies support reduction of air quality impacts. Mitigation measures identified in the General Plan EIR are implemented to help reduce impacts to the greatest extent possible. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, air quality would not be a significant change from current conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to air quality. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to air quality.

Potential air quality-related impacts cannot be assessed in a meaningful way until a project specific analysis is done covering the size of the development which includes construction air quality emissions, project operational emissions and potential vehicle miles traveled. Short-term air quality impacts resulting from construction of the sites, such as dust generated by clearing and grading activities, exhaust emissions from gas- and diesel-powered construction equipment, and vehicular emissions associated with the commuting of construction workers will be subject to South Coast Air Quality Management District rules and protocols. Similarly, operational impacts would be addressed by provisions in the General Plan, the Green Building Code, and other regulations and standards that govern air quality in Corona. Any impacts identified for an individual project would be addressed through the project approval process specific to concerns for that project.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information

that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of air quality is required.

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4 Biological Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Project is within the Scope of General Plan EIR?	
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures					
Would adoption of the 2021 Housing Element Update:							
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Less than significant	BIO-1 Biological Resources Survey, BIO-2 Construction Limitations, BIO-3 Contractor Training Program, BIO-4 Biological Monitoring	No	No	No	Yes	Yes
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Less than significant	BIO-1 through BIO-4	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Have a substantial adverse effect on state or federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	Less than significant	BIO-5 Jurisdictional Delineation	No	No	No	Yes	Yes
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	Less than significant	BIO-6 Corridor Evaluation, BIO-7 Nesting Bird Survey	No	No	No	Yes	Yes
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	Less than significant	None	No	No	No	Yes	Yes
f. Conflict with the provisions of an adopted habitat conservation plan, natural community conservation plan, or other approved local, regional, or State habitat conservation plan?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Biological Resources Findings

The General Plan EIR determined that impacts to biological resources would be less than significant with mitigation incorporated for effects to sensitive animal and plant species, sensitive natural communities, and wildlife movement. As such, all projects proposed under General Plan implementation would be required to conform to zoning, design standards, and other regulations concerning the protection of biological resources, including listed species, habitats, and all planning resources designed to protect and conserve these resources.

Addendum Analysis

The General Plan goals and policies support reduction of impacts to biological resources. Mitigation measures identified in the General Plan EIR are implemented to reduce impacts to less than significant. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, biological resources would not be altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

Furthermore, protection of many special status species and habitat is mandated by federal and State laws. Corona is a member agency in the Western Riverside County Multiple Species Habitat Conversation Plan (MSHCP) to preserve the diversity of habitat and protect sensitive biological resources with the City while allowing for additional development consistency with city planning documents (i.e., General Plan). All proposed development projects, including those under the Housing Element update, would be assessed for consistency with the MSHCP.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to biological resources and conservation or habitat management plans. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to biological resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of biological resources is required.

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5 Cultural Resources

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?	Significant and Unavoidable	CUL-1 Historical Resources Assessment, CUL-2 Secretary of the Interior’s Standards for the Treatments of Historic Properties, CUL-3 Recordation, CUL-4 Flagged Construction Limits	No	No	No	Yes	Yes
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	Less than significant	CUL-5 Archaeological resources assessment	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Disturb any human remains, including those interred outside of formal cemeteries?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Cultural Resources Findings

The General Plan EIR determined that impacts to historic resources would be significant and unavoidable. The General Plan EIR includes mitigation measures that would reduce potential impacts; however, impacts would still be considered significant and unavoidable. The General Plan established policies for future development to reduce impacts to the greatest extent feasible. Individual development projects would be subject to project-specific development and planning review. As such, all projects proposed under General Plan implementation are required to conform to zoning, design standards, and other regulations concerning the protection of cultural resources, including listed historic and archaeological resources.

Addendum Analysis

The General Plan goals and policies support reduction of impacts to cultural resources. Mitigation measures identified in the General Plan EIR are implemented to reduce impacts to the greatest possible extent. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, cultural resources would not be impacted. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to cultural resources. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to cultural resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of cultural resources is required.

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6 Energy

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	Less than significant	None	No	No	No	Yes	Yes	
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	Less than significant	None	No	No	No	Yes	Yes	

General Plan EIR Energy Findings

The General Plan EIR determined that impacts to energy would be less than significant regarding wasteful or unnecessary energy consumption and would not conflict with or obstruct State or local plans for renewable energy or energy efficiency.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, energy resources would not be significantly altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to energy resources or adopted plans for renewable or efficient energy use. Additionally, future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to energy resources and energy consumption for new residential construction, including consistency with Title 20, Energy Building Regulation, and Title 24, Energy Conservation Standards, of the California Code of Regulations (CCR).

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of energy is required.

7 Geology and Soils

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:			No	No	No	Yes	Yes
1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	Less than significant	None	No	No	No	Yes	Yes
2. Strong seismic ground shaking?	Less than significant	None	No	No	No	Yes	Yes
3. Seismic-related ground failure, including liquefaction?	Less than significant	None	No	No	No	Yes	Yes
4. Landslides?	No Impact	None	No	No	No	Yes	Yes
b. Result in substantial soil erosion or the loss of topsoil?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	Less than significant	None	No	No	No	Yes	Yes
d. Be located on expansive soil, as defined in Table 1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	Less than significant	None	No	No	No	Yes	Yes
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	Less than significant	None	No	No	No	Yes	Yes

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	Less than significant with mitigation incorporated	GEO-1 High and Low-to-High Sensitivity, GEO-2 High Sensitivity, GEO-3 Low-to-High Sensitivity, GEO-4 Low Sensitivity, GEO-5 Unknown Sensitivity, GEO-6 All Projects	No	No	No	Yes	Yes

General Plan EIR Geology and Soils Findings

The General Plan EIR determined that impacts to geology and soils would be less than significant for adverse effects related to rupture of a known fault, strong ground shaking, seismic-related ground failure, or landslides; soil erosion; landslide, lateral spreading, subsidence, liquefaction, or collapse; locating development on expansive soils; and installing septic tanks and alternative wastewater disposal systems in expansive soils. However, potentially significant impacts were found for paleontological resources and mitigation was incorporated to reduce impacts to less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impact to geology and soils resources would not be significant. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in geology and soils impacts. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to geology and soils, including adherence to State and City grading and building standards. Future development would be required to adhere to mitigation measure requirements related to paleontological resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of geology and soils is required.

8 Greenhouse Gas Emissions

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	Significant and unavoidable	GHG-1 CAP Update and Monitoring	No	No	No	Yes	Yes
b. Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Greenhouse Gas Emissions Findings

The General Plan EIR determined that impacts to greenhouse gas (GHG) emissions and GHG reduction targets would be significant with implementation of the General Plan. Mitigation measures set forth in the General Plan EIR would reduce potential impacts to GHG emissions but would still result in a significant and unavoidable impact. Impacts relating to conflicts with plans, policies, and regulations adopted to reduce GHGs would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, greenhouse gas emissions are not likely to significantly rise above existing conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing development efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with GHG emissions. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to GHG emissions, including adherence to State and City building standards and policies designed to reduce GHG emissions with new residential construction, such as CCR Title 20, Energy Building Regulation, and Title 24, Energy Conservation Standards.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of GHG emissions is required.

9 Hazards and Hazardous Materials

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	Less than significant	None	No	No	No	Yes	Yes
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	Less than significant	None	No	No	No	Yes	Yes
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within 0.25 mile of an existing or proposed school?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Be located on a site that is included on a list of hazardous material sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	Less than significant	None	No	No	No	Yes	Yes
e. Result in a safety hazard for people residing or working within an airport land use plan area, or where such a plan has not been adopted, within two miles of a public airport or public use airport?	Less than significant	None	No	No	No	Yes	Yes
f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	Less than significant	None	No	No	No	Yes	Yes
g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Hazards and Hazardous Materials Findings

The General Plan EIR determined that impacts for hazardous materials would be less than significant for impacts related to hazards and hazardous materials.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, exposure to hazardous conditions or materials are not likely. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with hazards and hazardous materials. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of hazards and hazardous materials is required.

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10 Hydrology and Water Quality

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?	Less than significant	None	No	No	No	Yes	Yes
b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	Less than significant	None	No	No	No	Yes	Yes
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or by increasing the rate or amount of surface runoff, in a manner that would result in substantial erosion, siltation, or flooding on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
flooding on or offsite; create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems impede or redirect floodflows?							
d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	Less than significant	None	No	No	No	Yes	Yes
e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Hydrology and Water Quality Findings

The General Plan EIR determined that impacts to hydrology and water quality would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, increases in hydrology and impacts to water quality are not likely. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not involve specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with hydrology and water quality. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to hydrology and would be required to prepare water quality management plans.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of hydrology and water quality is required.

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11 Land Use and Planning

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Physically divide an established community?	Less than significant	None	No	No	No	Yes	Yes
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Land Use Planning Findings

The General Plan EIR determined that impacts to land use would be less than significant as they pertain to conflicts with applicable land use plans. It found that General Plan implementation would not physically divide an established community and would, in fact, would beneficially increase connectivity locally and regionally.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, changes in land uses in already urbanized areas should not pose a significant change.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with land use. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to land use.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of land use is required.

12 Mineral Resources

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	Significant and Unavoidable	MIN-1 Mineral Resource Evaluation, MIN-2 Mineral Value Report	No	No	No	Yes	Yes
b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	Significant and Unavoidable	MIN-1 Mineral Resource Evaluation, MIN-2 Mineral Value Report	No	No	No	Yes	Yes

General Plan EIR Mineral Resources Findings

The General Plan EIR determined that impacts to mineral resources relating to a known and locally important mineral resource would be significant and unavoidable. Mitigation measures were identified in the General Plan EIR to reduce impacts to the greatest extent; however, impacts are still considered to be significant and unavoidable.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts on mineral resources is not likely. Additionally, areas designated mineral resources are not zoned for residential purposes.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with mineral resources. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce potential impacts to mineral resources and undergo project-specific developmental review to address potential impacts related to mineral resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of mineral resources is required.

13 Noise

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?				
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures					
Would adoption of the 2021 Housing Element Update:							
a. Generate a substantial temporary or permanent increase in ambient noise levels in the vicinity of a project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	Significant and unavoidable	N-1 Comprehensive Construction Mitigation	No	No	No	Yes	Yes
b. Generate excessive vibration of groundborne noise levels?	Less than significant with mitigation incorporated	N-2 Noise and Vibration Analysis	No	No	No	Yes	Yes
c. Result in a project that exposes people residing or working in the project area to excessive noise levels due to the project’s location within an airport land use plan area or within two miles of a public airport or public use airport?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Noise Findings

The General Plan EIR determined that implementation of the General Plan would result in temporary impacts to noise from construction that would be significant and unavoidable despite the implementation of mitigation. Operational noise impacts were found to be less than significant. Vibration and increase in noise near sensitive land uses were also found to have potentially significant impacts but would be reduced to less than significant levels with mitigation. The General Plan EIR found that the General Plan would not result in exposure of future residents or workers near an airport or airstrip.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts associated with long term operational noise is not likely.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with noise and vibration. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce potential noise and vibration impacts and undergo project-specific developmental review to address potential noise and vibration impacts.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of noise impacts is required.

14 Population and Housing

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?				
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	Less than significant	None	No	No	No	Yes	Yes
b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Population and Housing Findings

The General Plan EIR determined implementation of the General Plan would result in a less than significant impact relating to population growth and would not result in displacing people and/or housing.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could be rezoned to accommodate new or additional housing units. An increase in the population of Corona would occur but would not exceed the regional population growth anticipated by the SCAG RTP/SCS. The regional growth projections are used in the methodology for allocating the RHNA within the metropolitan planning organizations.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with population and housing.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to population and housing is required.

15 Public Services

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in substantial adverse physical impacts associated with the provision of new or physically altered fire protection facilities, or the need for new or physically altered fire protection facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	Less than significant	None	No	No	No	Yes	Yes
b. Result in substantial adverse physical impacts associated with the provision of new or physically altered police protection facilities, or the need for new or physically altered police protection facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
times or other performance objectives?								
c. Result in substantial adverse physical impacts associated with the provision of new or physically altered schools, or the need for new or physically altered schools, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios or other performance objectives?	Less than significant	None	No	No	No	Yes		Yes
d. Result in substantial adverse physical impacts associated with the provision of new or physically altered parks, or the need for new or physically altered parks, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios or other performance objectives?	Less than significant	None	No	No	No	Yes		Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
e. Result in substantial adverse physical impacts associated with the provision of new or physically altered public facilities, or the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	Less than significant	None	No	No	No	Yes	Yes	

General Plan EIR Public Services Findings

The General Plan EIR determined that implementation of the General Plan would not result in substantial adverse physical impacts associated with new or physically altered public services facilities, including those related to fire, police, schools, and libraries, and impacts would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, public services are not likely to be impacted. Most sites are urban infill sites where development already exists along with public services already being provided.

The Housing Element update, in and of itself, does not include specific projects that involve a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in substantial adverse physical impacts associated with new or physically altered public services facilities.

Future development aligning with the Housing Element update would be subject to the payment of the City's development impact fees (DIFs), which are used to build public infrastructure burdened by development.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to public services is required.

16 Recreation

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	Less than significant	None	No	No	No	Yes	Yes
b. Include recreational facilities or requires the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Recreation Findings

The General Plan EIR determined that impacts to existing park and recreational facilities and the necessity for new and/or expanded recreational facilities would be less than significant with implementation of the General Plan.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Although the Housing Element update, in and of itself, does not involve specific projects involving a new housing development it does put forth goals and policies that support housing efforts in Corona.

New development is subject to the payment of park improvement fees or Quimby fees, which is a pay in lieu of parkland dedication. Future development projects aligning with the Housing Element update would be subject to the same requirements.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to recreation is required.

17 Transportation/Traffic

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	Significant and unavoidable	None	No	No	No	Yes	Yes
b. Conflict or be inconsistent with CEQA Guidelines 15064.3, subdivision (b)?	Significant and unavoidable	T-1 VMT Reduction	No	No	No	Yes	Yes
c. Substantially increase hazards due to a geometric design feature or incompatible uses?	Less than significant	None	No	No	No	Yes	Yes
d. Result in inadequate emergency access?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Transportation Findings

The General Plan EIR determined that General Plan-related trip generation in combination with existing and proposed cumulative development would result in designated road and/or highways that would exceed the Congestion Management Agency service standards, and no feasible mitigation was identified. The General Plan EIR also found that General Plan-related trip generation in combination with existing and proposed cumulative development would exceed the City's vehicle miles traveled (VMT) threshold and would be inconsistent with CEQA Guidelines §15064.3, subdivision (b). The General Plan EIR identifies mitigation measures to reduce VMT; however, impacts would be significant and unavoidable. Other impacts were determined to be less than significant, including hazardous roadway design features, and emergency access.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, vehicle miles traveled already exist. Most sites are urban infill sites where development already exists.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to transportation and traffic. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce transportation and traffic impacts and undergo project-specific developmental review to address potential impacts, including an assessment of project-specific VMT. Additionally, the proposed housing sites would concentrate housing development in the City rather than in the SOI, which would reduce overall VMT.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to transportation and traffic is required.

18 Tribal Cultural Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074 that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k)?	Less than Significant with Mitigation Incorporated	TCR-1 Tribal Cultural Resources Monitoring, TCR-2 Treatment and Disposition of Cultural Resources, TCR-3 Archaeological Monitors	No	No	No	Yes	Yes	

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
b. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074 that is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1?	Less than Significant with Mitigation Incorporated	TCR-1 through TCR-3	No	No	No	Yes	Yes

General Plan EIR Tribal Cultural Resource Findings

The General Plan EIR determined that impacts to tribal cultural resources would be less than significant with mitigation incorporated.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts to tribal culture resources are likely non-existent. Most sites are urban infill sites where development already exists.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to tribal cultural resources. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce impacts to tribal cultural resources.

Additionally, all developments must comply with General Plan policies and programs that would minimize impacts on tribal cultural resources and must comply with Assembly Bill (AB) 52 and other federal and State regulations that help protect and conserve tribal cultural resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to tribal cultural resources is required.

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19 Utilities and Service Systems

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	Less than significant	None	No	No	No	Yes	Yes
b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	Less than significant	None	No	No	No	Yes	Yes
c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	Less than significant	None	No	No	No	Yes	Yes
e. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Utilities and Service Systems Findings

The General Plan EIR determined that impacts to utilities and service systems would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, utility and service systems already exist and service the properties.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to utilities and service systems. All future development accommodated under the Housing Element update would be required to adhere to the General Plan, adopted master plans and other regulatory requirements concerning water, wastewater, storm drains, solid waste, and other infrastructure; water supply; and wastewater treatment systems.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to utilities and service systems is required.

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20 Wildfire

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, substantially impair an adopted emergency response plan or emergency evacuation plan?	Less Than Significant	None	No	No	No	Yes	Yes
b. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, due to slope, prevailing winds, and other factors, exacerbate wildfire risks and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	Less than significant	None	No	No	No	Yes	Yes
c. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, require the installation or maintenance of	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?							
d. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, expose people or structures to significant risks, including downslopes or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Wildfire Findings

The General Plan EIR found that the Housing Element update would result less than significant impacts concerning wildfire risks, hazards, and conflicts with emergency response plans.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Most of these sites are urban infill sites close to services such as public transportation and commercial centers and not in areas prone to wildfires.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to wildfires. All future development aligning with the Housing Element update would be required to adhere to General Plan and other regulatory requirements concerning wildfire hazards and emergency response. Additionally, the Housing Element update would concentrate housing development in the City and not in the SOI, reducing the number of units that would be developed in areas with a high or very high fire hazard risk (refer to Figure 5.20-2 in the General Plan EIR).

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to wildfire is required.

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7 Summary of Findings

The Housing Element update is part of the City's General Plan, and like other elements within the General Plan, it includes goals and policies that the City should meet when it comes to the planning of housing. The Housing Element is also unique from the other elements within the General Plan because it is required to be periodically updated to align with the State's allocation of the RHNA. Also, the Housing Element includes Housing Programs that are required to be implemented within the planning period established for the Housing Element. These programs are not generally adopted at the same time as the Housing Element and are usually implemented over time as a separate project after the element is adopted.

The Housing Element update does not involve site-specific projects nor changes in the currently adopted General Plan land uses, therefore the adoption of the Housing Element would continue to fall within the General Plan Program EIR recently certified in April 2020. The General Plan Program EIR accompanied the City's update to the General Plan 2020-2040. Future development associated with the Housing Element's Housing Programs will be subject to applicable development standards and reviews established by City ordinances. Additionally, future developments or programs involving discretionary review are subject to the California Environmental Quality Act to determine if actions borne by the project would have a significant impact on the environment.

It has been determined through this analysis that the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR, nor does the Housing Element update present new information that shows impacts would be more significant than those described in the General Plan EIR. Therefore, the General Plan EIR applies to the Housing Element update and no additional environmental assessment is required.

The analysis pursuant to Section 15162 demonstrates whether the lead agency can approve the activity as being within the scope of the existing certified EIR, that an addendum to the existing EIR would be appropriate, and no new environmental document, such as a new EIR, would be required. The addendum need not be circulated for public review but can be included in or attached to the final EIR, and the decision-making body shall consider the addendum with the final EIR prior to deciding on the project.

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8.2 List of Preparers

Rincon Consultants, Inc. prepared this EIR Addendum under contract to the City of Corona. Persons involved in data gathering analysis, project management, and quality control are listed below.

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**EXHIBIT “B”
HOUSING ELEMENT UPDATE**

GPA2021-0001

**(THE HOUSING ELEMENT UPDATE IS ATTACHED AS PAGE B-1 – B-302 BEHIND
THIS PAGE)**

City of Corona

Housing Element

2021-2029

City of Corona
400 Vicentia Avenue
Corona, CA 92882

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Chapter 1: Introduction

CITY PROFILE

Incorporated in 1896, Corona is an ethnically diverse city with industrial, retail, and commercial employment opportunities; public programs, amenities, and parkland for residents; and cultural and historical museums and sites. The City has experienced rapid urbanization over the last 25 years, with residential development occurring primarily in the southern, northeastern, and western portions of the City. While the City's roots were in the agricultural industry, the City of Corona has transformed over the past fifty years into the 31st most populated city in California. As of 2019, the City of Corona has a population of approximately 169,868 people. The City is projected to reach a population of approximately 185,100 people by 2045.

Corona is in the northwestern portion of Riverside County, near the convergence of San Bernardino, Orange, and Riverside counties, about 45 miles southeast of Los Angeles. The City is bordered by Norco to the north, Riverside to the east, Orange County to the west, and Riverside County to the south. Two major freeways transect Corona: the Riverside Freeway (SR-91) runs east-west directly north of the City's center, and Interstate 15 (I-15) runs north-south near the eastern edge of the City¹. In Corona, the General Plan covers all 39.2 square miles within City limits and provides input to Riverside County for the planning of 35.2 square miles within the City's Sphere-of-Influence (SOI), which includes Coronita, Home Gardens, El Cerrito, and Temescal Valley. Noted for its schools, recreational opportunities, and historic/cultural amenities, the City is known for its high degree of livability².

PURPOSE OF THE HOUSING ELEMENT

According to California Government Code Section 65302, the General Plan is required to consist of eight State-mandated elements, including land use, circulation, housing, conservation, open space, noise, environmental justice and safety. The Housing Element is the only element required to be updated on a routine basis, every four, five, or eight years as mandated by California Government Code Section 65581. The purpose of the Housing Element is to craft a comprehensive strategy for providing safe, decent, and affordable housing within the community. The Housing Element has two main purposes:

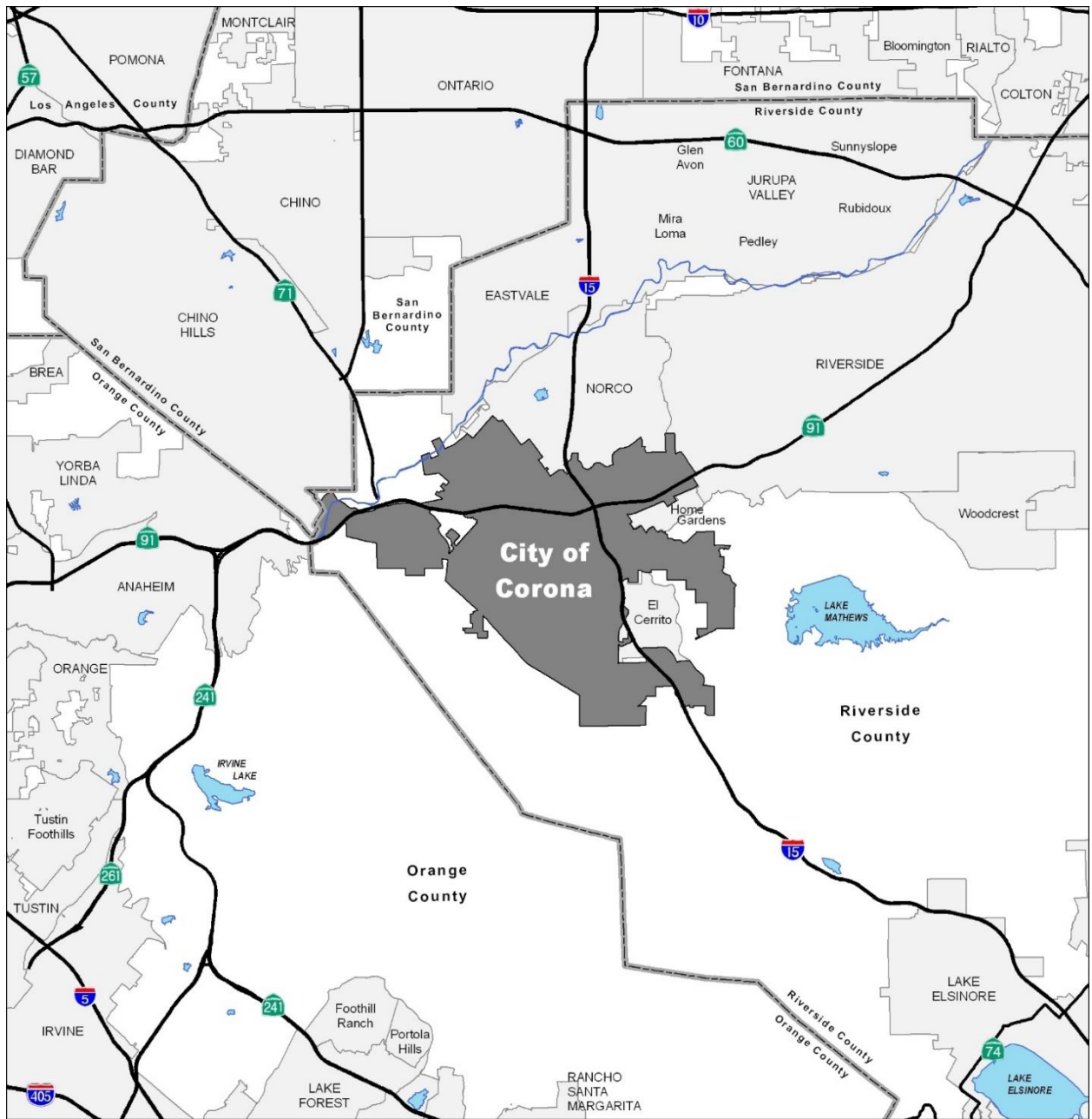
- » To provide an assessment of both current and future housing needs and constraints in meeting these needs; and
- » To provide a strategy that establishes housing goals, policies, and programs.

This Housing Element represents the City of Corona's 6th Housing Element cycle and will be carried out from 2021 through 2029.

1 City of Corona. 2019. General Plan Technical Background Report.
<https://www.coronaca.gov/home/showpublisheddocument?id=17294>

2 City of Corona. 2019. General Plan Technical Background Report.
<https://www.coronaca.gov/home/showpublisheddocument?id=17294>

Figure 1: Geographic Location



Legend

- Corona City Boundary
- Surrounding CITIES/Communities
- Hydrology

Source: Riverside County Transportation & Land Management Agency GIS Data Layers, 2010 TIGER/Line Shapefiles

RELATIONSHIP TO OTHER GENERAL PLAN ELEMENTS

The City of Corona's 2040 General Plan was updated in 2020 and is comprised of the following elements: Land Use; Housing; Community Design; Historic Resources; Economic Development; Parks, Recreation, Cultural Arts, and Education; Circulation; Infrastructure and Utilities; Public Safety; Noise; Healthy Community; and Environmental Resources. California Government Code Section 65583 (c) requires the Housing Element to maintain internal consistency with other General Plan Elements. The Housing Element builds upon policies set forth in the other General Plan elements; for instance, the Land Use and Community Design Element establishes policies regarding the amount, intensity, and distribution of residential uses. The City will maintain and ensure internal consistency among General Plan elements as portions of the General Plan are amended.

ORGANIZATION OF THE HOUSING ELEMENT

The Corona Housing Element is comprised of the following major components:

- » Introduction: a brief overview of the purpose and background for the Housing Element.
- » Community Profile: an assessment of Corona's demographic and housing market characteristics and their correlation to housing needs in the community.
- » Constraints to the Provision of Housing: an analysis of the various market, governmental, and environmental constraints in the City and their impact on the development and preservation of housing in Corona.
- » Housing Opportunities and Resources: an inventory of land, financial, and administrative resources available to facilitate housing development in Corona. Opportunities for energy conservation are also discussed.
- » Housing Plan: An outline of the City's proposed actions and objectives over the next eight years in addressing the housing needs of the community and complying with State law.

SOURCES OF INFORMATION

This Housing Element was updated with various sources of data, including:

- » Census Bureau and American Community Survey (ACS)
- » Department of Finance (DOF)
- » Southern California Association of Governments (SCAG)
- » Home Mortgage Disclosure Act (HMDA) lending data
- » Regional Homeless Point-in-Time Count
- » State Department of Social Services database on residential care facilities
- » State Employment Development Department (EDD) data on wage and labor statistics

PUBLIC PARTICIPATION

The City of Corona values community input and offers various opportunities for residents and community stakeholders to provide input on housing and community development issues. The following summarizes the City's community outreach efforts during the Housing Element development process.

The City hosted a webpage dedicated to the Housing Element Update: www.CoronaCA.gov/GPUUpdate. A record of the webpage and comments received via online submission is included in Appendix A.

On January 21, 2021, the City held a joint public study session meeting with the Planning and Housing Commission and City Council to review the Housing Element process.

On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update. A flyer advertising the workshops was sent to members of the City's contact list, which included approximately 75 service providers, housing professionals, and community stakeholders. A copy of the distribution list is provided in Appendix A. The City provided a short presentation about the Housing Element update and led a discussion on the challenges and opportunities regarding housing needs, special populations, and policies and programs that could be incorporated into the Housing Element Update. The workshops were attended by a total of 16 individuals representing 15 separate non-profit, government, and for-profit agencies.

Additionally, the City circulated a community engagement survey to collect input from Corona residents and housing and services providers. The survey asked questions regarding current living situations and opinions on various housing issues and approaches. This survey was circulated from January 25, 2021 to March 5, 2021. A copy of the survey and the survey results are included in Appendix A. A total of 260 responses were received. Respondents identified the following housing issues and opportunities:

- » Respondents who own a single-family home would most likely consider adding an accessory dwelling unit (ADU) to provide separate living quarters for someone in the family, and if the city offered inexpensive permitting fees, and a simple permitting process.
- » Respondents identified financial assistance programs such as rental assistance and down payment assistance programs, and having more housing types available, as the approaches that would provide the best options for housing in the City.
- » The majority of respondents agreed that new housing should be located throughout the City, as opposed to areas within walking distance to public transportation or in areas near commercial centers.
- » Most respondents felt that high-density apartments and/or condominiums would be best suited in areas where public transportation is within walking distance.
- » When asked to rank the most effective way the City could provide additional options for housing, the majority of respondents identified repurposing older or underutilized commercial centers with housing, including an opportunity for residential and commercial mixed use and live/work units.
- » Respondents identified the need for assistance for people experiencing homelessness in the City.

The City posted information about the Housing Element update on its website, a copy of which is provided in Appendix A. The City hosted a community meeting on May 27, 2021. A flyer advertising the meeting was posted on the city's Housing Element Update webpage, the city's Facebook and distributed to members of the City's contact list. A copy of the flyer for the meeting, in English and Spanish, is

included in Appendix A. The City also sent a letter to the property owners of sites that may be rezoned and/or may be included in one of the two proposed Affordable Housing Overlays (AHOs). The letter templates and distribution list are included in Appendix A. A short presentation was provided at the meeting and covered the Housing Element update, survey results, and potential housing sites. The discussion centered on clarification of parking requirements and whether the City planned to use powers of eminent domain.

The Draft Housing Element was made available to the public on June 18, 2021. City staff also prepared an administrative report on the availability of the draft Housing Element that was submitted to the Planning and Housing Commission at its meeting on June 21, 2021. The City Council at its study session meeting on June 23, 2021, was provided an update on the progress of Housing Element and was presented with housing sites inventory. The document was posted on the City's website, was promoted via social media, and all service providers, housing professionals, and community stakeholders identified in Appendix A received notification that the draft document had been released for public review.

The responses provided on the online survey, and the February 2021 stakeholder workshops, established the foundation in identifying housing sites and program development components of the Housing Element Update. Feedback from the stakeholder workshops and community meeting identified the following issues and concerns:

- » There is an identified need for housing affordable and available for low-income families, low-income individuals, and special needs populations. Housing needs may be met by low-income and affordable housing, supportive housing, apartments, accessory dwelling units (ADUs), and/or mixed-use housing.
- » Affordable and supportive housing should be located in areas close to public transit and essential services such as schools, hospitals, pharmacies, and employment centers.
- » The City should consider mixed-use and/or live-work housing in older commercial areas to help revitalize places such as downtown, older areas, and industrial areas.
- » Barriers to the provision or development of supportive or affordable housing includes various environmental constraints, infrastructure availability, finding partnerships with developers/organizations, lack of a standardized and/or timely permitting, and difficulties concerning the timing and availability of funding sources.

As a response to comments received from the public survey, the stakeholder workshops, and community meeting, the City focused on rezoning sites to allow high-density and mixed-use housing in areas close to public transit and existing services, namely in the North Main Street District Specific Plan area and along East and West 6th Street, which includes properties in the Downtown Corona Revitalization Specific Plan area. Housing in the Downtown Corona Revitalization Specific Plan area will help revitalize the older downtown core of Corona and place housing near existing employment centers and services such as social service agencies and hospitals. In response to public input that identified a need for affordable housing, the City plans to meet Regional Housing Needs Allocation (RHNA) goals by implementing an affordable housing overlay (AHO) zone designed to incentivize affordable housing development.

Also, in response to public input, the City will continue and/or expand programs to support housing opportunities for special needs populations including people experiencing homelessness, enhance outreach and streamlining for ADU development, and address the regulatory, financial, and other constraints to developing supportive and affordable housing.

Chapter 2: Housing Needs Assessment

Ensuring the availability of adequate housing for all social and economic sectors of the City's present and future population is an important goal for Corona. To implement this goal, the City must target its resources and programs toward those households and populations with the greatest need. This section of the Housing Element discusses the characteristics of the City's present and future population and housing stock to define the nature and extent of unmet housing needs in Corona.

POPULATION

POPULATION GROWTH TRENDS

Because the 2020 Census data has not yet been released, population estimates for 2019 were used for this analysis. According to the Census, the City of Corona's population doubled in size from 76,095 in 1990 to 152,374 in 2010. Between 2010 and 2019, the City grew an additional 11.5 percent. The City's sustained growth since 1990 is reflective of the proximity to Orange County, San Diego County, and the Los Angeles region. Table 1 shows the city's population growth between 1990 and 2019.

Table 1: Population Growth Trends (1990-2019)

Jurisdictions	Population				Percent Change	
	1990	2000	2010	2019	2000-2010	2010-2019
Corona	76,095	124,966	152,374	169,868	21.9%	11.5%
Chino Hills	27,608*	66,787	74,799	83,853	12.0%	12.1%
Moreno Valley	118,779	142,381	193,365	213,055	35.8%	10.2%
Norco	23,302	24,157	27,063	26,604	12.0%	-1.7%
City of Riverside	226,505	255,166	303,871	331,360	19.1%	9.0%
County of Riverside	1,170,43	1,545,387	2,189,641	2,470,546	41.7%	12.8%

Source: Bureau of the Census, 1990-2010, 2019

Note: The 2020 Census data was not available as of the date of publication of the draft document (June 2021).

AGE CHARACTERISTICS

The age distribution of a population is an important factor in evaluating housing needs and projecting the direction of future housing development. Traditionally, both the young adult population (20-34 years of age) and the elderly population (65 years and over) tend to favor apartments, low to moderately priced condominiums, and smaller single-family units. Persons between 35-65 years old (and those households with school-age children) usually provide the major market for moderate to high cost apartments, condominiums, and larger single-family units, because they tend to have higher disposable incomes and larger household sizes. Table 2 illustrates the age distribution of Corona and County residents in 2010 and 2018.

As shown in Table 2, Corona's percentage of children four years old and under dropped from 7.4 percent in 2010 to 6.4 percent in 2019. Corona had a greater proportion of school-age children between the ages of five and 17 (21.5 percent) than the County (21.0 percent) and a greater proportion of residents between the ages of 25 and 44 (29.2 percent) than the County (26.7 percent). The median age of the City increased from 32.5 in 2010 to 35.0 in 2019 but remained lower than the 2019 County average of 35.6. Corona has slightly more middle-age adults between the ages of 45 and 64 (25.8 percent) than the County (23.9 percent) and a significantly smaller proportion of seniors (9.9 percent) when compared to the County (14.1 percent). As a share of the total population, seniors between 2010 and 2019 increased by 2.6 percentage points.

Table 2: Age Distribution (2010-2019)

Age Group	2010			2019			
	Number of Corona Residents	Percent of Corona Population	Riverside County Comparison	Number of Corona Residents	Percent of Corona Population	Percent Change 2010-2019	Riverside County Comparison
Preschool (4 and under)	11,325	7.4%	7.4%	10,605	6.4%	-6.4%	6.5%
School Age (5-17)	34,349	22.6%	20.8%	35,996	21.5%	+4.8%	21.0%
College Age (18-24)	15,504	10.2%	10.5%	12,072	7.2%	-22.1%	7.0%
Young Adults (25-44)	44,215	29.0%	26.3%	48,820	29.2%	+10.4%	26.7%
Middle Age (45-64)	35,801	23.5%	23.1%	43,014	25.8%	+20.1%	23.9%
Senior Adults (65+)	11,180	7.3%	11.8%	16,466	9.9%	+47.3%	14.1%
Total	152,374	100.0%	100.0%	166,973	100.0%	+9.6%	100.0%
Median Age	32.5		33.7	35.0			35.6

Sources: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018.

RACE AND ETHNICITY

Understanding racial and ethnic composition of a City's population is important to an analysis of housing needs and conditions for several reasons. Demographic changes can have implications on the nature and extent of housing needs since different racial and ethnic groups may have different household characteristics and cultural backgrounds that affect their preferences for housing.

As shown below in Table 3, Hispanic/Latino residents comprise the largest racial/ethnic group in Corona, followed by non-Hispanic White residents. All racial/ethnic groups have increased in population in the City between 2010 and 2018 except for Native Americans, which declined by nearly half. The largest percentage change between 2010 and 2018 was the Other/Two or More Races category with a percent change of 23.9 percent, along with the Asian population which saw a percent change of 23.4. The White (Non-Hispanic) category increased slightly during this time, at 2.4 percent, and the Black (Non-Hispanic) category increased by 13.7 percent. The City has historically conducted public noticing and outreach in English and Spanish. There have not been requests for language assistance in additional languages.

Table 3: Race and Ethnicity (2010-2018)

Age Groups	2010		2018		2010-2018 Percent Population Change
	Corona Residents	Percent of Total	Corona Residents	Percent of Total	
White (Non-Hispanic)	58,087	38.1%	59,484	36.0%	2.4%
Black, Non-Hispanic	8,333	5.5%	9,421	5.7%	13.7%
Native American	422	0.3%	223	<0.1%	-47.2%
Asian	14,650	9.6%	18,074	10.9%	23.4%
Other/Two or more	4,435	2.9%	5,495	3.3%	23.9%
Hispanic	66,447	43.6%	72,658	44.0%	9.3%
Total	152,374	100%	165,355	100%	8.5%

Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018.

EMPLOYMENT

Employment availability, growth, and wages greatly affect housing demands. Incomes associated with different jobs and the number of workers in a household determines the type and size of housing a household can afford. Higher-paying jobs provide greater housing opportunities for residents, while lower-paying jobs limit housing options. In addition, the type of employment growth in a city can affect housing needs and demand – for example, communities with military installations, large factories, college campuses, or seasonal agriculture.

According to the 2014-2018 American Community Survey (ACS), there were 80,196 Corona residents in the labor force, representing a labor force participation rate of 62.5 percent of persons 16 years and over. Table 4 shows the number of persons employed in each job industry and the corresponding percentage of the labor force for the City. The largest occupational category for City residents was education/health care/social assistance. The unemployment rate was 5.5 percent, compared to the County's unemployment rate of 6.7 percent.

Table 4: Jobs Held by Corona Residents

Job Industry	Number	Percent
Agriculture, forestry, fishing and hunting, and mining	160	0.2%
Construction	5,796	7.2%
Manufacturing	11,008	13.7%
Wholesale trade	2,893	3.6%
Retail trade	9,767	12.2%
Transportation and warehousing, and utilities	4,299	5.4%
Information	1,241	1.5%
Finance, insurance, real estate, and rental and leasing	5,045	6.3%
Professional, scientific, management, administration, and waste management	8,024	10.0%
Educational, health care, and social assistance	16,461	20.5%
Arts, entertainment, and recreation, accommodation, and food serves	7,487	9.3%
Other services, except public administration	3,800	4.7%
Public administration	4,215	5.3%
Total employed persons (16 years and over)	80,196	100%
Total persons in labor force	84,863	
Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018		

Corona's proximity to major transportation corridors makes this area an attractive location for firms seeking ready access to markets in the counties of Riverside, San Diego, Orange, Los Angeles, and San Bernardino. Several major employers are located within Corona. As shown in Table 5 below, major employers in the community include Corona-Norco Unified School District, Corona Regional Medical Center, and Kaiser Permanente.

Table 5: Major Employers in Corona

Name of Employer	Number of Employees	Percent of Total City Employment	Type of Business
Corona-Norco Unified School District	5,478	6.55%	Education
Corona Regional Medical Center	1,200	1.44%	Medical
Kaiser Permanente	995	1.19%	Medical
All American Asphalt	840	1.00%	Construction
City of Corona	785	0.94%	Municipal
TWR Framing Enterprises	750	0.90%	Construction
Fender USA Corona	675	0.81%	Manufacturing/Retail
Monster Energy	607	0.73%	Manufacturing/Retail
Thermal Structures	500	0.60%	Manufacturing/Retail
Veg Fresh Farms	425	0.51%	Agriculture/Retail
Total	12,255	14.67%	
Source: 2019 Analysis of Impediments			

Table 6 displays mean annual wage data for occupations compiled by the California Employment Development Department (EDD) for the Riverside County Area. Education and healthcare occupations generally offer moderate pay scales while social service and manufacturing-related occupations offer lower wages.

Table 6: Mean Salary by Occupation – Riverside Region

Occupation	Mean Annual Wage
Management	\$115,670
Legal	\$117,886
Computer and Mathematical	\$85,434
Healthcare Practitioners and Technical	\$100,429
Architecture and Engineering	\$89,949
Life, Physical and Social Science	\$84,995
Business and Financial Operations	\$70,841
Education Instruction and Library	\$68,733
Arts, Design, Entertainment, Sports and Media	\$57,896
Construction and Extraction	\$57,678
Protective Service	\$57,169
Community and Social Service	\$59,837
Installation, Maintenance and Repair	\$52,052
Sales and Related	\$41,705
Office and Administrative Support	\$43,346
Production	\$39,858
Transportation and Material Moving	\$38,729
Healthcare Support	\$31,819
Building, Grounds Cleaning, and Maintenance	\$35,403
Personal Care and Service	\$34,054
Farming, Fishing and Forestry	\$28,350
Food Preparation and Serving Related	\$29,429
All Occupations	\$51,996
Source: California Employment Development Department, Occupational Wage data, 2020.	

HOUSEHOLD CHARACTERISTICS

HOUSEHOLD COMPOSITION AND SIZE

The Census defines a household as all persons who occupy a housing unit, regardless of whether these persons are related by birth, marriage, or adoption. People living in retirement or convalescent homes, dormitories, or other group living situations are not considered households. The characteristics of the households in a community are important indicators of the types of housing needed in that community.

Household size is a significant factor in housing demand. Often, household size can be used to predict the unit size that a household will select. For example, small households (one and two persons per household) may find suitable housing in units with up to two bedrooms, while large households (five or more persons per household) may desire housing in units with three or more bedrooms.

Table 7 shows that more than a third of households in the City of Corona in 2018 (most recent available data) largely consisted of families with children (36.6 percent), similar to neighboring jurisdictions and the County as a whole. Additionally, 20.7 percent were single-person households, 16.3 percent of households were headed by seniors (65+), 8.4 percent of households were single-parent households, and 18.0 percent were large households.

Table 7: Household Characteristics

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786
Chino Hills	2,892 (14.3)	3,820 (18.9)	8,726 (43.2)	1,533 (7.6)	3,225 (16.0)	20,196
Moreno Valley	6,166 (11.1)	7,125 (12.8)	21,106 (37.9)	7,022 (12.6)	14,231 (25.6)	55,650
Norco	1,471 (20.9)	1,828 (26.0)	2,106 (30.0)	382 (5.4)	1,241 (17.7)	7,028
City of Riverside	18,050 (19.1)	18,985 (20.1)	30,617 (32.4)	9,523 (10.1)	17,209 (18.2)	94,384
Riverside County	156,113 (23.8)	69,255 (9.3)	238,702 (30.6)	67,737 (8.9)	143,669 (20.0) ¹	718,349

Source: American Community Survey, 2014-2018. SCAG Corona Local Data. ¹SCAG Profile of Riverside County.

As shown below in Table 8, the percentage of single person and senior-headed households has increased from 2010 to 2018, while the percentage of families with children, single-parent households, and large households has decreased. The average household size also decreased slightly.

Table 8: Corona Household Characteristics (2010-2018)

Household Type	2010		2018		Percent Change (2010-2018)
	Number	Percent	Number	Percent	
Single Person Households	6,372	14.4	10,309	20.7	61.8
Senior Headed Households	6,113	13.6	8,115	16.3	32.8
Families with Children	20,317	45.2	18,219	36.7	-10.3
Single-Parent Households	4,765	10.6	4,167	8.4	-12.5
Large Households	10,504	23.4	8,976	18.1	-14.5
Total Households	44,950	100	49,786	100	10.8
Average Household Size	3.4	-	3.3	-	-
Source: American Community Survey, 2014-2018. SCAG Corona Local Data.					

OVERCROWDING

The State Department of Housing and Community Development (HCD) defines an overcrowded household as one with more than one person per room, excluding bathrooms, kitchens, hallways, and porches. Overcrowding in households results from either a lack of affordable housing (which forces an increased number of persons to live together) and/or a lack of available housing units of adequate size.

Overcrowding typically occurs when there are not enough adequately sized units within a community, when high housing costs relative to income force too many individuals to share a housing unit than it can adequately accommodate, or when families reside in smaller units than they need to devote income to other necessities, such as food and health care. Overcrowding tends to accelerate the deterioration of housing and disproportionately affects renter-households. Therefore, maintaining a reasonable level of occupancy and alleviating overcrowding are critical to enhancing quality of life.

As shown below in Table 9, overcrowding affected 5.9 percent of households in Corona. Overcrowding decreased from 2010, when approximately 8.2 percent of households were overcrowded. Approximately 66.4 percent of overcrowded households rented versus 33.6 that owned their own homes.

Table 9: Average Household Size and Overcrowded Households

Jurisdiction	Average Household Size	Percent of Households That are Overcrowded	Percent of Overcrowded Households: Renters	Percent of Overcrowded Households: Owners
Corona	3.32	5.9%	66.4%	33.6%
Chino Hills	3.25	4.3%	52.8%	47.2%
Moreno Valley	4.04	10.6%	56.3%	43.7%
Norco	3.32	3.2%	27.7%	72.3%
City of Riverside	3.31	9.5%	68.6%	31.4%
Riverside County	2.96	6.9%	58.7%	41.3%
Source: American Community Survey, 2014-2018.				

In 2018, the average number of persons per household in the Riverside County region ranged from 3.25 to 4.04, with a regionwide average of 2.96 persons per household. Corona had an average of 3.32 persons per household in 2018, representing a small decrease from 2010, when an average of 3.38 persons per household was recorded. Corona had a smaller average household size than Moreno Valley and Norco. Furthermore, Corona had a lower percentage of overcrowded households when compared to Moreno Valley, City of Riverside, and the County of Riverside.

INCOME DISTRIBUTION

Income is a major factor in evaluating the affordability of housing in a community. According to the 2015-2019 ACS, the median household income in Corona was \$83,752, significantly above the countywide median of \$67,005. However, 13.9 percent of the City's households earned less than \$25,000. The 2015-2019 ACS estimated that approximately 9.8 percent of individuals, 7.8 percent of all families, 20.1 percent of families with a female householder and no spouse present, 11.0 percent of people 65 years old and over, and 11.5 percent of related children under 18 in Corona lived in households with incomes below the poverty level.³

For planning and funding purposes, the California State Department of Housing and Community Development (HCD) has developed the following income categories based on the Area Median Income (AMI) of a metropolitan area such as Riverside County. Collectively, extremely low, very low, and low income households are referred to as lower income households (up to 80 percent AMI):

- » Extremely low-income: households earning up to 30 percent of the AMI
- » Very low-income: households earning between 31 and 50 percent of the AMI
- » Low-Income: households earning between 51 percent and 80 percent of the AMI
- » Moderate-Income: households earning between 81 percent and 120 percent of the AMI
- » Above Moderate-income: households earning over 120 percent of the AMI

³ Categories are not mutually exclusive.

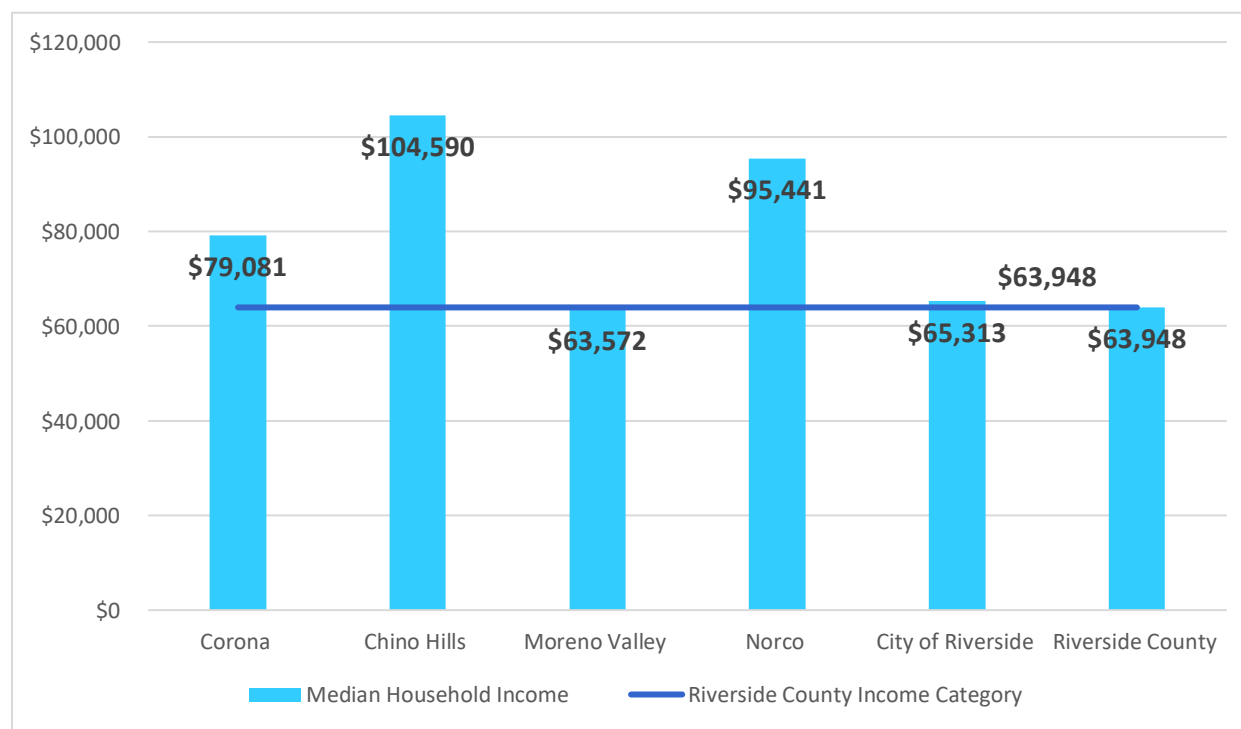
As shown below in Table 10, between 2014 and 2018, approximately 60.1 percent of Corona households earned moderate or above moderate-incomes, while 39.8 percent of households were classified as lower-income.

Table 10: Households by Income Category

Income Category (Percent of County AMI)	Households	Percent
Extremely Low (30% or less)	3,159	8.8%
Very-Low Income (<50% of AMI)	5,610	15.6%
Low Income (50-80% of AMI)	5,403	15.0%
Moderate Income (80-120% of AMI)	4,320	12.0%
Above Moderate Income (> 120%)	17,424	48.5%
Total	35,916	99.9%
Source: Bureau of the Census, ACS, 2014-2018		

The 2014-2018 ACS estimated that the median household income in Corona was \$79,081, approximately 24 percent higher than the County median income of \$63,948. The Cities of Chino Hills and Norco had a higher median household income than Corona, while Moreno Valley and the City of Riverside had lower median household incomes than Corona. Figure 2 below compares household incomes in Corona and neighboring jurisdictions relative to the median household income in Riverside County.

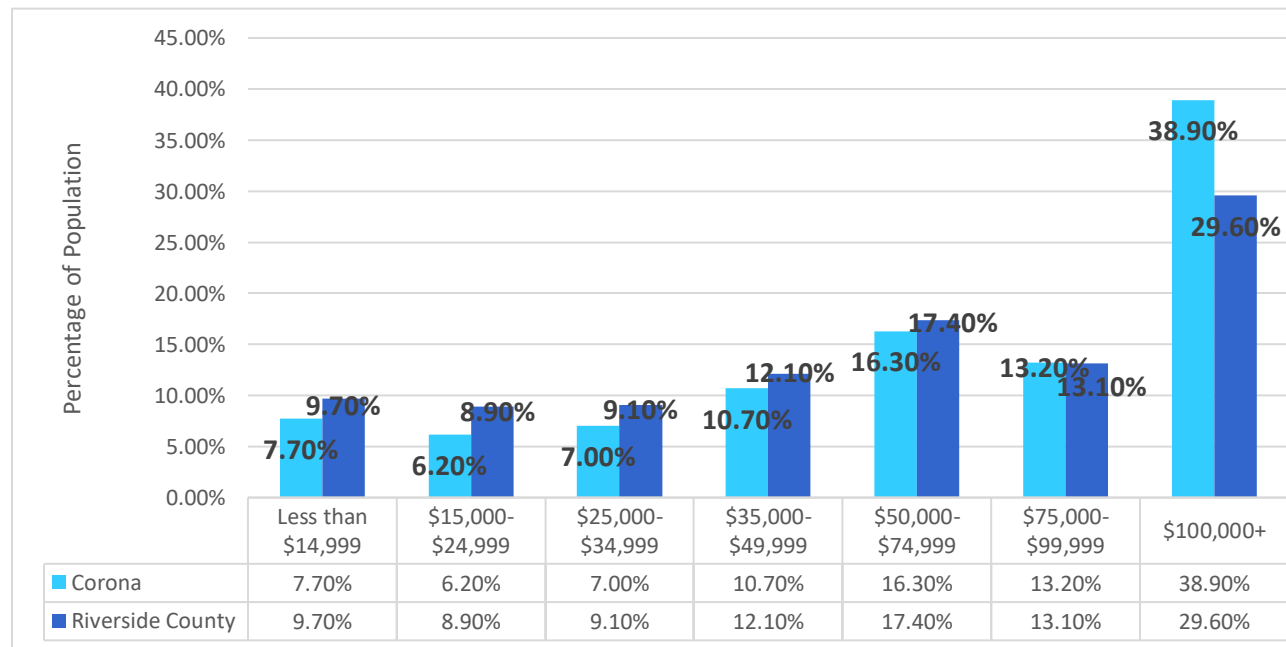
Figure 2: Median Household Income



Source: Bureau of the Census, ACS, 2014-2018.

As shown in Figure 3, less than 14 percent of Corona households earned less than \$25,000 (2014-2018 ACS data). In contrast, about 39 percent of Corona households earned \$100,000 or more. Corona had a higher percentage of moderate to higher income households than Riverside County.

Figure 3: Household Income



SPECIAL NEEDS GROUPS

Certain segments of the population may have a more difficult time finding affordable housing that fits their special circumstances or needs. These “special needs” households include seniors, persons with disabilities, large households, single-parent households, people living in poverty, farmworkers, and unhoused people. Table 11 below summarizes the special needs groups within the City.

Table 11: Special Needs Groups in Corona

Special Needs Group	Persons or Households	Percent of Total Persons or Households
Households with Seniors	11,059	22.3%
Senior Headed Households	8,115	9.9%
Seniors Living Alone	2,877	5.8%
Persons with Disabilities*	26,059	15.6%
Large Households	8,976	5.4%
Single-Parent Households	4,167	16.1%
Female Headed Households	5,446	11.0%
Female Headed Households with children	2,843	5.7%
People Living in Poverty*	3,063	6.2%
Farmworkers*	152	0.2%
Unhoused People	164	0.1%
Students*	47,981	29.0%
Military*	6,171	3.7%
*Estimate from the 2014-2018 ACS		
Sources: Bureau of the Census; 2000-2010 Census and American Community Survey (ACS), 2014-2018		

SENIORS

Senior-headed households may have difficulty finding adequate housing due to the likelihood of lower and/or fixed incomes, disabilities, or dependence needs. According to the 2014-2018 ACS, 8,115 of Corona's households (16.6 percent of total households) were headed by seniors. Of these, 2,877 (35.5 percent) were single-person households. As depicted in Table 12, 1,779 of the senior-headed households were renters (37.7 percent), while 6,521 owned their home (62.3 percent). This ratio generally reflects the owner/renter balance of the City as a whole. As seniors age, their housing needs may change.

The City's percentage of persons age 65 and over was approximately 10 percent (2014-2018 ACS data). This percentage is comparable to neighboring jurisdictions, but lower than the County's approximately 14 percent.

Table 12: Persons Age 65 and Over

Jurisdiction	Total	Age 65+	Percent Age 65+
Corona	168,248	16,385	9.9%
Chino Hills	79,298	8,527	10.8%
Moreno Valley	205,034	16,793	8.2%
Norco	26,569	3,425	12.9%
City of Riverside	323,935	33,695	10.4%
County of Riverside	2,383,286	328,609	13.8%
Source: Bureau of the Census, American Community Survey, 2014-2018.			

Seniors who live alone may have special housing needs due to a need for assistance with finances and daily living activities. The 2018 Census indicated that among the City's 16,385 seniors, 1,669 were age 85 and older. These residents may require more housing assistance and supportive services. Senior homeowners require help in meeting ongoing housing costs, especially utility and related costs, and often are forced to defer necessary repairs. The higher prevalence of disabilities in the senior population can further present unique challenges and housing needs for this population.

Housing Resources for Seniors

The following senior apartments set aside as affordable are located in Corona:

- » Corona Community Towers, 910 S. Bell Avenue – 36 units
- » Corona Community Villas, 2680 S. Main Street – 75 units
- » River Run Senior Apartments, 863 River Road – 360 units
- » Vintage Terrace, 1910 Fullerton Avenue – 200 units
- » William C. Arthur Terrace Apts., 1275 W. 8th Street – 40 units

State and federal legislation mandates that a percentage of units in new or substantially rehabilitated multi-family apartment complexes be made accessible to individuals with limited physical mobility. The City also offers flexibility in development standards and reasonable accommodations for projects proposing housing affordable to seniors and persons with disabilities.

Senior housing needs also include supportive housing, such as care facilities, group homes, and other housing that includes a planned service component.

Residential care facilities provide housing with limited medical services. The California Health and Safety Code requires that community care facilities serving six or fewer persons be permitted by right in residential zones. The City does not regulate residential care facilities for six or fewer persons; such homes are permitted by right in all residential zones as regular residential uses (R3, RG/R2, R1, and A zones). Residential care facilities for more than six persons can operate in those zones with a Conditional Use Permit (CUP). Proposed residential care facilities are subject to the same development standards that apply to that zone. The Corona Senior Center offers an array of programs and activities to adults age 50

and older. The multi-purpose facility stands as a place for senior citizens to participate in educational programs, receive human services, engage in recreational, fitness and health activities, and socialize. Human services offered at the center include renter's and homeowner's assistance, and access to home-delivered food programs. Education workshops hosted by various agencies target achieving a healthier lifestyle, understanding Medicare, and reducing medical costs.

PERSONS WITH DISABILITIES

Physical, mental, and/or developmental disabilities may prevent a person from working, restrict one's mobility, or make it difficult to care for oneself. Thus, persons with disabilities often have special housing needs related to limited earning capacity, a lack of accessible and affordable housing, and higher health costs associated with a disability. Some residents suffer from disabilities that require living in a supportive or institutional setting. The 2010 Census did not collect information on disability. According to 2014-2018 ACS data, approximately 26,059 (15.6 percent) of Corona residents had a disability. The ACS also tallied the number of disabilities by type for residents with one or more disabilities. Among the disabilities tallied, ambulatory difficulties were most prevalent, while cognitive and independent living difficulties were also highly prevalent. As shown below in Table 13, ambulatory and independent living difficulties were most prevalent in among the senior population.

Table 13: Disabilities Tallied in Corona, Including Developmental Disabilities

Disability Type	Number of Disabilities Tallied
	Total
Hearing difficulty	3,508
Vision difficulty	2,747
Cognitive difficulty	5,084
Ambulatory difficulty	6,551
Self-care difficulty	2,946
Independent living difficulty	5,223
Total Disabilities	26,059

Note: One person can have multiple disabilities.

Source: Bureau of the Census, American Community Survey (ACS), 2014-2018.

The living arrangement of disabled persons depends on the severity of the disability. Many persons with disabilities live at home in an independent fashion or with other family members. Independent living can be facilitated through special housing features and accommodations, income support, and in-home supportive services. Dependent persons with disabilities may live at home with families, in group homes, or in an institutionalized setting.

Housing Resources for Persons with Disabilities

As previously stated, State and federal legislation mandates that a percentage of units in new or substantially rehabilitated multi-family apartment complexes be made accessible to individuals with limited physical mobility. The City also offers flexibility in development standards and reasonable accommodations for projects proposing housing affordable to seniors and persons with disabilities.

Congregate residential living facilities, which provide housing for persons with physical disabilities, are permitted by right in all residential zones as regular residential uses (R3, RG/R2, R1, and A zones) if they have six or fewer clients per unit. Facilities for more than six persons can operate in those zones with a Conditional Use Permit (CUP).

PERSONS WITH DEVELOPMENTAL DISABILITIES

As defined by state law, “developmental disability” means a severe, chronic disability of an individual who:

- » Is attributable to a mental or physical impairment or combination of mental and physical impairments;
- » Is manifested before the individual attains age 18;
- » Is likely to continue indefinitely;
- » Results in substantial functional limitations in three or more of the following areas of major life activity: a) self-care; b) receptive and expressive language; c) learning; d) mobility; e) self-direction; f) capacity for independent living; or g) economic self-sufficiency; and
- » Reflects the individual’s need for a combination and sequence of special, interdisciplinary, or generic services, individualized supports, or other forms of assistance that are of lifelong or extended duration and are individually planned and coordinated.

The Center for Disease Control lists developmental disability types:⁴

- » ADHD,
- » Autism spectrum disorder
- » Cerebral palsy
- » Hearing loss
- » Intellectual disability
- » Learning disability
- » Vision impairment
- » Other developmental delays

The State of California Department of Developmental Services Regional Center and Early Start Consumers lists the number of persons with developmental disabilities by zip code. As of December 2020, the number of youth (0-17 years of age) and adult (18 years or older) persons with developmental disabilities were reported for each of these zip codes that are located in Corona:⁵

- » 92878: Youth - 12; Adults – fewer than 11
- » 92880: Youth - 314; Adults - 242
- » 92881: Youth - 109; Adults - 123
- » 92882: Youth - 265; Adults - 244
- » 92883: Youth - 168; Adults - 115

4 <https://www.cdc.gov/ncbddd/developmentaldisabilities/facts.html>

5 <https://www.dds.ca.gov/transparency/facts-stats/>

The total number of adults with developmental disabilities in all of the zip codes is 735. As each of these zip codes overlay multiple cities, it is difficult to determine the precise number of persons residing in Corona with developmental disabilities. Some of this population may be living with relatives, while others may need housing.

Individuals with severe intellectual and developmental disabilities often rely on Supplemental Security Income (SSI) as their only source of income, and these payments place households below the 30 percent AMI level in Corona. Some people with developmental disabilities may need wraparound services in supportive housing, while others may live more independently.

Housing Resources for Persons with Developmental Disabilities

As of May 2012, 196 beds were available at State licensed adult residential facilities in Corona. Specifically, Peppermint Ridge, a nonprofit organization focuses on serving the developmentally disabled, operates a variety of living environments, including five homes on its main campus and three homes located throughout Corona, with a combined capacity of 24 beds. The Regional Center provides diagnoses and assessments of eligibility, and helps plan, access, coordinate, and monitor the services and supports that are needed because of a developmental disability. The Inland Regional Center serves as a resource where families of developmentally disabled persons can obtain services and/or be referred to appropriate community resources in the fields of health, welfare, and education.

LARGE HOUSEHOLDS

Large households are defined as those with five or more members. Large households are identified as a group with special housing needs based on the limited availability of affordable, adequately sized housing units. It is not uncommon for large households to have lower incomes or consist of more than one family. To save on housing costs, many lower income large households resort to residing in smaller units, frequently resulting in overcrowded living conditions. Large households can also put a physical strain on the housing stock, resulting from the greater wear-and-tear on a unit.

As shown below in Table 14, 8,976 households in Corona with five or more members comprise 18 percent of the total households, with 2,997 of these households being renters (approximately 33 percent) and 5,979 being homeowners (approximately 67 percent).

Table 14: Large Households

Jurisdiction	Total Large Households		Homeowners		Renters	
	Number	Percent of Total Households	Number	Percent of Large Households	Number	Percent of Large Households
Corona	8,976	18.0%	5,979	66.6%	2,997	33.4%
County of Riverside	143,669	20.0%	N/A	N/A	N/A	N/A
Sources: 2014-2018 American Community Survey (ACS); Corona Analysis of Impediments, County of Riverside Community Profile (SCAG)						
N/A = Data not available						

With a shortage of adequately sized rental housing in the market, many lower income large families either live in overcrowded units, overpay for housing relative to their incomes, or settle for housing of lesser quality.

Housing Resources for Large Households

Lower and moderate-income large households can benefit from various affordable housing programs. The Housing Choice Voucher Program administered by the Riverside County Housing Authority can assist this group by providing rent subsidies and homeownership assistance.

FEMALE-HEADED HOUSEHOLDS

Single-parent households require special consideration and assistance because of their greater need for affordable and accessible day care, health care, and other supportive services. The 2014-2018 ACS estimated that approximately 16.1 percent of Corona households were headed by a single-parent. As shown below in Table 15, female-headed households accounted for approximately 11.1 percent of total Corona households. The 2014-2018 ACS reported 5,446 female-headed households in Corona, of which 3,257 had children. Of total Corona households, 2.4 percent were both female-headed households and had incomes below the poverty level, and 39.0 percent of the City's households with incomes below the poverty level were female-headed. Many of these households need assistance with housing subsidies, as well as accessible and affordable day care and other supportive services.

Table 15: Single Parent-Headed Households

Jurisdiction	Total Households	Number of Single Parent-Headed Households	Percent of Total Households	Number of Female-Headed Single-Parent Households	Percent of Total Households
Corona	49,658	7,995	16.1%	5,446	11.1%
County of Riverside	718,349	136,430	19.0%	93,534	6.7%

Source: American Community Survey, 2014-2018.

Housing Resources for Single-Parent Households

General programs and policies outlined in the Housing Plan in Chapter 6 will help facilitate housing units for low-income households, which may assist single-parent households locate affordable housing.

LOW-, VERY LOW-, AND EXTREMELY LOW-INCOME HOUSEHOLDS

Extremely low-income is defined as households with income less than 30 percent of area median income. The area median income in the City is \$79,081. Extremely low-income households are those with an income of \$23,724 or less. Households with extremely low-income have a variety of housing situations and needs. For example, most families and individuals receiving public assistance, such as social security insurance (SSI) or disability insurance are considered extremely low-income households.

According to the 2013-2017 ACS, approximately 4,360 extremely low-income households exist in the City, representing 8.7 percent of the total households. About half (56.4 percent) of extremely low-income

households are renters and experience a high incidence of housing problems. According to the ACS, 80.6 percent of extremely low-income households reported experiencing housing problems (defined as cost burden greater than 30 percent of income and/or overcrowding and/or without complete kitchen or plumbing facilities). Furthermore, 74.4 percent of extremely low-income households paid more than 50 percent of their income toward housing costs, compared to 46.6 percent for all households.

Households with incomes below the poverty level, which are typically households classified as extremely low and very low incomes, may require special programs to assist them in meeting their rent and mortgage obligations. The 2014-2018 ACS identified 6.2 percent of all family households and 2.4 percent of female-headed households to have extremely low and very low incomes. The ACS identified 10.5 percent of all Corona residents as living in households with incomes below the poverty level, including 12.9 percent of all people under 18 years of age, and 11.1 percent of all people 65 years of age and over.

These households often need assistance with housing subsidies, utility, and other living expense subsidies, as well as other supportive services.

Housing Resources for Low-, Very-, and Extremely Low-Income Households

Many extremely low-income households seek rental housing and may face an overpayment, overcrowding, or substandard housing conditions. Some extremely low-income households could have physical or mental disabilities and/or other special needs. To address the range of needs, the City will employ Program 24 to support the development of housing types that may fit the needs of extremely low-income residents, such as single-room occupancy (SRO) units and supportive housing. Supportive housing is very affordable rental housing for vulnerable people who do not have a home or are leaving institutions or hospitals. It is linked to intensive case management and life-improving services like health care, workforce development, and child welfare. The City regulates supportive housing as a residential use, provided supportive services are subordinate to the residential use.

General programs and policies outlined in the Housing Plan in Chapter 6 will help facilitate housing units for low-, very low-, and extremely low-income households. These efforts will continue and be improved upon to continue to provide housing for low-income residents.

RESIDENTS EXPERIENCING HOMELESSNESS

Homelessness has become an increasing problem throughout the County of Riverside. Factors contributing to the rise in the number of people experiencing homelessness include a general lack of housing affordable to lower income persons, reductions in public subsidies to low-income persons, and lack of available and affordable mental and physical health services.

State law (Section 65583(1) (6)) requires municipalities to address the special needs of unhoused persons within their jurisdictional boundaries. "Homelessness" as defined by HUD, describes an individual (not imprisoned or otherwise detained) who:

Lacks a fixed, regular, and adequate nighttime residence; and

Has a primary nighttime residence that is:

- » A supervised publicly or privately operated shelter designed to provide temporary living accommodations (including welfare hotels, congregate shelters, and transitional housing for the mentally ill);
- » An institution that provides a temporary residence for individuals intended to be institutionalized; or

- » A public or private place not designed for, or ordinarily used as, a regular sleeping accommodation for human beings.

This definition does not include persons living in substandard housing, (unless it has been officially condemned); persons living in overcrowded housing (for example, doubled up with others), persons being discharged from mental health facilities (unless the person was homeless when entering and is considered to be homeless at discharge), or persons who may be at risk of homelessness (for example, living temporarily with family or friends.)

The County of Riverside Homeless Count and Survey analyzed the Point-in-Time (PIT) count using a HUD-approved method for calculating the annual estimation. According to the County of Riverside Homeless Count & Survey, there were approximately 2,884 homeless individuals in Riverside County in 2020, shown below in Table 16. Of these individuals, the majority were unsheltered (73 percent), which includes persons living on the streets, persons estimated to be residing in cars, recreational vehicles (RVs), vacant buildings, and homeless camps. The survey estimated there to be 109 persons experiencing homelessness in Corona, which comprised 3.8 percent of the total number counted in the County.

Table 16: Persons Experiencing Homelessness in Corona and Riverside County

Jurisdiction	Sheltered	Unsheltered	Total	Percent of County Population of Persons Experiencing Homelessness
Corona	0	109	109	3.8%
County of Riverside	729	2,155	2,884	100%
Source: Regional Housing Task Force on the Homeless, 2020.				

Housing Resources for Persons Experiencing Homelessness

The City's five-year Homeless Strategic Plan calls for Annual Action Plans that are tied to the budget. One goal of the Plan is for the City to open a newly remodeled homeless shelter/navigation center at 420 Harrison Street. The City is scheduled to open the shelter in Fall 2021. The City continues to provide emergency shelter through its Motel Voucher Program. The City also supports Alternatives to Domestic Violence (ADV) to offer a crisis hotline, counseling and emergency shelter to local victims of domestic violence. This program is currently offered by the Corona-Norco United Way, which operates in the City of Corona.

The Corona Norco Settlement House, a United Way Agency, is located at 507 S. Vicentia Avenue, Corona, and provides emergency food, clothing, and utility vouchers. Depending on available funding, the organization also provides rental vouchers for families who are unable to make their rent payments and face eviction and possible homelessness. Additionally, referral services, a thrift store, and assistance with holiday toys are coordinated through the agency.

Additionally, the following agencies provide services for persons experiencing homelessness in Corona:

- » City of Corona Homeless Outreach and Psychological Evaluation (HOPE) Team Care Shelter
- » RCCADV (Alternatives to Domestic Violence)

- » Shelter for the Homeless (Riverside Men's Shelter)
- » Genesis (Lutheran Social Services)
- » City of Corona Motel Emergency Shelter Program
- » City Net

Sub-populations of the homeless include those with mental disabilities and substance abuse problems, those suffering domestic violence, persons with AIDS, veterans, youth, the unemployed, and extremely low/very low-income families. Each of these sub-population groups has different needs including substance abuse recovery, mental treatment, medical treatment, and job training and placement.

FARMWORKERS

Farmworkers are traditionally defined as persons whose primary incomes are earned through permanent or seasonal agricultural labor. Permanent farm laborers work in the fields, processing plants, or related activities on a generally year-round basis. When workload increases during harvest periods, the labor force is supplemented by seasonal labor, often supplied by a labor contractor. For some crops, farms may employ migrant workers, defined as those whose travel distance to work prevents them from returning to their primary residence after their work ends for the day.

Due to the high cost of housing and low wages, a substantial number of migrant farm workers have difficulty finding affordable, safe, and sanitary housing. According to the State Employment Development Department, the average farm worker earned a mean annual income of \$32,000 in 2020. This limited income is exacerbated by a tenuous and/or seasonal employment status. Determining the true size of the agricultural labor force is difficult. For instance, the government agencies that track farm labor do not consistently define farmworkers (e.g. field laborers versus workers in processing plants), length of employment (e.g. permanent or seasonal), or place of work (e.g. the location of the business or field). According to SCAG, it is estimated that 152 City residents were considered farmworkers (employed in farming, fishing, and forestry occupations). The US Department of Agriculture's 2017 Census of Agriculture reported that in Riverside County, 11,365 persons were hired farm labor (fulltime), 5,758 persons were employed for 150 days or more, and 5,607 were hired for 150 days or fewer.⁶

Resources for Farmworkers

The City can accommodate the development of farmworker housing in any zone that permits the type of housing being built (i.e., agricultural zones) without special conditions. Since the City does not have a large farmworker population, the housing needs of this group are addressed through the City's standard affordable housing programs for lower-income households. The City's municipal code permits farmworker housing in zone A - Agricultural Zone as provided by the employer.

HOUSING STOCK CHARACTERISTICS

A community's housing stock is defined as the collection of all housing units located within the jurisdiction. The characteristics of the housing stock, including growth, type, age, condition, tenure,

⁶ USDA 2017:

https://www.nass.usda.gov/Publications/AgCensus/2017/Full_Report/Volume_1,_Chapter_2_County_Level/California/

vacancy rates, housing costs, and affordability are important in determining the housing needs for the community.

HOUSING GROWTH

Consistent with an urbanized, largely built-out community, Corona has experienced a moderate housing growth of 20.1 percent between 2000 and 2010 and slower growth of 9.2 percent between 2010 and 2018. As shown below in Table 17, the City's housing stock grew from 39,271 units in 2000 to 51,504 units in 2018, or a 31.2 percent increase over 18 years. Overall, housing growth in Riverside County has continued to increase due to its relatively cheaper land prices than coastal areas and its proximity to nearby cities and major employers. Out of the total housing units in Corona, there are 48,151 occupied units, which equates to a 3.6 percent total vacancy rate (DOF 2020). The average household size (as expressed by the population to housing unit ratio) is 3.5.

Table 17: Housing Unit Growth (2000 to 2018)

Jurisdiction	2000	2010	2018	Percent Change	
				2000-2010	2010-2018
Corona	39,271	47,174	51,504	20.1%	9.2%
Chino Hills	20,414	23,617	25,588	15.7%	8.4%
Moreno Valley	41,431	55,559	50,620	34.1%	-8.9%
Norco	6,277	7,322	7,438	16.7%	1.6%
City of Riverside	85,974	98,444	90,866	14.5%	-7.7%
Riverside County	584,674	800,707	833,602	36.9%	4.1%

Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018.

HOUSING TYPE AND TENURE

The City's housing stock in 2000, 2010, and 2018 by unit type is shown below in Table 18. Between 2010 and 2018, the number of single-family housing units increased approximately 13.0 percent, while the percentage of multi-family units increased approximately 19.0 percent.

The proportion of owner-occupied households in Corona slightly decreased between 2010 and 2018. In 2018, close to 64.5 percent of the City's households were owner-occupants. With approximately 72.6 percent of the City's housing units being single-family and 64.5 percent of owner-households, a portion of the City's single-family homes is used as rentals. Between 2010 and 2018 the vacancy rate in the City decreased from 4.7 percent to 3.6 percent.

Table 18: Housing Unit Type

Housing Unit Type	2000		2010		2018		Percent Change	
	Units	Percent	Units	Percent	Units	Percent	2000-2010	2010-2018
Single-Family Homes	28,177	71.8%	33,093	73.8%	37,394	72.6%	17.4%	13.0%
Multi-Family Homes	9,799	25.0%	10,320	22.5%	12,275	23.8%	5.3%	19.0%
Mobile Homes/Other	1,282	3.3%	1,687	3.7%	1,835	3.6%	31.6%	8.0%
Total	39,271	100.0%	47,174	100.0%	51,504	100.0%	20.1%	9.2%
Owner-Occupied	25,548	67.5%	30,210	67.2%	32,052	64.5%	18.2%	6.1%
Renter-Occupied	12,291	32.5%	14,740	32.8%	17,606	35.5%	20.0%	19.4%
Total Occupied	37,839	100.0%	44,950	100.0%	49,658	100.0%	18.8%	10.5%
Vacancy Rate	-	3.6%	-	4.7%	-	3.6%	+1.1%	-1.1%
Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018								

As shown below in Table 19, average household size steadily increased from 2000 to 2018. Average household size for owner-occupied households remained consistent with an average size of 3.42 persons per unit between 2010 and 2018, while renter-occupied households declined in average household size from 3.30 in 2010 to 3.12.

Table 19: Average Household Size (2000-2018)

Tenure	2000	2010	2018
Owner-Occupied	3.39	3.42	3.42
Renter-Occupied	3.06	3.30	3.12
Total Occupied	3.29	3.38	3.49
Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018			

NUMBER OF BEDROOMS PER UNIT

The 2014-2018 ACS identified the number of bedrooms per unit for all housing in Corona. As shown below in Table 20, housing units with four bedrooms comprised the majority of households in 2018 (30.1 percent). No-bedroom housing units (studios) comprised the smallest share (1.6 percent). Over 80 percent of housing had two, three, or four bedrooms per unit, while 9.6 percent had fewer than two bedrooms per unit and 10.3 percent had five or more bedrooms per unit. According to 2015-2019 ACS, 989 owner-

occupied and 1,953 renter-occupied households had more than 1.0 occupants per room, which meets the ACS definition for overcrowding. 270 owner-occupied households and 523 renter-occupied households had more than 1.5 occupants per room, which meets the ACS definition for severe overcrowding. Out of a total of 32,052 owner-occupied units, 3.9 percent are overcrowded and out of 17,606 renter-occupied units, 14.1 percent are overcrowded.

Table 20: Housing Unit Size

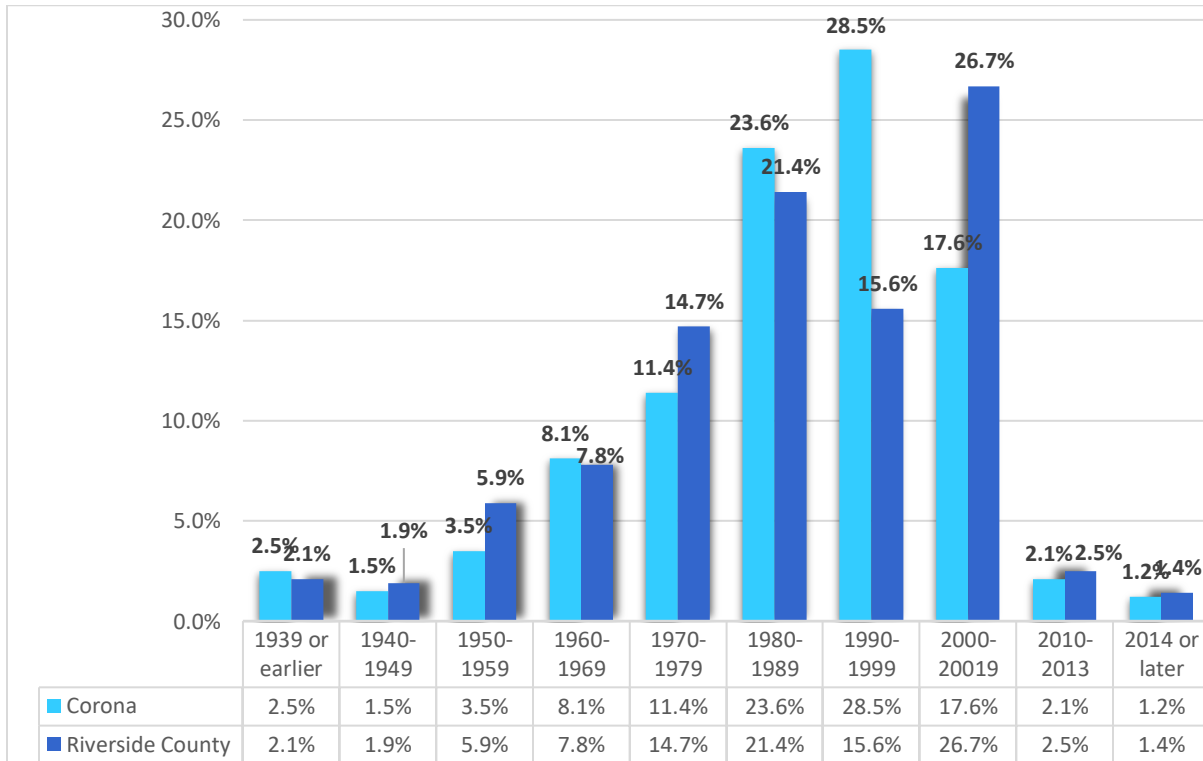
Bedrooms	Percent of Total Households
No Bedroom	1.6%
1 Bedroom	8.0%
2 Bedrooms	20.2%
3 Bedrooms	29.7%
4 Bedrooms	30.1%
5 or more bedrooms	10.4%
Source: American Community Survey, 2014-2018.	

AGE AND CONDITION OF HOUSING STOCK

Housing age can be an important indicator of housing condition within a community. Like any other tangible asset, housing is subject to gradual physical or technological deterioration over time. If not properly and regularly maintained, housing can deteriorate and discourage reinvestment, depress neighboring property values, and eventually impact the quality of life in a neighborhood. Many federal and State programs also use the age of housing as one factor in determining housing rehabilitation needs. Typically, housing over 30 years of age is more likely to have rehabilitation needs that may include new plumbing, roof repairs, foundation work, and other repairs. Three factors used to determine housing conditions are age of housing, overcrowding, and lack of plumbing/kitchen facilities. Overcrowding was previously addressed.

As shown below in Figure 4, as of 2018, approximately 50.6 percent of all housing units in Corona were built prior to 1990, potentially requiring minor repairs and modernization improvements. Approximately 52.1 percent of the City's housing stock was constructed between 1980 and 1999, an earlier housing boom than other areas in the County.

Figure 4: Age of Housing Stock



Source: American Community Survey, 2014-2018.

Housing that is not maintained can discourage reinvestment, depress neighboring property values, and can negatively impact the quality of life in a neighborhood. Improving housing is an important goal of the City. HUD considers housing units to be “standard units” if they are in compliance with local building codes. Common housing code violations in Corona include problems with electrical wiring, plumbing, windows, roofs and exterior, and heating and air conditioning systems. Most of Corona’s substandard units are suitable for rehabilitation. Table 21 below shows the number of substandard units in the City that are currently under enforcement by the City’s Code Compliance Division. The units in the table do not represent all units in the City as this information is not available. The percentages shown in Table 21 are out of a total of 49,658 occupied units.

Table 21: Substandard Housing Units

Condition	Number of Occupied Units	Percentage of Total Occupied Units
Illegal residential conversions, non-permitted electrical, poor roofing, no heating system.	591	1.2%
Source: City of Corona, June 2021		

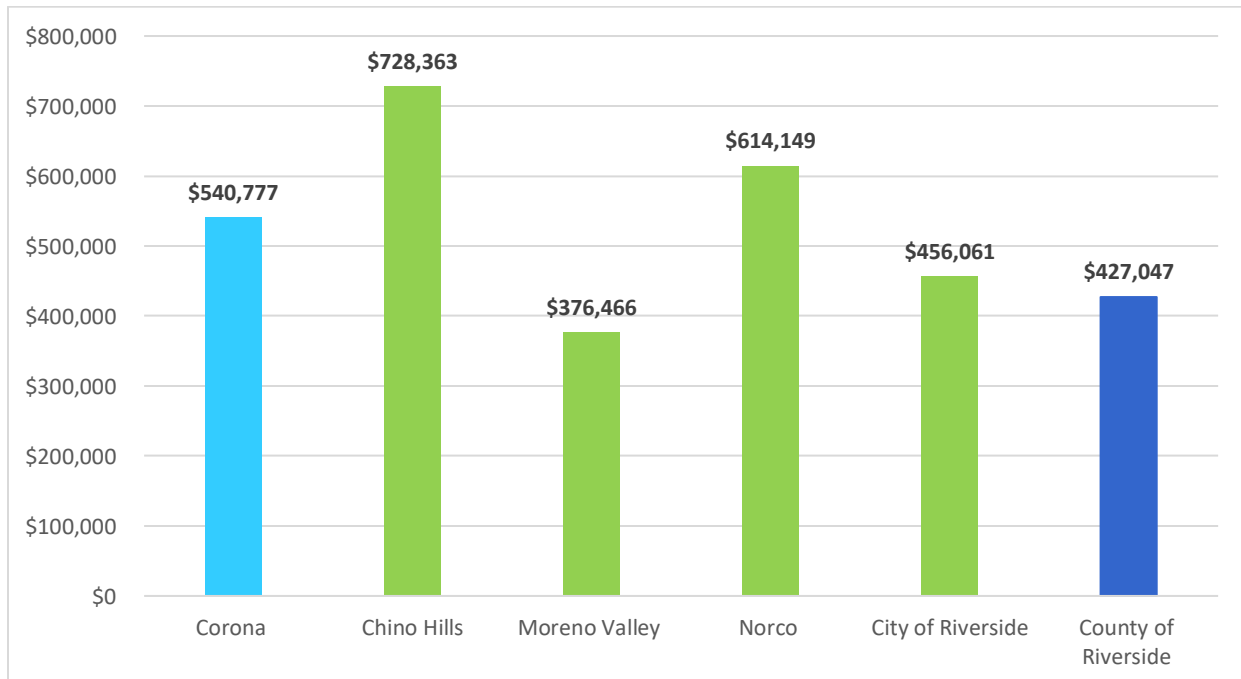
HOUSING COSTS

Housing costs are indicative of housing accessibility to all economic segments of the community. Typically, if housing supply exceeds housing demand, housing costs will fall. If housing demand exceeds housing supply, housing costs will rise.

Ownership Market

The City's median home price in 2020 was \$540,777, which was 21 percent higher than the countywide median of \$427,047, as shown below in Figure 5. When compared to neighboring jurisdictions, Corona's median home price was approximately 26 percent lower than Chino Hills and 30 percent higher than Moreno Valley.

Figure 5: Median Home Prices Sales (2020)



Source: Zillow, 2020.

As shown below in Table 22, median home sale prices in Corona increased slightly by about four percent between 2019 and 2020. Other Riverside County cities also saw small increases in median home prices during this time period, as did Riverside County as a whole.

Table 22: Changes in Median Home Sale Prices and Values (2019-2020)

Jurisdiction	2019 Price	2020 Price	Percent Change in Median Sale Price
Corona	\$504,000	\$540,777	7.3%
Chino Hills	\$686,000	\$728,363	6.2%
Moreno Valley	\$344,000	\$376,466	9.4%
Norco	\$571,000	\$614,149	7.6%
City of Riverside	\$420,000	\$456,061	8.6%
County of Riverside	\$394,000	\$427,047	8.4%
Source: Zillow, 2020.			

Housing Rents

Rental listings posted on Zumper.com for available rental housing in Corona were reviewed between January 2020 to December 2020. Table 23 below lists the median and average rents for rental housing by number of bedrooms.

Table 23: Average Monthly Rent

Number of Bedrooms	Median Rent	Average Rent	Rent Range
Studio	\$1,186	\$1,139.70	\$1,000-\$1,233
1 Bedroom	\$1,624.50	\$1,680.00	\$1,552-\$1,897
2 Bedroom	\$1,874.50	\$1,964.75	\$1,785-\$2,379
3 Bedroom	\$2,396.50	\$2,422.60	\$2,269-\$2,624
4 Bedroom	\$2,716.50	\$2,771.00	\$2,654-\$3,080
Source: Zillow, 2020.			

Housing Affordability

Housing affordability can be inferred by comparing the cost of renting or owning a home in the City with the maximum affordable housing costs for households at different income levels. This information can generally show who can afford what size and type of housing and indicate the type of households most likely to experience overcrowding and overpayment.

HUD conducts annual household income surveys nationwide to determine a household's eligibility for federal housing assistance. Based on this survey, HCD developed income limits that can be used to determine the maximum price that could be affordable to households in the upper range of their

respective income category. Households in the lower end of each category can afford less by comparison than those at the upper end. Table 24 below shows the maximum amount that a household can pay for housing each month without incurring a cost burden (overpayment).

Table 24: Housing Affordability Matrix - Riverside County

Income Group	Annual Income Limits	Affordable Payment	Housing Costs		Affordable Price	
			Utilities	Taxes/ Insurance (Owner)	Sale	Rent
Extremely Low-Income (0-30% of AMI)						
1-Person	\$15,850	\$396	\$205	\$139	\$13,823	\$191
2-Person	\$18,100	\$453	\$218	\$158	\$20,902	\$235
3-Person	\$21,720	\$543	\$246	\$190	\$28,186	\$297
4-Person	\$26,200	\$655	\$274	\$229	\$39,993	\$381
5-Person	\$30,680	\$767	\$305	\$268	\$50,980	\$462
Very Low-Income (31-50% of AMI)						
1-Person	\$26,400	\$660	\$205	\$231	\$59,005	\$455
2-Person	\$30,150	\$754	\$218	\$264	\$71,697	\$536
3-Person	\$33,900	\$848	\$246	\$297	\$80,348	\$602
4-Person	\$37,650	\$941	\$274	\$329	\$89,028	\$667
5-Person	\$40,700	\$1,018	\$305	\$356	\$93,891	\$712
Low-Income (51-80% of AMI)						
1-Person	\$42,200	\$1,005	\$205	\$369	\$126,669	\$850
2-Person	\$48,200	\$1,205	\$218	\$422	\$148,997	\$987
3-Person	\$54,250	\$1,356	\$246	\$475	\$167,499	\$1,110
4-Person	\$60,250	\$1,506	\$274	\$527	\$185,815	\$1,232
5-Person	\$65,100	\$1,628	\$305	\$570	\$198,386	\$1,322
Median Income (80-100% of AMI)						
1-Person	\$52,700	\$1,318	\$205	\$461	\$171,637	\$1,112
2-Person	\$60,250	\$1,506	\$218	\$527	\$200,603	\$1,288
3-Person	\$67,750	\$1,694	\$246	\$593	\$225,313	\$1,448
4-Person	\$75,300	\$1,883	\$274	\$659	\$250,268	\$1,609
5-Person	\$81,300	\$2,033	\$305	\$711	\$267,764	\$1,727
Moderate Income (100-120% of AMI)						
1-Person	\$63,250	\$1,581	\$205	\$553	\$216,818	\$1,376
2-Person	\$72,300	\$1,808	\$218	\$633	\$252,208	\$1,590
3-Person	\$81,300	\$2,033	\$246	\$711	\$283,342	\$1,787
4-Person	\$90,350	\$2,259	\$274	\$791	\$314,721	\$1,985
5-Person	\$97,600	\$2,440	\$305	\$854	\$337,570	\$2,135
Sources: HCD 2020. Veronica Tam and Associates, 2020.						

EXTREMELY LOW-INCOME HOUSEHOLDS

Extremely low-income households earn 30 percent or less of the County area median income – up to \$15,850 for a one-person household and up to \$30,680 for a five-person household in 2020. Extremely low-income households cannot afford market-rate rental or ownership housing in Corona without assuming a cost burden.

Very- Low-Income Households

Very low-income households earn between 31 percent and 50 percent of the County area median income – up to \$26,400 for a one-person household and up to \$40,700 for a five-person household in 2019. A low-income household can generally afford homes offered at prices between \$59,005 and \$93,891, adjusting for household size. After deductions for utilities, a very low-income household can afford to pay approximately \$455 to \$712 in monthly rent, depending on household size. Given the cost of housing in Corona, very low-income households could not afford to purchase a home or rent an adequately sized unit in the City.

Low-Income Households

Low-income households earn between 50 percent and 80 percent of the County area median income – up to \$42,200 for a one-person household and up to \$65,100 for a five-person household in 2020. A low-income household can generally afford homes offered at prices between \$126,669 and \$198,386, adjusting for household size. After deductions for utilities, a low-income household can afford to pay approximately \$850 to \$1,322 in monthly rent, depending on household size.

Median-Income Households

Median-income households earn between 80 percent and 100 percent of the County's area median income - up to \$52,700 for a one-person household and up to \$81,300 for a five-person household in 2020. The affordable home price for a moderate-income household ranges from \$171,637 to \$267,764. After deductions for utilities, a one-person median-income household could afford to pay up to \$1,112 in rent per month and a five-person low-income household could afford to pay as much as \$1,727.

Moderate-Income Households

Moderate-income households earn between 100 percent and 120 percent of the County's Area Median Income – up to \$97,600 depending on household size in 2020. The maximum affordable home price for a moderate-income household is \$216,818 for a one-person household and \$337,570 for a five-person family. Moderate-income households in Corona could afford to purchase the median priced home in the City; however, finding an affordable adequately sized home could present a challenge for households earning incomes at the lower end of the middle/upper category. The maximum affordable rent payment for moderate-income households is between \$1,376 and \$2,135 per month. Appropriately sized market-rate rental housing is generally affordable to households in this income group.

Cost Burden

The CHAS developed by the Census Bureau for HUD provides detailed information on housing needs by income level for different types of households in Corona. Detailed CHAS data based on the 2013-2017 ACS data is displayed in Table 25 below. Housing problems considered by CHAS include:

- » Units with physical defects (lacking complete kitchen or bathroom);

- » Overcrowded conditions (housing units with more than one person per room);
- » Housing cost burden, including utilities, exceeding 30 percent of gross income; or
- » Severe housing cost burden, including utilities, exceeding 50 percent of gross income.

Sixty-one (61) percent of extremely low-income renter households spend more than 50 percent of their income on housing. Low-income households tend to more often be renters than buyers. Specifically, all extremely low, very low, and low-income renters in Corona reported experiencing at least one housing problem. Additionally, a higher than average portion of families who rent are housing-burdened (pay more than 30 percent of income on housing).

Table 25: Housing Assistance Needs of Lower-Income Households

Household by Type, Income, and Housing Problem	Renters	Owners	Total Households
Extremely low-income (0-30% AMI)	2,460	1,900	4,360
With any housing problem	87.4%	74.5%	81.8%
With cost burden >30%	85.8%	74.2%	80.6%
With cost burden >50%	80.3%	67.1%	74.4%
Very low-income (31-50% AMI)	2,605	1,830	4,435
With any housing problem	82.5%	62.4%	84.1%
With cost burden >30%	88.7%	73.2%	82.2%
With cost burden >50%	65.5%	59.6%	63.0%
Low-income (51-80% AMI)	3,925	2,730	6,655
With any housing problem	92.0%	69.2%	82.6%
With cost burden >30%	83.9%	66.1%	76.6%
With cost burden >50%	34.4%	41.4%	37.3%
Moderate & Above Income (>80% AMI)	1,740	2,720	4,460
With any housing problem	76.4%	66.4%	70.3%
With cost burden >30%	62.6%	60.8%	61.7%
With cost burden >50%	19.0%	24.3%	22.2%
Total Households	17,550	32,405	49,955
With any housing problem	11,550	11,720	23,270
% With housing problem	65.8%	36.7%	46.6%

Note: Data presented in this table are based on special tabulations from the ACS data. Due to the small sample size, the margins of errors can be significant. Interpretations of these data should focus on the proportion of households in need of assistance rather than on precise numbers.

Source: HUD CHAS, 2013-2017.

AT-RISK HOUSING (ASSISTED UNIT) ANALYSIS

ASSISTED HOUSING AT RISK OF CONVERSION

State law requires the City to identify, analyze, and propose programs to preserve existing multi-family rental units that are currently restricted to low income housing use and that will become unrestricted and possibly be lost as low income housing (i.e., “units at risk” or “at-risk units”). State law requires the following:

- » An inventory of restricted low-income housing projects in the City and their potential for conversion;
- » An analysis of the costs of preserving and/or replacing the units at risk and a comparison of these costs;
- » An analysis of the organizational and financial resources available for preserving and/or replacing the units “at risk,” and
- » Programs for preserving the at-risk units.

The following discussion satisfies the first three requirements of State law listed above pertaining to the potential conversion of assisted housing units into market rate housing before April 15, 2031. The Housing Plan section includes a program for preserving the at-risk units, which meets the final requirement of State law.

INVENTORY OF ASSISTED HOUSING UNITS IN CORONA

Table 26 below provides a description of assisted housing developments in Corona. All multi-family rental units assisted under federal, state, and/or local programs, including HUD programs, State and local bond programs, redevelopment programs, density bonus, or direct assistance programs, are included in the table.

AT-RISK PROJECTS

The planning period for this at-risk housing analysis extends from April 15, 2021, through April 15, 2031. The underlying income use restrictions of these projects were reviewed for potential conversion to market rate during this planning period. Detailed project information is listed in Table 26.

During this 10-year period, three projects will be at risk of losing their affordability controls. Combined, a total of 89 assisted units will be at risk between April 2021 and April 2031. The three housing projects are assisted under the following programs:

HUD Section 202 and HUD Section 8: Two of the projects were assisted under the Section 202 - Handicapped and Elderly Housing Program and the Section 8 program – Corona Community Towers and Garrison House. Section 202 provides loans to help build or rehabilitate handicap or elderly units. The maximum period for the loan is 40 years. These HUD Section 202-financed projects also maintain project-based Section 8 contracts.

Under the HUD Section 8 program, participating building owners are entitled to receive HUD Fair Market Rents (FMRs) for their units with Section 8 contracts. On the Section 8 units, HUD makes up the difference between 30 percent of a household’s monthly income and the FMRs. A total of 41 at-risk units are assisted under these programs.

Low/Moderate Developer Funds: One project received developer funds to construct low/moderate income housing – Park Place (Casa De Corona). Developer funds are given to finance a project with the condition that the project be used to support very low, low, and moderate income assisted units. A total of 48 at-risk units are assisted under this program.

COST ANALYSIS

The following discussion examines both the cost of preserving the units at-risk in Corona, and the costs of producing new rental housing comparable in size and rent levels to replace the units that could convert to market rate. Cost estimates provided in this analysis are intended to indicate an order of magnitude. Actual costs involved in each option will depend on the rental and real estate market situations at the time the affordability controls on these projects expire.

Preservation Costs: A total of 89 units distributed among three projects are at risk of losing their affordability controls between, April 15, 2021, and April 15, 2031. Preservation of the at-risk units can be achieved in several ways:

Rental Assistance: Tenant-based rent subsidies could be used to preserve the affordability of housing. Similar to Housing Choice Vouchers, the City, through a variety of potential funding sources, could provide rent subsidies to tenants of at-risk units. The level of the subsidy required to preserve the at-risk units is estimated to equal the Fair Market Rent (FMR) for a unit minus the housing cost affordable by a lower income household.

This type of preservation largely depends on the income of the family, the shelter costs of the apartment and the number of years the assistance is provided. If the typical very low-income family that requires rental assistance earns \$39,540, then the family could afford approximately \$989 per month for shelter costs. The difference between the \$989 and the typical rent for a two-bedroom apartment of \$1,757 would in necessary monthly assistance of \$768 a month or \$9,216 per year. For comparison purposes, typical affordable housing developments carry an affordability term of at least 20 years, which would bring the total cost to \$184,320 per family. Providing tenant-based rental assistance for all 89 at-risk units is estimated at \$16,404,480 over a 20-year period.

Purchase of Affordability Covenants: Another option to preserve the affordability of at-risk projects is to provide an incentive package to the owners to maintain the projects as affordable housing. Incentives could include writing down the interest rate on the remaining loan balance, and/or supplementing the subsidy amount received to market levels.

To purchase the affordability covenant on these projects, an incentive package should include interest subsidies at or below what the property owners can obtain in the open market. To enhance the attractiveness of the incentive package, the interest subsidies may need to be combined with rent subsidies that supplement the HUD fair market rent levels.

Replacement Costs: The construction of new low-income housing units is a means of replacing the at-risk units should they be converted to market-rate units. The cost of developing housing depends upon a variety of factors, including density, size of the units (i.e. square footage and number of bedrooms), location, land costs, and type of construction.

Assuming an average development cost is \$200,000 per unit for multi-family rental housing, replacement of the 89 at-risk units would require approximately \$17,800,000 excluding land costs. When land costs and developer profits are included, the construction costs of new units can easily double.

Table 26: Assisted Housing Developments in Corona

Project Name	Location	Total Units	Assisted Units				Total Assisted	Expiration Date	Funding
			Very Low	Low	Senior	Moderate			
Not At-Risk									
Corona del Rey	1148 D. St.	160	32	128	No	0	160	Perpetuity	Revenue Bond, Low/Mod Funds, City HOME, County HOME, Federal Tax Credits
Casa de la Villa Apartments	313 S. Vicentia Avenue	75	8	66	No	0	74	2060	Low/Mod Funds, Federal Tax Credits, Developer Funds
Corona del Oro	630-650 W. 2nd	72	71	0	No	0	71	2055	Low/Mod Funds, HOME Funds, Federal Tax Credits
River Run Senior Apartments	863 River Road	360	144	216	Yes	0	360	2055	RDA Low/Mod Housing Funds, Federal Tax Credits
Vintage Terrace Apartments	1910 Fullerton Street	200	0	200	Yes	0	200	2038	HUD and Tax Credit
Corona Community Villas	2600 S. Main Street	75	0	74	Yes	0	74	2073	HUD Section 202/ Section 8
Corona Park Apartments	956 Avenida Del Vista	160	0	158	No		158	2072	HUD Section 8
Citrus Circle Apartments	121-141-161 Buena Vista	61	42	18	No	0	60	2070	NSP, Federal Tax Credits, CHA
Meridian Apartments	1066 E. 6 th Street	85	8	76	No	0	84	2075	HOME, Federal Tax Credits, CHA

Table 26: Assisted Housing Developments in Corona

Project Name	Location	Total Units	Assisted Units				Total Assisted	Expiration Date	Funding
			Very Low	Low	Senior	Moderate			
William C. Arthur Terrace Apartments	1275 W. 8th Street	40	39	0	Yes	0	39	2044	HUD Section 202/811 Section 8
TOTAL		1,288	344	936	--	0	1280	--	
At-Risk									
Park Place (Casa De Corona)	935, 945, 950 W. Fifth Street	48	12	18	No	18	48	2027	Low/Mod Developer Funds
Corona Community Towers	910 S. Belle Street	36	0	35	Yes	0	35	2022	HUD Section 202/ Section 8
Garrison House	779 Ford Street	7	6	0	Yes	0	6	2027	HUD Section 202/ Section 8
TOTAL		91	18	53	--	18	89	--	
Source: City of Corona Redevelopment Agency, 2020; HUD Expiring Section 8 Database, 2020.									

COST COMPARISONS

The above analysis attempts to estimate the cost of preserving the at-risk units under various options. However, because different projects have different circumstances and therefore different options available, the direct comparison would not be appropriate. In general, providing additional incentives/subsidies to extend the affordability covenant would require the least funding over the long run, whereas the construction of new units would be the costliest option. Over the short term, providing rent subsidies would be least costly but this option does not guarantee the long-term affordability of the units.

RESOURCES FOR PRESERVATION OF AT-RISK HOUSING

The following describes active non-profit agencies that may have the capacity to develop, acquire, and/or manage affordable housing, including housing projects that are at risk of converting to market-rate housing.

Jamboree Housing: Founded in 1990, Jamboree specializes in the development and construction of new affordable rental and for-sale housing. The organization has a portfolio that includes development and/or ownership interest in nearly 6,600 affordable homes in 47 California cities – topping a market value of \$1 billion. Jamboree currently owns and operates Corona Park Apartments, a 158-unit affordable community, located in the City of Corona. Jamboree acquired and rehabilitated this project in 2004.

Western Community Housing: Western Community Housing Inc. (WCH) is a California non-profit public benefit corporation that was founded in 1999 and is headquartered in Costa Mesa, California. WCH's mission is to promote affordable housing and to provide social services to low-income senior and family households. By partnering with local governments, for-profit developers, lenders, syndicators and corporate investors, WCH and its affiliates currently have an ownership interest in 89 affordable housing communities comprising over 7,800 units. The agency currently owns and operates Heritage Park Apartments in the nearby City of Norco.

BRIDGE Housing: In 1983, BRIDGE was formed from a major anonymous grant given to the San Francisco Foundation to spearhead new solutions to the worsening shortage of affordable housing. Today BRIDGE's steady stream of diverse development efforts and pipeline activity exceeds 18,000 homes. The organization owns and operates Ivy at College Park, a 135 affordable apartment community, located in nearby Chino.

LINC Housing: LINC Housing has a 36-year history of creating communities for thousands of families and seniors throughout California. LINC is committed to building and preserving housing that is affordable, environmentally sustainable, and a catalyst for community improvement. The organization currently owns and operates Seasons Senior Apartments in nearby Chino.

AFFIRMATIVELY FURTHERING FAIR HOUSING

Under state law, affirmatively further fair housing means “taking meaningful actions, in addition to combatting discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity based on protected characteristics. Beginning January 1, 2019, all housing elements must include a program that promotes and affirmatively furthers fair housing opportunities throughout the community for all persons regardless of race, religion, sex, marital status,

ancestry, national origin, color, familial status, or disability, and other characteristics protected by the California Fair Employment and Housing Act (FEHA), Government Code Section 65008, and any other state and federal fair housing and planning law. Additionally, all housing elements due on or after January 1, 2021, must contain an Assessment of Fair Housing (AFH) consistent with the core elements of the analysis required by the federal Affirmatively Furthering Fair Housing (AFFH) Final Rule of July 16, 2015. The housing element land inventory and identification of sites must be consistent with a jurisdiction's duty to AFFH and the findings of its AFH. The AFH for the 2021-2029 Housing Element is included in Appendix C.

Chapter 3: Housing Constraints

Market, government, infrastructure, and environmental factors, among others, create constraints to the provision of adequate and affordable housing. These factors may restrict the development of housing, particularly that affordable to lower-income households. Constraints can generally be divided into "governmental constraints," meaning those controlled by federal, State, and local governments, and "nongovernmental constraints," or those that are neither generated nor affected by governmental controls. An analysis of these factors can facilitate the development of programs that lessen the effects such constraints have on the supply and cost of housing.

MARKET CONSTRAINTS

AVAILABILITY

The high cost of renting or buying a residence is the main, ongoing constraint to adequate housing opportunities in Corona. The high cost of land, construction, labor, and limits on financing contribute to a decrease in the availability of affordable housing. Corona is an urbanized area with few vacant parcels available for residential development. These parcels are identified and described further in the Housing Resources (Chapter 4) portion of this Housing Element. Opportunities exist on underutilized, residentially zoned sites capable of being developed at higher densities and non-residential zoned sites where mixed-use development is permitted.

Short-term rental housing is relatively low in Corona. Short-term residential rental is defined as the rental of any legally permitted dwelling unit or one or more portions of any legally permitted dwelling unit, for occupancy purposes for a period of 30 consecutive calendar days or less, counting portions of calendar days as full days. The City of Corona requires a short-term residential rental permit before renting or advertising the availability of a short-term residential rental unit. Furthermore, every broker must ensure that each short-term residential rental unit is registered with the City and that the owner or owner's authorized agent has obtained the requisite short-term residential rental permit and business license prior to listing or advertising the unit for rent. The requirement for a short-term residential rental permit is based on the actual duration of the rental period and not the stated time period of the reservation, rental or other contract or agreement. Permits must be renewed annually. In 2021 to date, the City has only received three permits. Therefore, City policies regarding short-term rentals are not a constraint for residents to access long-term housing.

There is potential to develop new affordable housing units on vacant land designated for multi-family residential and on vacant residential parcels where infill could occur. Reuse and redevelopment of existing sites can also accommodate additional housing in Corona with uses that range from multi-family units (e.g., duplexes and triplexes) or accessory dwelling units (i.e., granny flats) that are attached or detached from existing single-family homes on residential properties.

Throughout Riverside County, sale prices of single-family homes increased an average of 5.7 percent from 2015 to 2017, and indications are that the trend will continue. In Corona, property values increased by 5.97 percent from 2016 to 2017, slightly more than the county overall average.

CONSTRUCTION AND LABOR COSTS

The cost of labor and materials are the main determinants of construction cost. The relative importance of each is a function of the complexity of the construction job and the desired quality of the finished product. This puts builders under constant pressure to complete jobs for the lowest price possible while still providing a quality product, a situation that has led (and still leads) to an emphasis on labor-saving materials and construction techniques.

The price paid for material and labor at any one time will reflect short-term considerations of supply and demand. Between 2016 and 2020, construction costs rose approximately 10.5 percent.⁷ Costs have moderated somewhat due to fluctuations that followed the 2008 downturn, and more recently, from supply accessibility during the COVID-19 pandemic. Future costs are difficult to predict given the cyclical fluctuations in demand and supply that, in large part, are created by fluctuations in State and national economies. These circumstances impact construction in regions differently, and therefore do not deter housing construction in any specific community.

For the average home, the cost of labor is generally two to three times the cost of materials and therefore represents a substantial component of the total building costs. Most residential construction in Riverside County is performed with nonunion contractors, and labor costs are responsive to changes in the residential market. The relative ease with which a skilled tradesperson can get a contractor's license further moderates the pressures related to rising labor costs. Construction costs in Corona are about the same as in other parts of Southern California.

A reduction in amenities and quality of building materials (in line with a minimum acceptability for health, safety, and adequate performance) could result in lower sale prices. Economy building techniques may reduce costs. Prefabricated, factory-built housing may provide lower priced housing by reducing construction and labor costs. Another factor related to construction costs is the number of units built at one time. As the number of units increases, construction costs over the entire development generally go down, due to economies of scale. This reduction in costs is beneficial when density bonuses apply to affordable housing development.

LAND COST

High land costs are a primary factor affecting the feasibility of residential development in the City. The prices of land vary depending on location, zoning (allowable density), and availability of improvements. Additionally, land costs vary depending on the current use of the site; whether the site is vacant or has an existing use that will need to be removed or converted. In general, entitled single-family subdivisions with infrastructure extension plans command higher prices than raw land. Many variables influence land cost, including scarcity and developable density (both of which are indirectly controlled through government land use regulations), location, unique features, and the availability of public utilities. Undeveloped land in Corona ranges from \$39,200 to \$85,909 per acre. This high cost makes density optimization imperative to residential land developers.

Vacant land zoned for multi-family use is scarce and typically more expensive per acre than vacant land zoned for single-family residential. As the City becomes increasingly built-out and future development becomes more reliant upon the acquisition of underutilized parcels and demolition of existing structures, the cost of a finished residential site will further increase.

⁷ California Department of General Services (DGS). 2020. DGS California Construction Cost Index (CCCI). <https://www.dgs.ca.gov/RES/RESOURCES/> (accessed January 2021).

FINANCING

Construction Financing

The availability of construction financing affects the degree to which new housing can be built. Over the years, loan underwriting has become more conservative than in the past, when developers might receive construction loans for 100 percent or more of a project's estimated future value. Although no hard threshold exists for the amount of required equity that would be too much to make a project infeasible to develop, the higher amount of equity required, the more unlikely the developer would proceed with the project. Higher equity amounts require not only more cash upfront, but also would necessitate a higher project value at completion to generate the net cash flow needed to meet the minimum acceptable cash-on-cash return threshold. These trends inform the condition of the housing market throughout the Southern California region.

Availability of Mortgage and Rehabilitation Financing

The Home Mortgage Disclosure Act (HMDA) requires financial institutions to maintain, report, and disclose publicly information about mortgages. In 2017, 2,336 households applied for conventional mortgage loans in Corona and 774 households applied for government backed loans. Considerably fewer Corona households applied for government-backed loans than conventional loans to purchase homes in 2017. Another 569 Corona households applied for home improvement loans in 2017. In general, home improvement financing is less accessible during market downturns, compared to home purchase financing. High debt-to-income ratios coupled with lower property appraisals can make it more difficult to qualify for additional financing. Applications to refinance existing mortgages were most common with 3,551 total applications. Of these, 2,802 were conventional loans and 749 were government-backed loans. According to HDMI data for 2017, all loan applications were approved, including those for refinance and renovation. None were denied. This indicates the failure, denial, and origination rates since 2015 has improved for conventional and government backed loans.

Table 27 Disposition of Home Loan Applications

Applications (By Loan Type)	Number of Applications	Share of Applications	Number Approved	Percent Approved
Home Purchase	3,430	39.4%	3,120	90.9%
Conventional	2,671	30.7%	2,403	89.9%
FHA – Insured	506	5.8%	480	94.9%
VA – Guaranteed	253	2.9%	237	93.7%
FSA/RHS	0	0.0%	0	0.0%
Home Improvement	747	8.6%	543	72.7%
Conventional	674	7.7%	484	71.8%
FHA – Insured	41	0.5%	30	73.2%
VA – Guaranteed	32	0.4%	29	90.6%
FSA/RHS	0	0.0%	0	0.0%
Refinancing	4,538	52.1%	3,568	78.6%
Conventional	3,541	40.6%	2,808	79.3%
FHA – Insured	553	6.4%	425	76.9%
VA – Guaranteed	444	5.1%	335	75.5%
FSA/RHS	0	0.0%	0	0.0%
Total	8,715	100.0%	7,231	82.9%
Notes: “Approved” includes loans approved by the lenders whether or not they are accepted by the applicants. “Other” includes loan applications that were either withdrawn or closed for incomplete information. Source: HMDA 2017.				

About 50 percent of loan applicants reported incomes that exceeded 120 percent of the AMI. Given the high rates of approval, refinancing and home purchase loans are generally available and not considered to be a constraint in Corona. The City provides forgivable loans of up to \$25,000 to qualifying lower income homeowners to address critical home improvement needs (Program 1).

Federal agencies offer limited down payment assistance programs to assist with down payment and closing costs, including subordinate loans with deferred payments that help with affordable mortgage payment levels. Offered through the MyHome Assistance Program, the loan structure varies based on the agency with most capping the amount at \$11,000.⁸

GOVERNMENTAL CONSTRAINTS

Housing affordability is affected by factors in both the private and public sectors. Actions by the City can have an impact on the price and availability of housing in Corona. Land use controls, site improvement requirements, building codes, fees, and other local programs intended to improve the overall quality of housing may serve as a constraint to housing development.

⁸ California Housing Finance Agency (CalHFA). 2021. Loan Programs. [web page].
 Calhfa.ca.gov/homebuyer/programs/index.htm. (accessed February 2021).

LAND USE CONTROLS AND DEVELOPMENT STANDARDS

The City regulates the type, location, density, and scale of residential development primarily through its General Plan and Zoning Ordinance. In general, the City's zoning and land use regulations are designed to balance the goal of providing affordable housing opportunities for all income groups while protecting the health and safety of residents and preserving the character of existing neighborhoods.

General Plan and Zoning Categories/Densities

As discussed below, the Corona General Plan, specific plans, and Zoning Ordinance provide for a wide range of residential land use designations/zones in the City. General residential standards are provided in Table 29. A comparison of these standards to neighboring cities is provided in Table 30.

Residential

Rural/Estate Residential (0 to 3 units per acre): Includes the Rural Residential I/II and Estate Residential General Plan land use designations, all E, ER, and HER designations in specific plans and the R14.4, A-14.4, R-1-A, R-1.20 and A zone districts.

Low Density Residential (3 to 6 units per acre): Includes the Low Density Residential and Low Medium Density Residential General Plan land use designations, all SFR, SF, LDR, SFC, SFD, LMDR and L designations in specific plans and the R-1-7.2, R-1 8.4, R-1 9.6, R-1 12, and MP zone districts.

Medium Density Residential (6 to 15 units per acre): Includes the Medium Density Residential General Plan land use designation, all M, MDR, MHDR, SFA designations in specific plans, and the R-2 and R-G zone districts.

High Density Residential (15 to 36 units per acre: Includes the High Density Residential General Plan land use designation, all HDR, MF, MFR and MHDR designations in specific plans, and the R-3 and R-3-C zone districts.

Urban Density Residential (37 to 60 units per acre): Includes the Urban Density Residential General Plan land use designation, the UDR designation in the North Main Street Specific Plan, and the R-3-C zone district.

Mixed Use

Mixed Use I and Downtown Commercial (2.0 to 3.0 floor area ratio): Includes the Mixed Use I and Downtown Commercial/Mixed Use land use designations and the MUD and MU designations in specific plans.

RESIDENTIAL COMMUNITY DEVELOPMENTS AND SPECIFIC PLANS

The City processes residential developments through conventional zoning regulations or Specific Plans. These mechanisms allow residential development of all types, with the development standards approved by the City Council for each individual application, and encourage whole-scale community planning with an appropriate balance of land use types. Specific Plans often incorporate mixed-use, higher density residential areas as a focal part of the plan. The only constraint is that single-family residential developments on fee simple lots must have a minimum 7,200 square-foot lot area, a size comparable to similar communities in the region.

The City has adopted 31 Specific Plans to date, two of which have been adopted since certification of the 5th cycle Housing Element Update. Specific plans outline development standards that govern development in the specific plan area. In general, they all incorporate provisions for housing, including the establishment of an Urban Density Residential zone, which allows up to 60 dwelling units per acre in one of the Specific Plans. These density levels are among the highest in the Inland Empire (similar to the City of Riverside) and higher than most suburban communities in the region.

Recent specific plans approved for development in Corona include the following:

- » Sierra Bella Specific Plan (updated July 2014)
- » Arantine Hills specific Plan (June 2020)

The Sierra Bella Specific Plan area is in northwest Corona, at the eastern terminus of Green River Road at Paseo Grande, south of the Sierra del Oro community. The Plan allows up to 249 single-family homes as a "hillside village," with a large part (62 percent) of the plan area remaining as open space. The Specific Plan was approved in 2005 but amended in 2014 to include provisions that reduce grading and visual impacts by clustering development in the lower portion of the plan area and reducing the minimum lot size to 7,200 square feet.

Table 2 identifies the City's development standards per zoning district. Site development standards are comparable to other community requirements in western Riverside County (see Table 3) and ensure a quality living environment for all household groups in Corona, including special groups such as lower and moderate income households and senior citizens. These development standard requirements, individually or together, are reasonable and have not impacted the ability of development to achieve the maximum allowable densities in any zone.

North Main Street District Specific Plan

The North Main Street District Specific Plan consists of 257.6 acres in the north-central portion of the City of Corona. The district contains a mix of land uses including commercial retail, commercial office, medium and high density residential, light industrial/manufacturing, and public/quasi-public land uses, with several vacant parcels of land scattered throughout. The district is located just north of the State Route 91 freeway (SR-91) and west of the Interstate 15 (I-15) corridor and bisected in a north-south direction by North Main Street which serves as the transportation spine. The Specific Plan allows residential development in the following areas with residential development potential (summarized in Table 28):

Single-family Condominiums (SFC) Area – This area, located at the northeast corner of River Road and Cota Street, would provide the opportunity for village-like residential uses near shopping and public transit. The SFC area encompasses approximately 8.3 acres, about eight percent of the entire Specific Plan area. Single-family condominiums can include both attached and detached units at a density no greater than 15 du/acre.

The following property development standards set forth in this section shall apply to all land and buildings in the SFC District:

- » Single Family Detached
- » Maximum Height: 30 ft. and no more than two stories
- » Maximum Density: 15 units / acre

- » Setbacks: 10 feet along all sides.
- » Parking: 2 covered spaces per unit, plus one guest space for every five units.
- » Single Family Attached
- » Maximum Height: 40 ft. and no more than three stories
- » Maximum Density: 15 units / acre
- » Setbacks: 10 feet rear, 5 feet sides, 10 feet front
- » Parking: Studio or single bedroom unit 1.5 covered spaces, Two bedroom unit 2.0 covered spaces, Three or more bedroom unit 2.5 covered spaces - Guest Parking 1 uncovered guest space/5 units

Urban Density Residential District (UDR) – This district is intended to accommodate and promote high density residential development up to 60 du/acre. The UDR district intends to create opportunities for integration between the commercial and residential uses along the Main Street corridor as well as enhanced commuter transit options with the nearby Metrolink Station and bus transfer hub. The UDR District encompasses approximately 17.3 acres generally located west of Main Street between Blaine Street and River Road.

The following property development standards set forth in this section shall apply to all land and buildings in the UDR District:

- » Maximum Height: 5 stories or 60 feet, whichever is lesser.
- » Maximum Density: 60 units / acre
- » Setbacks: 10 feet along all sides.
- » Parking: Single Bedroom 1.0 covered space, Two or more bedroom 1.0 covered space and 1.0 uncovered space per unit, Guest parking 1 guest space / 5 units

Mixed Use District (MU) – This district intends to provide opportunities for well-designed commercial projects or projects that combine residential with non-residential uses such office, retail, business services, personal services, public spaces and uses, and other commercial amenities. The District area covers approximately 29.2 acres in three areas bordering the east side of Main Street.

The North Main Street District Specific Plan can accommodate 400 units in the 6th Housing Element cycle upon rezone of parcels that could potentially be rezoned to accommodate lower and moderate-income units. The following property development standards set forth in this section shall apply to all land and buildings in the MU District:

- » Maximum Height: None. Height limited by Floor Area Ratio (FAR)
- » Maximum Density: Commercial FAR 0.5, Mixed Use FAR 2.0
- » Setbacks: 10 feet along all sides.
- » Parking: Studio or single bedroom unit 1.0 covered spaces, Two or more bedroom unit 2.0 covered spaces, Guest Parking 1 guest space/5 units

Table 28: Specific Development Standards for the North Main Street Specific Plan

	Urban Density Residential	Mixed Use
Density	60 units per acre	2.0 FAR
Maximum Height	5 stories or 60 feet	None
Lot Requirements	None	None
Private Open Space	None	None
Common Open Space	100 square feet per unit	100 square feet per unit
Setbacks	River Road – 10 feet Local/Private Street – 5 feet	Front – None Street Side – 10 feet
Parking	Studio/1-Bedroom – 1.0 covered space Two+ Bedrooms – 2.0 covered/uncovered spaces Guest Parking – 1.0 per 5 units	Studio/1-Bedroom – 1 covered space Two+ Bedrooms – 2.0 covered spaces Guest Parking – 1.0 per 5 units

These standards are established to facilitate high density residential and mixed-use developments. Specifically, for the Mixed-Use designation, up to 80 percent of the Floor Area Ratio can be dedicated to residential uses.

Downtown Corona Revitalization Specific Plan

The Downtown Corona Revitalization Specific Plan was adopted by the City in 1998 and most recently amended in 2011. The Specific Plan area includes approximately 621 acres and generally consists of the commercial corridor along 6th Street, from Lincoln Avenue on the west to the Temescal Creek Channel on the east, and the area within the Grand Boulevard Circle. Currently, seven districts within the Downtown Corona Revitalization Specific Plan area allow for residential development:

Downtown (D) District: The D District provides for medium-intensity commercial uses that serve mostly community-wide needs in a pedestrian-friendly environment. Uses allowed include commercial retail, service commercial, business offices (lodging), restaurants and sidewalk cafes, cultural and entertainment uses, nightclubs and microbreweries, mixed-use (including residential), as well as prominent buildings for governmental uses.

The following property development standards set forth in this section shall apply to all land and buildings in the D District:

- » Maximum Height: 5 stories or 60 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 3.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear

Transitional Commercial (TC) District: The TC District provides a buffer commercial district between the vehicular-oriented 6th Street Commercial, and the more pedestrian-oriented Downtown District. It provides great variety in low to medium intensity commercial uses in either a pedestrian or vehicular orientation. Mixed use developments, multi-family dwellings and senior citizen housing are allowed with a Conditional Use Permit (CUP) in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the TC District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear.

General Commercial (GC) District: The GC District provides for lower intensity uses that serve community and sub-regional needs with an emphasis on convenient automobile access, while incorporating efficient, safe, and attractive on-site pedestrian circulation. Mixed use developments are allowed with a CUP in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the GC District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear.

Community Services (CS) District: The CS District provides needed community services such as governmental or institutional offices, social service agencies, hospitals, pharmacies, health care offices, churches, parks and playgrounds, museums and performing arts facilities. Senior citizen housing is allowed with a CUP in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the CS District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 15 feet front, 10 feet side, and 10/20 feet rear.

Residential Office (RO) District: The RO District is a highly specialized area in the Specific Plan. The District provides for very low intensity office uses in either existing residential structures or in new buildings that take great architectural care to “fit in” with the historic residential structures found in the immediate vicinity. The District provides a much-needed land use buffer between the more intensive commercial districts and the low-density historic residential areas of the Circle.

The following property development standards set forth in this section shall apply to all land and buildings in the RO District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 1 units / acre
- » Setbacks: 20 feet front, 15 feet side, and 10 feet rear.

Single-family Residential (SF) District: The SF District is provided to protect the integrity of Corona’s historic residential neighborhoods within the Circle. The District is intended as an area for preservation and development of historically sensitive single-family detached residential.

The following property development standards set forth in this section shall apply to all land and buildings in the SF District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 4 units / acre
- » Setbacks: 20 feet front, 15 feet side, and 10 feet rear.

Multi-family Residential (MF) District: The MF District is intended for small areas that are presently developed with multi-family residential units.

The following property development standards set forth in this section shall apply to all land and buildings in the MF District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 10-20 units / acre based on overlay area
- » Setbacks: 25 feet front, 20 feet side, and 15 feet rear.

The Planning Commission may approve an increase in the overall height to 3 stories or 40 feet subject to Precise Plan approval. This stipulation is identified as a constraint to the development of multi-family housing and Program 14 has been developed to remove this impediment.

Dos Lagos Specific Plan

The Dos Lagos Specific Plan area consists of 542.89 acres located near the southern boundary of the City of Corona on the east side of Interstate 15. The Dos Lagos Specific Plan area was once a silica sand mining operation and processing plant that has been redeveloped as a mixed use area plan consisting of residential, commercial, hospitality, golf-course and an man-made lake.

Commercial (C) Designation: The Commercial (C) designation within the Specific Plan area is designed for commercial oriented uses and is intended to provide local community retail services and freeway support services including hospitality services.

The following property development standards set forth in this section shall apply to all land and buildings in the C District:

- » Maximum Height: 60 feet.
- » Maximum Density: N/A
- » Setbacks: 20 feet from Front, 0 rear and sides, 10 street sideyard

Entertainment Commercial (EC) Designation: The Entertainment Commercial (EC) planning area is intended to provide opportunities for local and regional entertainment and recreation.

The following property development standards set forth in this section shall apply to all land and buildings in the EC District:

- » Maximum Height: 60 feet.
- » Maximum Density: Up to 218 units
- » Setbacks: 20 feet from Front, 0 rear and sides, 10 street sideyard

Single Family Residential: The single family residential is for single family homes.

- » Maximum Height: 30 feet
- » Maximum Density: 6 du/ac
- » Setbacks: Front: 20 feet, Sides: 10/5, Rear: 10.

High Density Residential: is for attached multiple family units, including but not limited to townhouses and stacked condominiums.

- » Maximum Height: 60 feet/5 stories
- » Maximum Density: 36 du/ac
- » Setbacks: Street setbacks: 10 feet, Building Separation: 15 feet

Parking:

- » One bedroom: 1.5 covered per units
- » Two bedrooms: 2 covered/uncovered per units
- » Three + bedrooms: 2.5 covered/uncovered per units
- » Guest: 1 space every 5 units

Arantine Hills Specific

The Arantine Hills Specific Plan is located on 325.7 acres on the southeastern boundary of Corona East of Interstate 15. The Specific Plan allows 1,621 single-family and multi-family homes with an additional 185 age-qualified units for a total of 1,806 dwelling units.

General Commercial District: The General Commercial District (GC) is intended for commercial uses that serve neighborhood and community needs with an emphasis on convenient automobile access, while incorporating efficient, safe and attractive on-site pedestrian circulation. In addition to retail uses, the General Commercial District may also contain low- and medium-rise office uses.

The following property development standards set forth in this section shall apply to all land and buildings in the GC District:

- » Maximum Height: Four (4) stories or 50' , whichever is greater
- » Maximum Density: Up to 228 units
- » Setbacks: No requirements. Maximum FAR 0.25

High Density Residential District: The High Density Residential (HDR) District is planned for attached multi-family dwelling units, including, but not limited to, townhomes and row homes, clusters, stacked flats and age-qualified apartments, at densities of up to 36 dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the HDR District:

- » Maximum Height: Shall not exceed three stories or 40 feet, whichever is greater
- » Maximum Density: Up to 36 units/ acre
- » Setbacks: 10 or 26 feet front, 0 or 6 feet sides, 10 or 26 feet rear

Parking:

- » One bedroom: 1.5 covered/uncovered spaces
- » Two bedrooms: 2 covered spaces
- » Three+ bedrooms: 2 covered plus .5 uncovered
- » Age-Qualified: 1.5 uncovered spaces/unit
- » Guest: 1 space every 5 units

Medium Density Residential District: The Medium Density Residential District (MDR) is intended as a residential district for single family dwellings, duplexes townhomes, row homes, and multiple-family residences at densities up to 15 dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the MDR District:

- » Maximum Height: Shall not exceed three stories or 40 feet, whichever is greater
- » Maximum Density: Up to 15 units
- » Setbacks: 10 or 26 feet front, 0 or 6 feet sides, 10 or 26 feet rear

Low Density Residential District: The Low Density Residential Districts (LDR) are intended to provide for single-family detached homes and/or low density condominium homes with a maximum density of six dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the LDR District:

- » Maximum Height: Shall not exceed two stories or 35 feet, whichever is greater
- » Maximum Density: Up to 6 units
- » Setbacks: 20 feet from Front, 15 rear and sides, 10 street sideyard

Table 29: General Residential Development Standards in Zoning Code

Zone	Max. Density	Yard Setback Minimums			Parking Standards	Maximum Height	Maximum Lot Coverage
		Front	Side	Rear			
Rural/Estate Residential							
A [†]	1.0 du/5.0 acres	25'	15'	10'	2/unit	30' 2-story	30%
A-14.4 [†]	3.0 du/acre	25'	15'	10'	2/unit	30' 2-story	40% (1-story) 30% (2-story)
R-12.0 [†]	3.0 du/acre	25'	10'	7'	2/unit	30' 2 story	30% (2-story) 40% (1-story)
R-1-20.0 [†]	3 du/acre	25'	15'	10'	2/unit	30' 2-story	30% (2-story) 35% (1-story)
R-1A [†]	1.0 du/acre	25'	15'	10'	2/unit	30' 2-story	25%
Low-Density Residential							
R-1-12.0 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 30% (2-story)
R-1-9.6 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 35% (2-story)
R-1-8.4 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 35% (2-story)
R-1-7.2 [†]	6.0 du/acre	23'	5'-10'	10'-15'	2/unit	30' 2-story	45% (1-story) 35% (2-story)
Medium-Density Residential							
MP	8.0 du/acre	5'	4'	5'	2/unit + 1 for every 4 units	30' 2-story	75%
R-G	12.0 du/acre	30'	5'-15'	10'	**	35' 2-story	40%
R-2	15 du/acre	25'	5'-15'	10'	**	30' 2-story	50%
High Density Residential							
R-3	36 du/acre*	20'- 25'	5'-15'	10'	**	40' 3-story	60%
R-3-C	23.2- 58 du/acre	20'- 25'	5'-15'	10'	**	45' 3-story	70%

Source: City of Corona Municipal Code, Title 17, 2020.

[†]Accessory dwelling unit of a permanent character placed in a permanent location is permitted under Corona Municipal Code Section 17.06.025

* 75 dwelling units per acre (du/acre) for senior citizen/handicapped housing per Conditional Use Permit (CUP).

**Parking Requirements:

Single-family - 2 covered spaces/unit

Studio and one-bedroom - 1.5 covered spaces per unit + 1.0 uncovered guest space per 5 units

Two-bedroom - 2.0 covered spaces per unit + 1.0 uncovered guest space per 5 units

3+ bedroom - 2.5 covered spaces per unit + 1.0 uncovered guest space per 5 units

Market rate senior citizen apartment - 1.5 spaces per unit

Lower income senior citizen apartment - 0.5 spaces per unit

Senior congregate housing - 1.0 space per unit

Disabled or handicapped housing - 0.3 spaces per unit

Secondary dwelling - 1.0 uncovered space per unit

Table 30: Regional Comparison of Residential Development Standards

Residential District	Development Standard	Corona	City of Riverside	Norco	Temecula
Rural/Estate Residential	Maximum Density	1 du/acre	3.3 du/acre	1 du/acre	1 du/2.5 acres
	Front Yard Setback	20'-25'	30'	25'	25'
	Parking Standards	2/unit	2/unit	2/unit	2/unit
	Maximum Height	30'/2-story	35'/2-story	35'	35'
Low Density Residential	Maximum Density	6 du/acre	6.0 du/acre	4.3 du/acre	2.0 du/acre
	Front Yard Setback	20'-25'	25'	25'	15'
	Parking Standards	2/unit	2/unit	2/unit	2/unit
	Maximum Height	30'/2-story	35'/2-story	35'/2.5-story	35'
Medium Density Residential	Maximum Density	15 du/acre	8.0 du/acre	8.0 du/acre	12.0 du/acre
	Front Yard Setback	25'	25'	25'	10'
	Parking Standards	*	2/unit	2/unit	*
	Maximum Height	30'/2-story	30'/	35'/2.5-story	40'
High Density Residential	Maximum Density	36.0 du/acre**	29.0 du/acre	No Comparable Zone	20.0 du/acre
	Front Yard Setback	20'-25'	15'	*	20'
	Parking Standards	*	*	*	*
	Maximum Height	40'/3-story	50'	*	50'
<p>Land Uses / Zone Districts Compared:</p> <p>Rural Residential: Corona = R-1A; Riverside = RE; Norco = A-E; Temecula = VL</p> <p>Low Density Residential: Corona = R-1-12; Riverside = R-1-1300; Norco = R-1; Temecula = L-2</p> <p>Medium Density Residential: Corona = R-2; Riverside = R-3-4000; Norco = R-3; Temecula = M</p> <p>High Density Residential: Corona = R-3; Riverside = R-4; Norco = N/A; Temecula = H</p> <p>* Parking standards vary by unit type.</p> <p>** Up to 75 du/acre for senior citizen/handicapped housing per CUP.</p> <p>Sources: City of Corona 2020, City of Riverside 2018, City of Norco 2020, City of Temecula 2020.</p>					

LOT COVERAGE

As shown in Table 29, maximum lot coverage varies between 25 and 75 percent, depending on the underlying zone. If maximum lot coverage standards were set too low, it could impede the ability to achieve greater densities or full residential development potential on-site. However, the standards set within the zoning ordinance are reasonable and allow for greater lot coverage within higher-density zones, while preserving the character of designated lower-density communities through lower maximum lot coverage.

OPEN SPACE

While there are no open space requirements for most residential zones (yard setbacks, maximum lot coverage and building separation requirements aside), multi-family units under higher density zones are required to provide common park or recreation space. The MP zone includes interior community center parks standards of at least 2,000 square feet of usable outdoor park space and a minimum of 150 square feet of combined outdoor and indoor net usable recreation area per mobile home space. The R-G, R-3, and R-3-C zone requires outdoor common space for the multi-family unit complex of at least 200 square feet (150 square feet for senior congregate care facilities) of usable outdoor space per dwelling unit exclusive of front yards, with other criteria.

PARKING

Excess parking can reduce the number of housing units that can be achieved on a given site. As shown in Table 29, the number of spaces required varies by zone; generally then, single-family residences are required to have two covered spaces, and multi-family units will have at least 1.5 covered spaces per studio or one-bedroom, 2.0 covered spaces per two-bedroom, and 2.5 covered spaces per three-bedroom (or greater). Multi-family units must also provide at least one uncovered guest space per five units. Senior units have reduced parking requirements at 0.5 to 1.5 spaces per unit, depending on the affordability of the unit, while all secondary dwelling units where allowed must have one covered space per unit. Housing for the disabled or handicapped requires only 0.3 spaces per unit. Homeless or emergency shelters must provide only one space per staff member/shift plus one space per 12 beds and two guest spaces. The City's parking requirements are not considered excessive and are similar to most communities in the region.

The Zoning Ordinance includes a provision for project applicants in the downtown area to pay an in-lieu fee to a parking fund when able to demonstrate that meeting requirements is infeasible, and the Planning and Housing Commission concurs and sets the appropriate fee. This provision is applied to a focused area of the downtown to facilitate redevelopment in the downtown. However, there has been no request to utilize this provision since adoption in 1978 and therefore, no formal program has been established to implement this in-lieu fee.

To facilitate high density residential development within ½ mile of public transportation, the City's parking standards for Urban Density Residential in the North Main Street Specific Plan is one space per unit for Studio/One-Bedroom Urban Residential and two spaces per unit for Three+ Bedrooms.

MINIMUM LOT SIZE REQUIREMENTS

Large-lot zoning is primarily established for residential areas zoned R1, which means single family. The City's R1 zoning has various minimum size requirements with the largest lot size starting at one acre and the smallest lot size being 7,200 square feet. In 1986, Corona voters approved Measure H, which requires a minimum lot area of 7,200 square feet for single-family homes located on fee simple lots. The City's multiple family residential zones, R-2 and R-3 also require a minimum lot size of 7,200 square feet per lot. These minimum requirements are very typical in suburban communities and do not seem excessive or burdensome in that they will not preclude most lots from developing residential use at an achievable maximum density assumed under these zones.

The minimum lot size requirement for an R-3-C zoned parcel is 6,000 square feet. To effectuate the purposes of the R-3-C zone and to encourage new development at one time of large areas of land for multi-family dwelling use, and the redevelopment at one time of many existing buildings in the zone for

this use, a minimum of 1,875 square feet of gross lot area per dwelling unit is required for lots less than 22,500 gross square feet. A minimum of 1,500 square feet of gross lot area per dwelling unit is required for larger lots. However, if a property was previously burdened by public street easements and abuts a lot or contiguous lots of 22,500 square feet or more, the minimum lot requirement may further be reduced to 750 square feet of gross lot area per dwelling unit. These minimum lot size requirements are designed to encourage lot consolidation and to facilitate the development of large-scale multi-family developments that would achieve economies of scale, potentially making units more affordable.

MINIMUM UNIT SIZES

For R-1 zones (single-family dwelling units), the minimum unit size is 1,000 to 1,400 square feet of living area exclusive of open patios and garages, depending on the specific district. For multi-family developments, the minimum unit size in an R-2 zone is 800 square feet per dwelling unit; for R-3-C and R-G is 600 square feet per dwelling unit; and for R-3 is 600 square feet per dwelling unit except for senior care facilities, which may be reduced to 550 square feet per unit, or further reduced to 375 to 550 square feet per unit depending on the unit type and under the provision that an equal amount of area under 550 square feet is provided elsewhere in the building in the form of common activity centers or facilities. These minimum unit sizes are smaller than those standards set by most communities and allow development to achieve the maximum densities permitted. These smaller unit sizes allow for the creation of a variety of housing types and affordability levels.

FLEXIBILITY IN DEVELOPMENT STANDARDS

Densities of up to 60 units per acre are permitted, with higher densities for senior citizen or handicapped housing units up to 75 units per acre via CUP. The City has also relaxed standards for minimum unit size and parking to encourage affordable senior housing and housing for disabled or handicapped persons.

Other density bonuses reflect current State Density Bonus Law, which allows for a 20 to 35 percent increase in density where units are reserved for lower income (minimum ten percent) or very low income (minimum five percent) units, or condominium units are reserved for moderate income residents (minimum ten percent). Density bonuses may also be achieved under the State Density Bonus Law for applicants who donate at least ten percent of their land for affordable housing (15 to 35 percent density bonus increase) or when a childcare facility is involved (matching square footage increase). Specific terms are negotiated between the City Manager or Community Development Director and the project developer under special agreement.

In addition to these density provisions, the City has adopted provisions for factory-built housing and second units, and encourages the preparation of specific plans as a means of proposing use regulations and development standards tailored to specific areas.

HOUSING FOR PERSONS WITH SPECIAL NEEDS

PROVISIONS FOR A VARIETY OF HOUSING TYPES

State law requires that each jurisdiction must identify adequate sites and provide the appropriate zoning to accommodate housing for all segments of the population. identifies the housing types permitted in the residential zoning categories.

Table 31: Residential Zoning Provisions for a Variety of Housing Types

Housing Type	Zoning District								
	A A-14.4	R-1-A R-1-20.0 R-14.4 R-1-12.0 R-1-9.6 R-1-8.4 R-1-7.2	MP	R-G	R-2 R-3 R-3-C	C-2 CP	C-3	M-1	M-2 M-3
Single-family	P	P	X	X	P	X	X	X	X
Multi-family	X	X	X	C	P	X	X	X	X
Accessory Dwelling Unit	P	P	P	X	P	X	X	X	X
Manufactured Housing	P	P	P	X	P	X	X	X	X
Care Facility for 6 or Less	P	P	X	P	P	X	X	X	X
Care Facility for 7 or More	C	C	X	C	C	X	X	X	X
Emergency Shelters	X	X	X	X	X	X	X	P	BZA
Farmworker Housing	P	X	X	X	X	X	X	X	X
Mobile Homes	X	X	P	X	X	X	X	X	X
Accessory Dwelling Units	P	P	X	X	P	X	X	X	X
Transitional and Supportive Housing	P	P	X	P	P	X	X	X	X
Single-Room Occupancy	-	-	-	-	-	-	-	-	-

Source: City of Corona Zoning Ordinance, 2012.

Notes: "P" = Permitted; "C" = Conditional Use Permit; "BZA" = Board of Zoning Approval; and "X" = Not Permitted.

Single-Family

A single-family dwelling (known as one-family dwelling) means a detached building or qualifying manufactured home, set on permanent foundation and provided such housing unit is architecturally compatible with other housing units in the surrounding neighborhood as well as used exclusively for occupancy by one family, including necessary domestic employees of such family, and containing one dwelling unit. One-family residences are permitted in all residential zones in the City. Projects with four or more units are subject to review and approval by the Planning and Housing Commission.

Multi-Family

Multi-family developments are permitted in the R-2, R-3, and R-3-C zones. They are also permitted in the R-G zone with a CUP. The maximum densities are 12 dwelling units per acre in the R-2 and R-G zones; 36 dwelling units per acre (or up to 75 senior citizen units per acre with CUP) in the R-3 zone; and 23 dwelling units per acre (for lots less than 22,500 square feet), 29 dwelling units per acre (for lots equal to or greater than 22,500 square feet), or 58 dwelling units per acre (for lots previously burdened by or

adjacent to a public street easement) in the R-3-C zone. Multiple family residential projects with four or more units are subject to review and approval by the Planning and Housing Commission.

Manufactured Housing

Pursuant to California law, the City permits manufactured housing on a permanent foundation in all residential zones that permit single-family dwellings. This type of housing is subject to the same development standards and design as “stick-built” housing.

24-Hour Care Facilities

The Zoning Ordinance regulates a variety of uses that provide 24-hour care to persons with disabilities, including State-licensed residential care facilities. The City revised its Zoning Ordinance in July 2013 to allow all such facilities that serve six or fewer persons by right wherever single- or multi-family housing is allowed, pursuant to the California Lanterman Developmental Disabilities Services Act. Care facilities that provide 24-hour care to seven or more disabled persons are allowed in all zones that permit residential uses subject to approval of a CUP. The Zoning Ordinance does not require a special separation distance requirement between residential facilities and other structures in residential zones. The requirement of a CUP is a constraint to the development of care facilities that provide 24-hour care to seven or more disabled persons. Under Program 25, the City will review the provisions to remove the constraint and amend the Zoning Ordinance and other documents as necessary.

Emergency Shelters

The City defines “emergency shelter” as housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person within any one year period, as defined by § 50801(e) of the California Health and Safety Code. No individual or household may be denied emergency shelter because of an inability to pay. In July 2013, the City revised its Zoning Ordinance to allow emergency shelters by right and subject to ministerial review within the M-1 zone, consistent with State law. The five-year Homeless Strategic Plan calls for Annual Action Plans that are tied to the budget. With City Council's approval of the Fiscal Year 2021 Homeless Solutions Annual Action Plan on July 15, 2020, the City planned to develop each component of the homeless system of services within approximately six months. The goal is to open the City's new homeless shelter/navigation center and housing programs in Fall 2021. The City continues to provide emergency shelter through its Motel Voucher Program and contracted shelter beds with the Path of Life in Riverside.

In addition to the same land use regulations and development standards that apply to all development within the M-1 zone (e.g., lot size, setbacks, building height, etc.), an emergency shelter proposed in this district must be demonstrated to meet the following standards, as permitted by § 65583(a)(4) of the Government Code:

- » The proposed shelter is in conformance with the applicable Building and Fire Codes
- » The proposed shelter use is consistent with the General Plan and zoning of the proposed site
- » The maximum number of beds or persons permitted to be served nightly by the facility must be based upon California Building Code Occupancy limits for the building in which the shelter is to be housed or developed

- » Off-street parking must be provided in accordance with CMC Section 17.76.030.A.2 (1.0 space per staff member of largest shift, plus 1.0 space per 12 beds and 2.0 guest spaces)
- » On-site management must be provided on a 24-hour basis
- » The shelter must be located no less than 300 feet from any other shelter facility
- » The length of stay for any client cannot exceed 180 nights in any one year period
- » Adequate exterior lighting must be provided and maintained for security purposes

The M-1 zone in Corona covers more than 2,000 acres and includes 532 parcels. Of this M-1 zoned land, 49 parcels (encompassing 195 acres) are currently undeveloped; the City also currently owns five parcels (totaling 135 acres) of M-1 land. Clusters of M-1 parcels are located along California State Highway 91 and the Railroad corridor. Most M-1 parcels are located within one-half mile of public transit, and several M-1 lots are directly adjacent to public bus routes. Corona's City Hall, hospital, library, senior center, community buildings, the hospital, Metrolink stations, and other locations serving homeless individuals and families are also located along public transit routes or within walking distance of M-1 parcels.

Emergency shelters are also permitted upon approval by the Board of Zoning Adjustment (BZA) in the M-2 and M-3 zones. For M2 and M3 zones, there are about 2,008.9 acres in the city with an average size of 4.7 acres.

Prior to approving an application to establish an emergency shelter within the M-2 or M-3 zones, the BZA must make the following findings:

- » At least ten days before the hearing, notice of the application for an emergency shelter was mailed to property owners of record on abutting properties and adjacent properties directly across a street or alley. The notice included a postcard for the property owner's use to return written comments on the proposed shelter and all responses have been considered by the Board
- » Land uses and development in the immediate vicinity of the site will not constitute an immediate or potential hazard to occupants of the proposed shelter
- » The site of the proposed shelter is safely accessible by pedestrians
- » The proposed shelter is located with reasonable access to public agencies and transportation services
- » Sewer, water, electricity and telephone services will be provided at the site

Emergency shelter applications in the M-2 and M-3 zones are also subject to the following standards:

- » The proposed shelter is in conformance with the Uniform Building and Fire Codes
- » The proposed shelter use is consistent with the General Plan and zoning of the proposed site
- » The proposed shelter meets the development standards that are applicable to the zoning of the proposed site
- » The proposed shelter is at least 300 feet away from any other shelter facility
- » Off-street parking must be provided in accordance with CMC Section 17.76.030.A.2 (1.0 space per staff member of largest shift, plus 1.0 space per 12 beds, plus 2.0 guest spaces)

- » No person shall be allowed to sleep at the same shelter for more than a total of 180 nights in any one year period

Any approval by the BZA for an emergency shelter in the M-2 or M-3 zones shall be subject to conditions of approval which must include, but are not limited to, the following:

- » No homeless person will be allowed to sleep at the same shelter for more than a total of 180 nights in any one year period
- » The maximum number of beds or persons permitted to be served nightly by the facility must be based upon California Building Code Occupancy limits for the building in which the shelter is to be housed or developed
- » On-site management is provided on a 24 hour basis
- » Adequate exterior lighting must be provided and maintained for security purposes

The above emergency shelter requirements and conditions are currently not in compliance with State law and will be amended. In 2019, AB 101 was passed requiring that a Low Barrier Navigation Center development be a use by right in mixed-use zones and nonresidential zones permitting multifamily uses. The City will need to amend its Zoning Ordinance to explicitly allow the development of Low-Barrier Navigation Centers, by right, in residential and use mixed-use zones, as well as nonresidential zones permitting multifamily uses. Additionally, AB 139 was passed in 2019 establishing new criteria for evaluating the needs of the homeless population. The analysis must assess the capacity to accommodate the most recent homeless point-in-time count by comparing that to the number of shelter beds available on a year-round and seasonal basis, the number of beds that go unused on an average monthly basis, and the percentage of those in emergency shelters that move to permanent housing. The bill also established new parking standards for emergency shelters by providing parking based on the number of staff rather than beds and emergency shelters are not required to be more than 300 feet apart Chapter 17.44.130 of the City's municipal code states that shelters shall be located no less than 300 feet from any other shelter facility and parking shall be provided at one space every 12 beds, which is inconsistent with State law. Under Program 21 Housing for Persons Experiencing Homelessness Program, the City will review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply. The City will review the AB 101 and AB 139 provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply (Program 14).

Farmworker Housing

According to the American Community Survey in 2018, 244 people were employed in the agriculture, forestry, fishing, and mining industry within the City⁹. The City's Agricultural (A) zone, permits different types of housing including; farm employee housing projects, farm labor camps, single-family dwellings, and residential care homes with no more than six persons. Farm employee housing in the A zone complies with sections 1721.5.6 and 1721.5.8 of California's Health and Safety Code, which require permitting of 36 beds or 12 residential units for farmworker use.

⁹ Census Bureau – American Community Survey. 2020. Corona Community Survey.
https://data.census.gov/cedsci/table?g=0400000US06_1600000US0682996&d=ACS%205-Year%20Estimates%20Data%20Profiles&tid=ACSDP5Y2018.DP03

Employee Housing

Title 25, California Code of Regulations, Division 1, Chapter 1, Subchapter 3 Opens in New Window includes specific requirements for the construction of housing, maintenance of grounds and buildings, minimum allowable sleeping space and facilities, sanitation, and heating for employee housing. The provisions of the California Building Standards Code (Title 24) govern the construction of permanent buildings used for employee housing. Also see the State Housing Law for appropriate building standards. The construction of mobile home and recreational vehicle lots within an employee housing facility is subject to provisions in the Mobile Home Parks Act and regulations adopted by the Department for such facilities. Furthermore, buildings used for human habitation, and buildings accessory thereto, within employee housing shall comply with the building standards published in the State Building Standards Code relating to employee housing and with the other regulations adopted pursuant to this part, unless a local ordinance prescribing minimum standards adopted in accordance with Sections 17958.5 and 17958.7 which is equal to such regulations is applicable. Notwithstanding the provisions of Section 17050, if such a local ordinance is applicable to buildings used for human habitation, and buildings accessory thereto, within employee housing, these buildings shall comply with the construction and erection provisions of the ordinance. Every person operating employee housing shall obtain a permit to operate that employee housing from the enforcement agency, unless otherwise exempted by this part. It shall be unlawful for any person to operate employee housing without a valid permit to operate issued by the enforcement agency, as required by this part. Permits to operate shall be issued annually by the enforcement agency, except as provided in this section and Section 17030.5. The City is not in compliance with the Employee Housing Act and will amend its zoning. Under Program 14, the City will review the Employee Housing Act provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply.

Mobile Homes

The City has established a Mobile Home Park Zone as a means of establishing, maintaining and protecting mobile home rental parks in its jurisdiction. The zone designation provides added protection for tenants from unmitigated displacement due to change in use, including approval of a phase-out plan as a condition of rezoning an existing mobile home park. The zone is intended to provide for a combination of mobile homes in planned, integrated mobile home parks according to standards consistent with the protection of the health, safety and welfare of the city.

Accessory Dwelling Units

The City's Zoning Code was amended and adopted in January 2020 to comply with the new State law regulating Accessory Dwelling Units (ADUs). The passage of SB 1069 and AB 2299 in 2016, SB 229 and AB 494 in 2017, as well as SB 13 and ABs 68, 587, 670, 671, and 881 in 2019, made it necessary for Corona to revise its provisions related to the construction of ADUs and requirements for parking spaces to be consistent with State law. AB 68 allows an ADU and a junior ADU to be built on a single-family lot if certain conditions are met. The State has also removed owner-occupancy requirements for ADUs, created a tiered fee structure that charges ADUs based on their size and location, prohibits fees on units of less than 750 square feet, and permits ADUs at existing multi-family developments. ADUs are currently permitted on a lot zoned for single family, multiple family residential and mixed-use that allows an integration of residential and commercial.

The maximum size of an attached unit shall not exceed 50 percent of the size of the primary residence, or 1,200 square feet, whichever one is less. The maximum size for a detached unit is 1,200 square feet.

Transitional and Supportive Housing

The City revised the Zoning Ordinance in July 2013 to define and permit transitional and supportive housing facilities by right in accordance with State law within all zones that allow residential uses. The City's definitions are consistent with definitions for these facilities found in California Health and Safety Code Section 50675.

The City defines transitional housing and transitional housing development as "buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no less than six months. Transitional housing shall be considered a residential property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone. Per Health and Safety Code Section 50675.2(d), rental housing development means a structure or set of structures with common financing, ownership, and management, and which collectively contain five or more dwelling units, including efficiency units. No more than one of the dwelling units may be occupied as a primary residence by a person or household who is the owner of the structure or structures."

Supportive Housing is defined in the Zoning Ordinance as "housing with no limit on length of stay that is occupied by the target population as defined in subdivision (d) of Section 53260 of the Health and Safety Code, and that is linked to on-site or off-site services that assist the supportive housing resident in retaining housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community. As defined per said section of the Health and Safety Code, target population means adults with low income having one or more disabilities including mental illness, substance abuse, or other chronic health conditions, or individuals eligible for service provided under the Lanterman Development Disabilities Services Act (Division 4.5 [commencing with Section 4500] of the Welfare and Institutions Code) and may, among other populations, include families with children, elderly persons, young adults aging out of the foster care system, individuals exiting from institutional settings, veterans, or homeless. Supportive housing is provided in residential dwellings or in health care and community facilities listed in Chapter 17.73 under this code and shall be permitted, conditionally permitted or prohibited in the same manner as other residential dwellings or health care and community facilities. Supportive housing shall be considered a residential use of the property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone."

In 2018, AB 2162 required cities to change their zoning to provide a "by right" process and to expedite review for supportive housing. Effectively, this law applies to sites in zones where multi-family and mixed uses are permitted, including in nonresidential zones permitting multi-family use. The City's Supportive Housing is permitted in all zones where multi-family and mixed-use is permitted. The City is currently in compliance with this portion of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this portion of AB 2162. Program 14 will amend Title 17 of the Corona Municipal Code to reflect this portion of AB 2162.

Single-Room Occupancy (SRO)

The City revised the North Main Street Specific Plan and Downtown Revitalization Specific Plan in July 2013 to facilitate and encourage single-room occupancy (SRO) units, a housing type that is considered suitable to meet the needs of extremely low income households, consistent with State law.

The Specific Plans define SROs as “an efficiency unit intended or designed to be used, rented, sold or occupied as a primary residence for a period of more than 30 consecutive days which can serve as an affordable housing alternative for one to two persons per unit.”

SROs require a CUP in the Urban Density Residential (UDR) and Mixed Use (MU) districts of the North Main Street Specific Plan and the Multi-family Residential (MF) district of the Downtown Revitalization Specific Plan and are subject to the following requirements and development standards:

- » The minimum unit size is 220 square feet gross area
- » Each unit must have provisions for kitchen purposes including a sink, food preparation area, microwave, refrigerator, dry food and utensil storage
- » Each unit must have a closet area
- » Each unit must have access to an on-site laundry facility with at least one washer and one dryer for every 15 units
- » Common open space must be provided as follows:
 - A minimum of 400 square feet for the first 20 units, then 25 square feet per unit for each additional unit in excess of 20
 - Such common open space must be located on-site to be easily accessible to all residents and must exclude required building and landscape setbacks and required parking or parking lot landscaping
- » Up to one-half of the common usable open space area may be located indoors in the form of a recreation room, exercise room, or similar common facility
- » Off-street parking must be provided in accordance with Section 17.76.030 of the Zoning Ordinance for hotel or motor inn at one space per unit
- » Trash pick-up is governed by Section 17.24.160 of the Municipal Code

The City has one zone explicitly for agricultural (A) use that allows housing for agricultural workers employed by property owners by right. Other rural residential zones and certain single-family and multi-family residential zones also permit housing that could be suitable for farm workers, including one additional secondary residential structure or small residential facilities. In July 2013, the City eliminated a restriction on renting rooms to no more than four boarders in single-family residences within the A and A-14.4 zones, which could have constrained opportunities for farm worker housing.

AFFIRMATIVELY FURTHERING FAIR HOUSING (AFFH)

As part of the CDBG program certification process, participating jurisdictions must prepare an analysis of impediments to fair housing choice every five years. This analysis, the Riverside Regional Analysis of Impediments to Fair Housing Choice (AI), is an assessment of the regional laws, ordinances, statutes, and administrative policies, as well as local conditions that affect the location, availability and accessibility of housing. It also analyzes the conditions in the private market and public sector that may limit the range of housing choices or impede a person’s access to housing, and provides solutions and measures that will be pursued to mitigate or remove identified impediments. The analysis of impediments to fair housing choice certified by the Corona City Council covers the Riverside region and provides a demographic profile of Riverside County, assesses the extent of housing needs among specific income groups and evaluates the

availability of a range of housing choices for residents. Regionally, the AI identifies the following impediments to fair housing:

- » Hispanic and Black residents continue to be underrepresented in the homebuyer market and experienced large disparities in loan approval rates.
- » Due to the geographic disparity in terms of rents, concentrations of housing choice voucher use have occurred.
- » Housing choices for special needs groups, especially persons with disabilities, are limited.
- » Enforcement activities are limited.
- » Today, people obtain information through many media forms, not limited to traditional newspaper noticing or other print forms.

The regional AI provides a strong foundation and context within which to assess the State of fair housing in the city of Corona. The AI report also listed the following impediments that are specific to Corona's land use policies:

- » Recent changes to density bonus law
- » Lack of inclusionary housing requirements

Since the publication of the AI report, the City of Corona is taking steps to remove these impediments by amending its zoning ordinance to comply with recent changes to density bonus law and accessory dwelling units policies.

The City of Corona takes additional steps to affirmatively further fair housing by contracting with the Fair Housing Council of Riverisde County (FHCRC), a non-profit organization to counsel property owners, managers, tenants, and homebuyers on fair housing related issues. Various services are implemented through this partnership including:

- » Providing tenant/landlord counseling to all citizens;
- » Responding to all citizens complaints regarding violations of the fair housing laws;
- » Promoting community awareness of fair housing rights and responsibilities;
- » Monitoring fair housing legislation, attending training and reporting to the City; and
- » Serving as an overall fair housing resource for the area, including implementation of an affirmative fair housing market plan

Additionally, while the AI lists several impediments to fair housing in Corona, the City is working separately to address some impediments, and will address the remainder through implementing programs of this Housing Element. As for the regional impediments noted in the AI, this Housing Element's AFFH programs (Programs 19 and 20) will work to increase fair housing practices such as outreach and education through social media and providing resources such as fair housing counseling and mediation, including targeting populations that have historically had fewer housing choices; promote equitable employment, and continue existing work with the FHCRC.

On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update, which were attended by individuals who represent non-profit agencies that provide housing and services to low-income and special needs populations, including the Inland Regional Center,

the Corona Norco United Way, Habitat for Humanity Riverside, Fair Housing Council, C&C Development (Affordable Housing Developer), Inspire Lifeskills Training, Homeless Services, Fair Housing Council Riverside County, and Supportive Services for Hopeyou Housing Foundation. During the workshop, the participants identified the biggest challenges their clients experienced when finding appropriate housing that suits their needs: rental costs, access to low-income housing, locating housing proximate to public transportation, and locating housing accessible for persons with physical disabilities.

HOUSING FOR PERSONS WITH DISABILITIES

Persons with disabilities have a number of specific housing needs, including those related to design and location. Design needs generally include the removal of architectural barriers that limit the accessibility of dwelling units and construction of wheelchair ramps, railings, etc. Location needs include accessibility to public transportation, commercial services, healthcare, and supportive services. Some persons with disabilities need group housing opportunities, especially those who are lower-income or homeless.

Both the Federal Fair Housing Act and the California Fair Employment and Housing Act direct local governments to make reasonable accommodations (i.e., modifications or exceptions) in their zoning laws and other land use regulations to allow disabled persons an equal opportunity to use and enjoy a dwelling. For example, it may be a reasonable accommodation to waive a setback requirement so that elevated ramping can be constructed to provide access to a dwelling unit for a resident who has mobility impairments. Whether a particular modification is reasonable depends on the circumstances and must be decided on a case-by-case basis.

California statutes require that the Housing Element include an analysis of the Zoning Ordinance, permitting procedures, development standards, building codes, and permit processing fees to identify potential constraints for housing for persons with disabilities. The following discussion addresses these issues and determines that no specific City policy or regulation serves to impede the access that persons with disabilities have to housing that have reasonable accommodations to their specific needs.

ZONING AND LAND USE

The Lanterman Development Disabilities Service Act (Sections 5115 and 5116) of the California Welfare and Institutions Code declares that mentally and physically disabled persons are entitled to live in normal residential surroundings. The use of property for the care of six or fewer persons with disabilities is a residential use for the purposes of zoning. A State-authorized or certified family care home, foster home, or group home serving six or fewer persons with disabilities or dependent and neglected children on a 24-hour-a-day basis is considered a residential use that is permitted in all residential zones.

The City's Zoning Ordinance complies with the Lanterman Act and permits 24-hour care facilities (including adult and senior residential facilities, as well as small family homes) in all residential zones and most commercial zones. Facilities for more than six persons are conditionally permitted in most residential and commercial zones as well.

According to the State of California Community Care Licensing Division, 85 residential care facilities were located in the City as outlined below:

- » Adult Residential Facilities (31)
- » Group Homes (four)

- » Residential Care For the Elderly (36)
- » Small Family Homes (four)

DEFINITION OF FAMILY

The City revised the Zoning Ordinance in January 2013 to remove the definition “family.”

REASONABLE ACCOMMODATION

Reasonable accommodation refers to flexibility in standards and policies to accommodate the needs of persons with disabilities. The City’s zoning and building codes, as well as approach to code enforcement, allow for special provisions that meet the needs of persons with disabilities without the need for variances. Specifically, parking requirements are reduced for senior housing, assisted living facilities, and congregate care facilities. City staff is available to provide assistance regarding the procedures for special accommodations under the City’s Zoning Ordinance.

Accessory uses such as wheelchair ramps are permitted within all residential zones as incidental structures related to the residence. The building permit process facilitates most reasonable accommodation requests to increase accessibility of existing properties. The City’s Zoning Administrator has ministerial authority to hear and decide applications for reasonable accommodation as provided by the federal Fair Housing Amendments Act and California’s Fair Employment and Housing Act to allow reasonable remedy from zoning standards for individuals with physical or mental impairment. Applications are not charged a fee for review and the Zoning Ordinance establishes the following criteria:

- » The housing which is subject of the request for reasonable accommodation will be used by an individual protected under fair housing laws;
- » The request for reasonable accommodation is necessary to make housing available to an individual protected by fair housing laws;
- » The requested accommodation does not impose an undue financial or administrative burden on the jurisdiction; and
- » The requested accommodation does not require a fundamental alteration in the jurisdiction’s land use and/or zoning programs.

Current and proposed planning policies and zoning regulations have mitigated potential constraints to the availability of housing for persons with disabilities. The City has analyzed its zoning ordinance and procedures to ensure that it is providing flexibility in, and not constraining the development of, housing for persons with disabilities.

FEES AND ON-/OFF-SITE IMPROVEMENTS

The City and other public service providers charge various fees and assessments to cover costs of processing permits and providing services and facilities, such as utilities, schools, and infrastructure. Nearly all of these fees are assessed through a pro rata share system, based on the magnitude of the project’s impact or the extent of the benefit that will be derived.

Table 32 shows a list of fees the City charges for residential development in Corona. These fees cover the operating and processing costs incurred by the City for a given development permit or action and are not

seen as revenue generating fees. These fees are comparable to other cities in Riverside County as shown in Table 33.

Other fees may be assessed depending upon the circumstances of the development. For example, the builder may need to pay an inspection fee for sidewalks, curbs, and gutters, if their installation is needed, or the builder may need a variance, CUP, or site plan review. The fees in Table 32 show those typically charged for a standard residential development and further describes the average development fees, building fees, and water/sewer connection fees associated with new single-family or multi-family units.

On/off-site improvements include street right-of-way dedication, sidewalks, street lighting, curbs and gutters, water and sewer connections, circulation improvements, etc. These are generally provided directly by developers when building a new subdivision and are regulated by the Subdivision Ordinance (Title 16) of the Municipal Code. Specifically, Chapter 16.24 specifies the improvement requirements to be performed and fees to be collected prior to approval of the final map. Typical requirements include:

- » Traffic Signalization fees
- » Streetlights
- » Drainage facilities
- » Quimby Fees or Parkland and Open Space

These requirements are typical for residential development. Most of the City's on- and off-site improvements are provided through the payment of fees, which have been accounted for under development fees. Outside of subdivision development, new construction within established zones pays its pro-rated share for on/off-site improvements, if found to be required, as a part of the standard fee schedule.

The City's Circulation Element provides development standards for street type widths. These development standards may be a constraint to development by adding costs. Specifically, for special residential or private streets. Special residential streets may have many added uses and features that add to cost and private streets are not managed by the City; therefore, that cost is responsible by the homeowner. Below is a list of the development standards from the City of Corona's General Plan Circulation Element:

- » **Major Arterial:** Major arterials have the highest traffic-carrying capacity, with the highest speeds and limited interference with traffic flow from driveways or abutting properties. Major arterials may be 4 or 6 lanes depending on traffic volumes, and may have center medians. Parking may or may not be allowed. Major arterials are 82 to 106 feet wide curb-to-curb within a 106- to 130-foot right of-way. Key major arterials include portions or all of Main Street, Magnolia Avenue, Ontario Avenue, Cajalco Road, McKinley Avenue, Grand Boulevard, and Green River Road.
- » **Secondary Arterial:** Secondary arterials connect traffic from collector streets to streets of higher classification with limited access to abutting properties. Secondary arterials carry some through traffic and may or may not provide on-street parking or Class 2 bike lanes. Secondary arterials are typically 4 lanes, 64 feet wide curb-to-curb, and within an 88-foot right-of-way. Secondary arterials include Foothill Parkway, Lincoln Avenue, and Hidden Valley Parkway.
- » **Collector:** Collectors are intermediate routes in a road network. Collector streets may handle some localized "through" traffic from one local street to another; but their purpose is to connect local streets to the arterial network. Collectors typically are 44 feet wide curb-to-curb (2 lanes) within a 68-foot right-of-way and are often equipped with sidewalks and bicycle routes.

- » **Mixed Use Boulevard:** Mixed use boulevards are streets that serve land use patterns in the City's mixed-use land use districts. A prime example is 6th Street, which runs through the Circle and is designed to support a mixed-use district and encourage pedestrian activity by having wide sidewalks and on-street parking where people will park and walk to multiple businesses.
- » **Special Residential:** Special residential arterials are a type of street intended to accommodate land use patterns in the City's Circle and surrounding environment. These streets will include improvements sensitive to adjacent residential uses. These may include parking cutouts, raised medians, roundabouts, bike lanes, special treatments at pedestrian crossings, peak period parking, etc.
- » **Local Street:** Local streets principally provide vehicular, pedestrian, and bicycle access to property that is directly abutting the public right-of-way. Movement of through traffic on local streets is discouraged. Local streets are 40 feet wide curb-to-curb within a 64-foot right-of-way and have 2 lanes (1 in each direction). Sidewalks are included.
- » **Private Street:** Streets not maintained by the City; they principally provide access to and within developments. Most of these streets are within multifamily residential developments; however, a few private streets are in single-family residential neighborhoods. Residents and/or homeowner associations manage and maintain these streets.
- » **Rural Streets:** Rural roads carry vehicles in very low volumes and can only be used in appropriate locations. The rural road carries less than 100 vehicles daily and has a 28-foot-wide travel width and 50-foot right-of-way. The high-traffic-volume rural road may carry up to 200 vehicles per day, and generally has a 36-foot travel width within a 50-foot right-of-way.

Costs related to meeting these development standards may impact the cost of developing housing on sites selected to include affordable housing. The City will incorporate Program 15 to review potential reductions in development standards for affordable and/or high-density housing.

In some areas, residential development is also subject to special fees to offset the costs of development. For example, in south Corona, an infrastructure development program has been developed to provide the roads, water, sewer, drainage, and other infrastructure necessary to serve the area. The funding mechanism allows developers to contribute a fair-share of the total cost to provide service. Without the fees, the individual developers would need to construct all facilities necessary to serve proposed projects. Having developers pay a pro-rata share ensures that public facilities and services will be provided in a planned and coordinated manner. It is also more cost effective and efficient than having developers construct facilities in piecemeal fashion.

Table 32: Planning Fees Charged for Residential Development in Corona (June 2021)

Type of Fee	Cost
Amended Final Map	\$4,071 plus environmental assessment, and Notice Posting \$137 and Scanning Fee \$47
Conditional Use Permits (CUP)	
▪ Time Extension	\$2,034
▪ Major CUP	\$6,500 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
▪ Minor CUP	\$2,625 plus environmental assessment and Scanning Fee \$47
▪ Modifications	\$3,981 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
Density Bonus Agreement	\$1,476 plus Scanning Fee \$47
Development Plan Review	
▪ Time Extension	\$555.00
▪ Precise Plans and Projects 4+ units	\$4,682 + \$15/du
▪ Parcel Map	\$3,567
▪ Specific Plan	\$12,541
▪ Specific Plan Amendment	\$2,566 - \$5,662
▪ Tentative Tract Map	\$5,119 + \$15/lot
Environmental Assessment	
▪ Exemption	\$251
▪ Negative Declaration (ND/MND)	\$6,722
▪ ND/MND Fish and Game Fee	\$2,480.25
Environmental Impact Report (EIR)	Full Cost
▪ EIR Fish & Game Fee	\$3,445.25
General Plan Amendment	\$6,048 plus environmental assessment and Scanning Fee of \$47
▪ Per Acre	\$16.00
▪ Per Acre Digitized Mapping Fee	\$220.00-\$555.00
Nonconforming Building Uses	\$1,114 plus Scanning Fee \$47
Parcel Map (Residential)	\$5,355 plus environmental assessment, Scanning Fee \$47, Notice Posting \$137 and Legal publication fee/City Clerk's office (if appealed) \$85

Table 32: Planning Fees Charged for Residential Development in Corona (June 2021)

Type of Fee	Cost
Precise Plan <ul style="list-style-type: none"> Site Plan and Architectural Review <ul style="list-style-type: none"> Per Dwelling Unit Time Extension Modification Review <ul style="list-style-type: none"> Per Dwelling Unit 	\$6,807 plus environmental assessment and Scanning Fee of \$47 \$15.00/du \$2,034 \$4,923 plus environmental assessment and Scanning Fee of \$47 \$15.00/du \$6,400.00 plus environmental assessment \$15.00/du \$1,795.00 \$4,290.00 plus environmental assessment \$15.00/du
Specific Plan <ul style="list-style-type: none"> Amendment 	Full cost plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee of \$47 \$4,252 – 7,272
Waiver or Modification from Subdivision Standards	\$1.889
Tentative Tract Map <ul style="list-style-type: none"> Per lot 	\$8,741 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47 <ul style="list-style-type: none"> \$35.00/lot
Variance (minor)	\$2,084
Variance (major) from one section <ul style="list-style-type: none"> Per lot 	\$4,230 plus environmental assessment Notice Posting \$137, and Scanning Fee \$47 <ul style="list-style-type: none"> \$20.00/lot
Zone Text Amendment	\$4,213 plus environmental assessment, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
Source: City of Corona Fee Schedule, effective January 1, 2021. Note: Other fees not included on table include building, plumbing, mechanical, and electrical permit fees, meter application fees, and engineering/public works fees.	

Table 33: Fees Charged for Residential Development: Regional Comparison

Type of Fee ¹	Corona	Riverside	Norco	Temecula
Major CUP	\$6,500	\$8,615	\$8,020	\$3,947
General Plan Amendment	\$6,048	\$9,933	\$8,905	\$8,965
Zone Text Amendment	\$4,213	\$5,320	\$3,685	\$7,025
Variance (Major)	\$4,230	\$6,868	\$2,639	\$4,567
Tentative Tract Map	\$8,741	\$10,516+	\$8,046	\$12,428+
Source: City of Corona Fee Schedule, effective January 1, 2021.				
¹ Some fees have additional minor environmental fees or per acre/per lot fees.				

Table 34: Development Fees for a Typical Unit

Development Fees for a Typical Unit	Single-family	Multi-family
Estimated City DIF fees per unit (as of July 1, 2020)	\$36,166	\$24,866
Estimated non-City DIF fees per unit	\$9,478	\$6,389
Estimated Grading Plan Check Fees per unit	\$853	\$1,021
Estimated Improvement Plan Check Fees per unit	\$2,182	\$64
Estimated Grading Permit and Inspection Fees per unit	\$8,503	\$377
Estimated Building Permit Fees per unit	\$4,582	\$5,541
Estimated Water/Sewer Fees per unit	\$25,000	\$15,000
Total estimated fees per unit	\$86,764	\$53,258
Estimated Construction Cost per unit	\$457,380 ^{1, 2}	\$173,523 ³
Typical estimated cost of development per unit	\$544,144	\$229,770
Estimated proportion of fee cost to overall development cost per unit	15.9 percent	23.2 percent
Description of Development Impact Fees	Single-family	Multi-family
Transportation Uniform Mitigation Fee (TUMF) ⁴ per unit	\$9,810	\$6,389
Street and Signal	\$4,047	\$3,238
Drainage	\$1,176	\$303
Law Enforcement	\$338	\$583
Fire Protection Facilities	\$349	\$466
Library Expansion Facilities	\$479	\$346
Quimby Fees	\$12,708	\$0
Public Meeting Facilities	\$311	\$218
Aquatic Center Facilities	\$192	\$135
Parkland and Open Space	\$12,708	\$8,924
Multi Species Habitat Conservation Plan Fee ⁵	\$2,935	\$1,473.00 (8-14 D.U./acre) \$670.00 (Over 14 D.U./acre)

Source: City of Corona 2020

Notes: DIF: Development Impact Fees

¹ Construction costs do not include land costs. When land costs are considered, fees as a proportion of total development cost are significantly lower.

² Single-family prototype is a 2,541 SF dwelling with attached three-car garage, at \$180 per SF to develop.

³ Multi-family prototype is a two-story garden style apartment complex with 100 units (average 1,242 SF each), each with a two-car, enclosed garage.

⁴ Fee Levels per 2016 TUMF Nexus Study as adopted June 3, 2020:

<https://wrcog.us/DocumentCenter/View/1020/TUMF-2017-Nexus-Study-current?bidId=>

⁵ Fee per adopted 2020 MSHCP Nexus Study: https://www.wrc-rca.org/Permit_Docs/Nexus_Report/Draft_MSHCP_Fee_Nexus_Report_2020.pdf

Planning and permitting fees are charged on an at-cost basis to cover staff services and administrative expenses for processing development applications. Development impact fees are required to provide essential services and infrastructure to serve new residents. Impact fees are governed by State law to demonstrate a nexus between development and potential impacts. State law also requires the proportionality test to ensure the pro-rata share of costs to provide services and infrastructure by individual developments is reasonable.

The City recognizes that planning/permitting and development fees add to the cost of residential development. To mitigate the impact of planning/permitting and impact fees on the cost of residential development, the City uses HOME and CDBG funds, deferral of development impact fees as well as other funding sources to gap-finance affordable housing development. In accordance with new transparency requirements, the City of Corona has posted all zoning, development standards and fees on the City's website.

BUILDING CODES AND ENFORCEMENT

Building procedures within Corona are required to conform to the California Building Standards Code, as adopted in the City's Municipal Code. Standards within the Code include provisions to ensure accessibility for persons with disabilities. These standards are consistent with the Americans with Disabilities Act. No local amendments that would constrain accessibility or increase the cost of housing for persons with disabilities have been adopted.

The City of Corona adopted the 2019 California Building Standards Code with minor administrative amendments. The Code establishes minimum construction standards for residential construction and is structured to be the minimum necessary to protect the public health, safety, and welfare, while not unduly constraining the development of housing.

Under the Community Development Department, the City has a Code Enforcement Division to assist the Planning Division, Building Division, Fire Department, Animal Control, Public Works Department, and Police Department in the interpretation and enforcement of various municipal codes related to property maintenance standards, signage, land use and development standards, abandoned vehicles, and substandard property.

Since 1987, the City of Corona has had a comprehensive Property Maintenance Ordinance (Chapter 8.32) dealing with the maintenance of private property. The ordinance was designed to set minimum standards for the maintenance of real property and to prevent unsafe and unsightly conditions. Properties that do not meet these minimum standards are considered to be in violation and a public nuisance.

City Code Enforcement staff conduct both proactive and reactive inspections to ensure compliance with these standards. Code Enforcement Officers strive to draw the property owner's attention to any existing code violation which could have a negative impact on their property, neighborhood, and the City of Corona as a whole. Through voluntary compliance and a spirit of personal responsibility, the majority of these violations are corrected. The success of this program rests upon each resident, business owner and property owner, acting as a good neighbor by properly maintaining his/her property.

If a complaint is filed against a property owner for non-compliance with property maintenance regulations, an inspection is made by a Code Enforcement Officer and a written notice to comply within a specific number of days is issued. Normally a minimum of seven days are given, but no more than 30 days. If compliance is not obtained within the time frame given, the City begins to issue administrative

citations to the property owner to hopefully obtain compliance. If administrative citations are not successful in getting the property owner to resolve outstanding violations, a public hearing is scheduled to determine and declare the property a public nuisance. If the violation remains uncorrected, the City would abate the violation and impose administrative costs to the property. The costs would be payable in addition to the annual property tax bill.

PERMIT PROCESSING PROCEDURES

The City of Corona's development approval process is designed to accommodate, not hinder, development. Most residential uses, including single- and multi-family, do not require any discretionary review other than the subdivision process (if applicable). The City of Corona requires that all single-family residential subdivisions consisting of five or more parcels and all multi-family construction projects undergo site plan and architectural review through the City's Precise Plan process. Single-family homes, second units, transitional housing, and mobile home projects in the appropriate zone are subject to ministerial design review. The Precise Plan requirement is waived for projects that require a CUP.

Projects that include a General Plan Amendment or change of zone must also be considered and approved by the City Council. Generally a period of four to six months can take place between discretionary approval and construction permit issuance (including review by the Planning Commission). Discretionary permits such as a conditional use permit, precise plan and tentative tract maps are reviewed and decided in a public hearing by the Planning Commission and City Council where minor modifications to previously approved permits are done administratively by staff.

Projects involving the construction of new residential units (five or more parcels for single family and four or more units for multiple family residential) require preliminary review through the city's Development Plan Review (DPR) application. The DPR process is an administrative review process. Within 21 business days after submitting a DPR application, the project applicant and city staff have a scheduled meeting to review the project against city ordinances and development standards. Applicants are provided draft written comments from the city at the time of the meeting. Final written comments are provided within 20 business days after the meeting. If the project qualifies for the preparation of a Mitigated Negative Declaration (MND) under the California Environmental Quality Act (CEQA), the City generally needs 14 days after the project has been deemed complete to prepare the MND before the 20-day published public notice for the project. . Therefore, once a project application is considered complete, the application is generally reviewed by the Planning Commission 35 days later.

Established Review Times for Approved Projects

The City's engineering and building department has established plan check turn around times for plan check review. The City's engineering review for grading plans, and tract map reviews is as follows:

- » First Check: four weeks
- » Second Check: three weeks
- » Third check and thereafter: two weeks

The City's building plan review time is as follows:

- » First Check: 10 working days
- » Second Check and thereafter: five working days

The timeline on the applicant's side to address the City's comments varies. Therefore, the City is only responsible for its review time upon plan submittal. The City currently monitors its reviews of plan checks through an electronic data dashboard. The City's meets its building plan check turnaround time on average 90 percent of the time.

The City's processing and permit procedures do not appear to unduly constrain the development of housing. Typical permit processing time frames for the most common types of residential projects are summarized below in Table 35.

Table 35: Permit Processing Timeframes for Typical Residential Developments

Development Type	Timeframe	Notes
Small single-family subdivision (up to 3 units)	3-6 months	Project requires a parcel map. No design review required.
Other single-family subdivision (4 units and more)	6-9 months	Project requires a tentative map and precise plan, which reviews plotting, architecture, amenities, etc.
Condominiums	6-9 months	Project requires a tentative map, precise plan, or possibly a CUP. Permit applications would be processed concurrently.
Apartments (4 or more units)	4-6 months	Project requires a precise plan or CUP but may also involve a subdivision map. Permit applications would be processed concurrently.
Source: City of Corona 2021 Note: Timeframes depend upon applicant responsiveness and could be longer if an Environmental Impact Report is required for the project		

To guide the development review process, providing consistent criteria for review, the City has adopted design guidelines for single-family and multi-family residential development, as well as commercial and industrial development citywide. Specific design guidelines have also been adopted for the various specific plans in the City. Precise Plan review is intended to ensure that development projects are well designed, compatible in terms of scale and aesthetics with surrounding areas and in accord with applicable city requirements, policies and guidelines.

Precise Plans and CUPs are heard by the Planning and Housing Commission and confirmed by the City Council. The Planning and Housing Commission may impose objective conditions on the development, such as: open spaces; screening and buffering of adjacent properties; fences and walls; architectural design; requirements for installation and maintenance of landscaping and erosion control measures; requirements for street improvement and dedication; regulation of vehicle ingress and egress and traffic circulation; regulation of signs; regulation of hours or other characteristics of operation; requirements for maintenance of landscaping and other improvements; and establishment of development schedules or time limits for performance or completion. These conditions are intended to ensure compatibility with surrounding uses, to preserve the public health, safety and welfare. For Precise Plans, the decision-making entity to make the following required findings:

- » The proposal is consistent with the Corona General Plan.
- » The proposal complies with the zoning ordinance, other applicable provisions of the Corona Municipal Code and, if applicable, the South Corona Community Facilities Plan or Specific Plans.

- » The proposal has been reviewed in compliance with the CEQA and all applicable requirements and procedures of the act have been followed.
- » The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal.
- » The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses.
- » The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood and will provide for the harmonious, orderly and attractive development of the site.
- » The design of the proposed development would provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture and color that will remain aesthetically appealing and will retain a reasonably adequate level of maintenance.

For CUPs, the approving entity must find that the proposed use at the proposed location will not be detrimental to the public health, safety, convenience and general welfare and will be in harmony with the City's General Plan. Prior to making such findings, the Zoning Ordinance instructs the Planning and Housing Commission and/or City Council to consider whether the proposed use at the proposed location is detrimental to other existing and permitted uses in the general area thereof and relates properly to existing and proposed streets and highways.

SB 35 requires the availability of a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. Eligible developments must include a specified level of affordability, be on an infill site, comply with existing residential and mixed-use general plan or zoning provisions, and comply with other requirements such as locational and demolition restrictions. The intent of the legislation is to facilitate and expedite the construction of housing. In addition, as part of the legislation, the Legislature found ensuring access to affordable housing is a matter of statewide concern and declared that the provisions of SB 35 would apply to all cities and counties, including a charter city, a charter county, or a charter city and county. Currently, the City of Corona has no written procedures for the SB 35 Streamlined Ministerial Approval Process. Program 12 will be implemented to address these requirements.

DESIGN REVIEW

The current design review process consists of staff review at the time of building permit plan check. The architectural plans are reviewed for consistency with design guidelines such as adequate variation of rooflines, articulations of structure, and no blank walls. Projects are not denied but are revised through this process. The Residential Development Design Guidelines, originally adopted by the City Council in 1999 and revised in 2009, complement the mandatory site development regulations contained in the City's Zoning Ordinance and Specific Plans. There is no special fee for design review and the additional time and cost to the developer is minimal. The most common changes resulting from the review are additional windows or other minor architectural features. This process does not serve as a constraint to housing production. Program 5 addresses the design review process in addition to project review.

STATE TAX POLICIES AND REGULATIONS

PROPOSITION 13

Proposition 13, a voter initiative that limits increases in property taxes except when there is a transfer of ownership, may have increased the cost of housing. The initiative forced local governments to pass on more of the costs of housing development to new homeowners.

ARTICLE 34

Article 34 of the State constitution requires that low-rent housing projects developed, constructed, or acquired in any manner by a public agency must first be approved by a majority of the voters. Requiring such approval can act as a barrier to the development of affordable housing due to the uncertainty and delay caused by the process. In general, the City assists with the development of affordable housing but does not act as developer or owner of the development.

FEDERAL AND STATE ENVIRONMENTAL PROTECTION REGULATIONS

Federal and State regulations require environmental review of proposed discretionary projects (e.g., subdivision maps, use permits, etc.). Costs, resulting from fees charged by local government and private consultants needed to complete the environmental analysis, and from delays caused by the mandated public review periods, are also added to the cost of housing and passed on to the consumer. However, these regulations help preserve the environment and ensure environmental quality for Corona residents.

ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS

Additional factors that could constrain new residential construction are the cost and accessibility of adequate infrastructure such as street upgrades, water and sewer lines, lighting, etc. All of these utilities are required to serve and support residential development. In most cases, these improvements are dedicated to the City, which is then responsible for their maintenance. The cost of these facilities is generally borne by developers, thereby increasing the cost of new construction.

Additionally, environmental constraints are another potential housing constraint, as they have the potential to limit the density and locations of housing developments due to various factors and hazards. A city's environmental setting and characteristics can greatly affect the feasibility and cost of developing housing. There are a number of environmental factors in Corona that can affect the character and density of development in the City. These include the availability of natural resources such as land and water, to environmental hazards such as earthquakes/seismic activity, flooding, and wildfires. The majority of sites identified in Corona's Sites Inventory are located in the urban core of the City, which is not impacted by these environmental constraints.

ENVIRONMENTAL HAZARDS

The City has identified areas in Corona where land development should be carefully controlled. For example, hillsides with steep slopes, flood prone areas, and seismic hazards, including active faults, can constrain future residential development.

Hillsides and Steep Slopes

Where slopes above 25 percent are evident, development difficulties often include the provision of proper access, utility service, and site improvements. Development in these areas, where possible, must retain the natural skyline, ridges, drainage courses, and natural outcrops. According to the Corona General Plan, western and southwestern areas of the City are susceptible to landslides. There are several sites identified as vacant, and planned-approved-pending projects within or near areas that are considered to be at risk for landslides. All significant development is subject to development review procedures, the California Building Code, and the City's Hillside District Zoning regulations. Adherence to these requirements for grading and building permits reduce risk and accommodate safe development in these areas.

Earthquakes and Seismic Activity

The City of Corona is situated within the Peninsular Ranges Geomorphic Province. The Peninsular Ranges Province is traversed by a group of subparallel and fault zones trending roughly northwest. Major active fault systems—San Andreas, San Jacinto, Whittier-Elsinore, and Newport-Inglewood fault zones—form a regional tectonic framework consisting primarily of right-lateral, strike-slip movement. Corona is situated between two major active fault zones—the Whittier-Elsinore Fault Zone to the southwest and the San Jacinto Fault to the northeast. Other potentially active faults located near the City of Corona include the San Jose, Cucamonga, Sierra Madre, Newport-Inglewood, and San Andreas faults.

Historically, the City of Corona has not experienced a major destructive earthquake. However, based on a search of earthquake databases of the United States Geological Survey (USGS) National Earthquake Information Center (NEIC), several major earthquakes (magnitude 5.8 or more) have been recorded within approximately 60 miles of the City since 1769. The latest of these were the Northridge earthquake and Granada Hills aftershock in 1994, about 60 miles from the City. According to the Corona General Plan, a fault zone traverses the western portion of the city. There are several planned, approved, or pending projects, and vacant sites identified for inclusion in the housing plan within this area.

The City will implement all California Building Code standards for future housing development as well as the City's own building code to reduce any potential hazards related to earthquakes and seismic activity.

Flood Hazard Areas

Flood hazard areas include the Prado Basin and the area within the Federal Insurance Administration Flood Hazard Boundary. Within the Prado Basin, development is regulated by the U.S. Army Corps of Engineers. Allowable uses for this area include natural open space, public park and other recreational uses, agriculture, and other public uses. According to the Corona General Plan flood map, there are several identified nonvacant, vacant, potential rezone, and approved and pending projects sites that are within the 100-year flood zone. Additionally, there are several identified planned, approved, or pending project sites within or near 500 year flood zone.

To help offset impacts on residential development due to local flooding, all future developments must comply with the requirements and design standards of the Corona Grading Ordinance as well as the City's Development Code, which requires issuance of a Development Permit to be issued by the Floodplain Administrator prior to any construction or other development in any of the flood hazards areas. In addition to these regulations, the City's General Plan outlines policies that help to discourage future development within these zones.

Geologic Hazard Areas

Geologic hazards include the fault zone of the Chino Fault and portions of the Prado Basin that may be subject to liquefaction in the event of seismic activity. According to the Corona General Plan, northwestern and northeastern portions of the City contain areas that are susceptible to liquefaction. There are several sites identified as non-vacant, vacant, potential rezone, and planned, approved, or pending projects that are within or near areas that are considered to be very high risk, high risk, or moderate risk for liquefaction. The policy approach to areas with potential geologic hazards is similar to that utilized for areas within the 100-year floodplain.

An evaluation of these areas is recommended to be included in a required environmental review prior to development, and, as appropriate, mitigation measures would require adequate building setbacks from identified faults and other controls that may be required to reduce any potential hazard. Furthermore, the City will implement all California Building Code standards for future housing development as well as the City's own building code to reduce any potential hazards related to geologic hazard areas.

Open Spaces

Areas designated for Open Space require a very low level of development as a result of environmental considerations including erosion, landslides, rockfall, steep slopes, fault zones, fire hazards, difficulty providing city service, flood hazards, biological and archaeological resources, liquefaction, and other environmental or safety constraints.

The Open Space designation is intended to limit development in environmentally sensitive areas; to protect human health, safety, and welfare; and to protect and preserve hillsides, ridgelines, and sensitive habitats. The City's Open Space and Conservation Elements provide goals and policies to protect open space from development. According to the Corona General Plan, areas zoned as Open Space are mostly located in the hillsides of northwestern and northeastern portions of the City which are likely not conducive to residential development. The amount of City land designated as Open Space is not excessive and does not constrain residential development.

Wildfire

The City's General Plan identifies wildfire hazards as a primary concern regarding public safety Corona. Factors such as a dry climate, a semi-rural setting, an abundance of dry, low-lying brush, open hillsides, and the frequency of high wind velocity from Santa Ana winds contribute to the City's overall fire risk. Large portions of the City are built and developed, reducing potential impacts of wildfires in these areas. However, wildfires are of special concern in communities located in the Wildland-Urban Interface (WUI). WUI areas are located within City boundaries and are of particular concern to the Corona Fire Department. According to the CalFire, there are VHFHSZ areas in southwestern and southeastern portions of the City. There are several sites identified as planned, approved, or pending projects, potential rezone, and vacant that within or near VHFHSZs.

To reduce and mitigate against wildfire threats, the City has established standards for new construction including; natural hazard real estate disclosures, 100-foot defensible space clearance around all buildings, property development standards including road widths, water supply, and signage and consideration of General Plan policies. Additionally, any new development located in an area that is designated by CalFire as a Very High Fire Hazard Severity Zone (VHFHSZ) is required to comply with all sections of Chapter 7A of the revised CBC (Materials and Construction Methods for Exterior wildfire Exposure) and Chapter 47 of the CFC (Requirements for WUI Fire Areas). Additionally, future development would be guided by the

General Plan Public Safety, Facilities, and Services Element that outlines policies pertaining to wildfire threat.

WESTERN RIVERSIDE MULTIPLE SPECIES HABITAT CONSERVATION PROGRAM

The Western Riverside County Multi-Species Habitat Conservation Plan (MSHCP) is a comprehensive, multi-jurisdictional plan that addresses biological and ecological diversity by conserving species and associated habitats, while allowing approval of development in western Riverside County. The MSHCP is administered by the Regional Conservation Authority Western Riverside County. The MSHCP's plan area encompasses 1,967 square miles and addresses 146 sensitive plant and animal species and the vegetation communities they depend on. Of these, 14 animal species and 11 plant species are listed by the United States Fish and Wildlife Service (USFWS) under the Federal Endangered Species Act (FESA). Several species also have federally designated critical habitat within the MSHCP jurisdiction.

The MSHCP has 14 planning areas with specific conservation goals for each area. Corona is entirely within the Temescal Canyon Area Plan (TCAP). The TCAP is divided into five subunits, defined by the presence or potential occurrence of listed species, those with specific habitat requirements, and key biological issues and considerations, such as habitat linkages. Specific cells comprising 160 acres each are designated for planning purposes. Several cell groups are defined that meet MSHCP criteria for conservation. The listing status of plants and animals may change over time, with species added or deleted from the listing. All proposed development projects, including those under the Housing Element update, would be assessed for consistency with the MSHCP. The MSHCP provides a streamlined regulatory process from which development can proceed in an orderly process while protecting the existing character of the City and the region through the implementation of a system of reserves which will provide for permanent open space, community edges, and habitat conservation for species covered by the MSHCP. The construction of accessory dwelling units and the rehabilitation and conversion within existing structures that do not result in additional useable square footage are exempt from the MSHCP provisions included in Chapter 16.33 of the City's municipal code.

INFRASTRUCTURE CONSTRAINTS

Another factor adding to the cost of new construction is the provision of adequate infrastructure – major and local streets; curbs, gutters, and sidewalks; water and sewer lines; storm drains; and street lighting – which is required to be built or installed in new development. In most cases, these improvements are dedicated to the City, which is then responsible for their maintenance. The cost of these facilities is borne by developers, is added to the cost of new housing units, and eventually is passed on to the homebuyer or property owner.

The City's 2005 Sewer Master Plan and 2015 Urban Water Management Plan indicate the city has adequate capacity to serve future development anticipated under the General Plan, including this Housing Element. Senate Bill 1087 (enacted 2006) requires that water providers develop written policies that grant priority to proposed development that includes housing affordable to lower income households. The legislation also prohibits water providers from denying or conditioning the approval of development that includes housing affordable to lower-income households, unless specific written findings are made. Senate Bill 1087 also mandates priority sewage collection and treatment service to housing developments providing units affordable to lower income households. Since affordable housing is mostly constructed on infill urban sites within the City or on redeveloped sites, the availability of water and sewer infrastructure exists. The Community Development Department will provide a copy of the adopted 2021-2029 Housing

Element to the City's Department of Water and Power within 30 days of adoption. The City does not have written policies that grant water and sewer priority to proposed development that includes housing affordable to lower income households. Program 12 addresses the development of such policies.

OPPORTUNITIES FOR ENERGY CONSERVATION

In relation to new residential development, and especially affordable housing, construction of energy efficient building does add to the original production costs of ownership and rental housing. Over time, however, the housing with energy conservation features should reduce occupancy costs as the consumption of fuel and electricity is decreased. This means the monthly housing costs may be equal to or less than what they otherwise would have been if no energy conservation devices were incorporated in the new residential buildings.

STATE REGULATIONS

Title 24 of the California Code of Regulations establishes energy conservation standards that apply to all new residential buildings. The regulations specify energy saving design for walls, ceilings, and floor installations, heating and cooling equipment and systems, gas cooling devices, conservation standards, and the use of non-depleting energy sources such as solar energy or wind power. Compliance with the energy standards is achieved by satisfying certain conservation requirements and an energy budget. Methods to meet the energy standards include the following:

- » Passive Solar Approach: requires proper solar orientation, appropriate levels of thermal mass, south facing windows, and moderate insulation levels.
- » High Insulation Approach: generally requires higher levels of insulation than the Passive Solar Approach, but no thermal mass or window orientation requirements.
- » Active Solar Water Heating Approach: requires active solar water heating in exchange for less stringent insulation and/or glazing requirements.

The home building industry must comply with these standards. Localities are responsible for enforcing the energy conservation regulations.

Energy conservation has the added benefit of reducing greenhouse gas emissions (GHG), consistent with the legislative intent of AB 32, enacted in 2006. AB 32 tasks the California Air Resources Board (CARB) with establishing a statewide GHG emissions limit that is equivalent to the statewide GHG emission levels in the year 1990 to be achieved by the year 2020. CARB establishes rules and regulations to achieve the AB 32 GHG emission reduction targets. New developments that are subject to CEQA must show consistency with AB 32.

STATE AND FEDERAL PROGRAMS

The California Department of Community Services and Development, in partnership with local community services agencies, administers the Low-Income Home Energy Assistance Program (LIHEAP) and Energy Low-Income Weatherization Assistance Program (DOE-LIWAP). Assistance available to lower income households through State LIHEAP programs include: financial assistance towards a household's energy bill, emergency assistance if a household's home energy service is shut off or about to be shut off, and a

range of other energy-related services that States may choose to offer, such as weatherization improvements, utility equipment repair and replacement, budgeting counseling, etc. The DOE-LIWAP provides installation and weatherization measures that increase energy efficiency of existing residential and multi-family dwellings occupied by lower-income persons. Eligible weatherization services include a wide variety of energy efficiency measures that encompass the building envelope, its heating and cooling systems, its electrical system, and electricity consuming appliances.

LOCAL MEASURES

The City of Corona is a proud GOLD Energy Level Leader in standing partnership with the Community Energy Partnership (CEP). The City's GOLD Level is the result of substantial and sustained energy savings in its municipal facilities and throughout the community. To achieve this status, the City of Corona undertook a number of activities and projects to reduce energy costs, lower its carbon footprint, and extend natural resources.

The Western Riverside Council of Governments (WRCOG) has a Energy Efficiency and Water Conservation Program that allows residents and businesses in Western Riverside County to implement energy and water efficiency improvements using low-interest loans that will be repaid over time through annual property tax payments. The WRCOG HERO Program stands for "Home Energy Renovation Opportunity" and provides low cost, fixed interest rate financing for a broad range of energy and water efficient products and renewable energy systems. Homeowners repay the HERO Financing through their property tax bill.

The City of Corona is also at a turning point in its development. Most of its "greenfields" (greenfields refers to previously undeveloped land) have now been developed. Future development efforts will need to focus on the redevelopment of previously developed land that has become underutilized or obsolete. Redevelopment and infill development have gained popularity as sustainable smart growth solutions. Infill development encompasses sustainable reuse that recycles existing land sources, minimizes impacts to habitat, reduces greenhouse gas emissions, and preserves open space. The City promotes such development in its various specific plans, including the Downtown Specific Plan.

Opportunities for additional energy conservation practices include the implementation of "mitigation measures" contained in environmental impact reports prepared on residential projects in the City. These mitigation measures may be adopted as conditions of project approval.

Chapter 4: Housing Resources

Resources that are available for the development, rehabilitation, and preservation of housing in the City of Corona are discussed in this section. The analysis demonstrates the City's ability to satisfy its share of the region's future housing need and identifies financial and administrative resources available to support housing activities and facilitate implementation of City housing policies and programs. Opportunities for energy conservation are also explored.

FUTURE HOUSING NEEDS

State law requires each jurisdiction to play a role in meeting the region's housing needs. Specifically, a jurisdiction must demonstrate in the Housing Element that its land inventory is adequate to accommodate its share of the region's projected growth. This section assesses the adequacy of Corona's land inventory in meeting future housing needs.

RHNA REQUIREMENT

This update of the City's Housing Element covers the planning period of October 2021 through October 2029 (called the 6th Cycle Housing Element update). Corona's share of the regional housing need is allocated by SCAG and based on factors such as recent growth trends, income distribution, and capacity for future growth. Corona must identify adequate land with appropriate zoning and development standards to accommodate its allocation of the regional housing need.

Corona's share of regional future housing needs is a total of 6,088 new units between October 2021 and October 2029. This allocation is distributed into five income categories, as shown below in Table 36. The RHNA includes a fair share adjustment which allocates units by income category in order to meet the State mandate to reduce over-concentration of lower income households in historically lower-income communities in the region.

Table 36: Corona's RHNA Allocation for 2021-2029

Income Category (% of County AMI)	Number of Units	Percent of Corona's RHNA Allocation
Extremely Low (30% or less)*	867	14.2%
Very Low (31 to 50%)	885	14.5%
Low (51 to 80%)	1,040	17.1%
Moderate (81% to 120%)	1,096	18.1%
Above Moderate (Over 120%)	2,200	36.1%
Total	6,088	100.0%

Source: Final Regional Housing Needs Allocation, SCAG, (2020).

*The City has a RHNA allocation of 1,752 very low-income units (inclusive of extremely low-income units). Pursuant to State law (AB 2634), the City must project the number of extremely low-income housing needs based on Census income distribution or assume 50 percent of the very low-income units as extremely low. According to the Comprehensive Housing Affordability Strategy (CHAS) data developed by HUD, 17.6% of City households earned less than 50 percent of the AMI. Among these households, 49.5 percent earned incomes below 30% (extremely low). Therefore, the City's RHNA allocation of 1,752 very low-income units may be split into 867 extremely low and 885 very low-income units. However, for purposes of identifying adequate sites for the RHNA allocation, State law does not mandate the separate accounting for the extremely low-income category.

RHNA UNITS PLANNED OR APPROVED

Housing units approved and/or pending (and not yet permitted for construction) as of June 30, 2021, can be used towards meeting the City's RHNA. Accessory dwelling units (ADUs) that are anticipated to be permitted between 2021 and 2029 are also used towards the City's RHNA. The City must demonstrate in this Housing Element its ability to meet the remaining housing needs, through the provision of sites, after subtracting anticipated units or units under construction. Table 37 shows the remaining unit deficit after subtracting units that are pending or approved as of June 30, 2021, and the assumed number of ADUs permitted between 2021 and 2029.

Table 37: Remaining 2021-2029 Share of Regional Housing Needs

Income/ Affordability Category	RHNA	Units Pending or Approved	ADUs	Remaining Units Deficit
Lower (including Extremely Low, Very Low, and Low)	2,792	0	46	2,746
Moderate	1,096	92	28	976
Above Moderate	2,200	2,110	6	84
Total	6,088	2,202	80	3,806

The number of housing units planned or approved but not yet issued a building permit is 2,202 as of June 30, 2021. Based on regional sales prices and market rents (Table 23), apartments are affordable to moderate income households. Single-family homes and townhomes/condominiums are generally affordable only to above moderate-income households (Table 22). Table 38 shows the locations of the planned or approved projects that have been used towards meeting the City's RHNA. As shown in Table 24, moderate income households could generally afford monthly rents of \$1,376 for one-person households and \$1,590 for two-people households. The planned and approved apartment projects listed as "moderate income" are located in or near the central Corona area and would be infill development. According to a search conducted on Apartments.com for similar-style apartment communities, the following listings in central Corona generally support moderate income households:

- » Country Hills: \$1,504/1 bedroom; \$1,763/2 bedroom
- » The Vintage Apartments: \$1,400/1 bedroom; \$1,625/2 bedrooms

Planned and approved projects achieve an average maximum density of 53 percent; however, more than half achieve a density of at least 50 percent of the maximum allowable density. A number planned or approved projects achieve a high percentage of the maximum allowable units, including units within the Arantine Hills Specific Plan which achieves nearly 100 percent of its maximum capacity. These projects are spread out across the City and are symbolized with corresponding Map ID numbers on Figure 6.

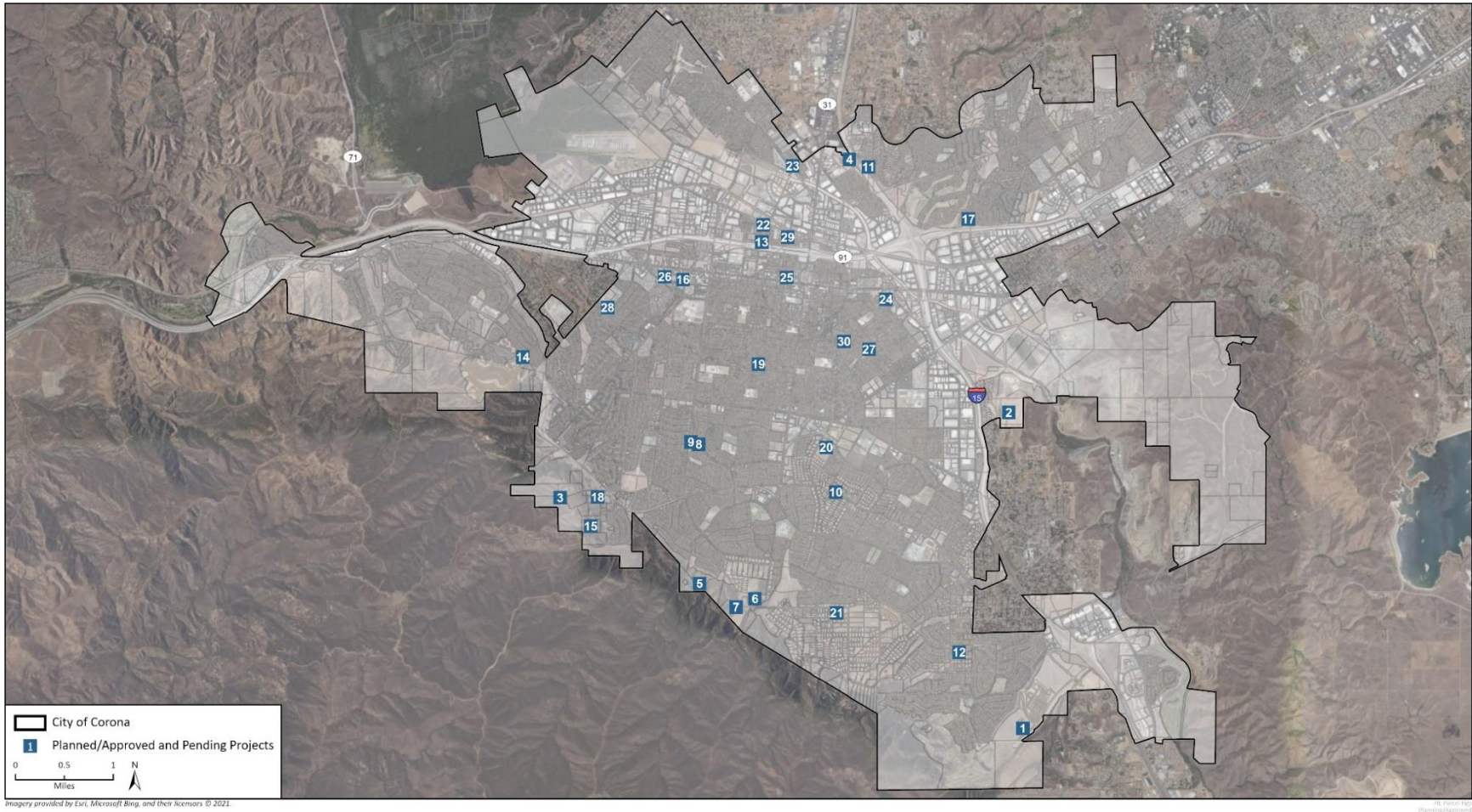
Table 38: Planned or Approved Units (2021)

Map ID	Project Name	Zoning	Acreage	Max. Units Allowed	Units Achieved	Percent of Max. Density	Income Category
1	Arantine Hills Specific Plan	LDR, MDR, HDR	140.76	1,207	1,204	99%	Above Moderate
2	T 37895	R-1-12	61.6	223	103	46%	Above Moderate
3	T 36544	R-1-7.2	271	1,640	291	18%	Above Moderate
4	T 35851	R-3	3.55	127	60	47%	Above Moderate
5	T 34760	ER	65.4	65	34	52%	Above Moderate
6	T 32703	R-1-20	9.45	20	13	65%	Above Moderate
7	T 32386	SFD-14.4	75	227	52	23%	Above Moderate
8	T 36608	R-1-9.6	11.05	66	23	35%	Above Moderate
9	T 36605	R-1-7.2	6.13	5	4	80%	Above Moderate
10	T 36821	R-1A	5.16	5	5	99%	Above

Table 38: Planned or Approved Units (2021)

Map ID	Project Name	Zoning	Acreage	Max. Units Allowed	Units Achieved	Percent of Max. Density	Income Category
							Moderate
11	T 37024	R-1-8.4, 1-7.2	6.31	208	18	9%	Above Moderate
12	T 35576	R-1-9.6	11.05	243	32	13%	Above Moderate
13	CUP17-004	R-3	2.21	165	62	39%	Moderate
14	T 36701	LDR	21.51	64	12	19%	Above Moderate
15	PM 37588	R-1-7.2	2.48	15	2	13%	Above Moderate
16	PP2020-0001	R-3	1.13	40	15	38%	Moderate
17	T 37719	SF	5.19	45	23	51%	Above Moderate
18	T 37691	R-2	8.07	121	78	64%	Above Moderate
19	T 37980	R-1-8.4	4.73	42	20	83%	Above Moderate
20	DPR2020-0009	R-1-14.4	4.67	14	2	14%	Above Moderate
21	T 37784	R-1A	4.91	5	5	99%	Above Moderate
22	DPR2019-0028	R-1-7.2	0.46	2	2	99%	Above Moderate
23	DPR2019-0025	R-3	0.42	15	9	60%	Above Moderate
24	PP2019-0009	R-3	0.34	12	6	50%	Moderate
25	DPR2019-0017	D	0.17	5	5	99%	Moderate
26	DPR2019-0009	R-3	4.09	147	59	40%	Above Moderate
27	DPR2018-0003	R-1-8.4	2.23	11	7	63%	Above Moderate
28	DPR2017-005	R-3	2.87	103	48	47%	Above Moderate
29	DPR2017-004	R-3	0.17	6	4	67%	Moderate
30	PM 37203	R-1-7.2	1.1	6	4	67%	Above Moderate
Source: City of Corona 2021							

Figure 6: Planned or Approved Projects



ACCESSORY DWELLING UNITS

ADUs provide affordable housing options for family members, friends, students, the elderly, in-home health care providers, the disabled, and others. An ADU can be located on residentially zoned property that has an existing single-family or multi-family residence. Recent trends indicate that ADU permit applications have increased in recent years. A total of three units were permitted in 2018. In 2019, the City permitted no applications for ADU units. The following year, 14 ADU units permitted in 2020. This increase is likely attributed to recent State legislation that simplifies the building and permitting process for ADUs on single-family and multi-family zoned property. Conservatively assuming that annual permits will average 10 units per year, it can be assumed that 80 ADUs will be permitted between 2021 and 2029. The City will monitor ADU trends within the City. Based on SCAG's regional ADU affordability analysis for Riverside County, it is assumed that 15 percent (12 units) would be affordable extremely low income units, 8 percent (6 units) would be affordable for very low income units, 35 percent (28 units) would be affordable for lower income, 35 percent (28 units) would be affordable for moderate income, and 8 percent (6 units) would be affordable for above moderate-income households.

PLANNING FOR REMAINING RHNA

After accounting for units planned and approved as of June 30, 2021 and anticipated ADUs, there is a remaining need of 3,806 units, which includes 2,746 lower income units, 976 moderate units, and 84 above moderate-income units. The City must demonstrate the availability of sites with appropriate zoning and development standards that can facilitate and encourage the development of such units.

RESIDENTIAL SITES INVENTORY

State law requires that jurisdictions demonstrate in the Housing Element that the land inventory is adequate to accommodate a jurisdiction's share of the regional growth. The City is committed to identifying sites at appropriate densities as required by law. The State, through AB 2348, has established "default" density standards for local jurisdictions. For metropolitan jurisdictions such as Corona, State law assumes that a density standard of 30 units per acre (du/acre) is adequate to facilitate the production of housing units affordable to lower income households. Therefore, in estimating potential units by income range, it is assumed that:

- » A density of zero to 14 du/acre (primarily for single-family homes) is assumed to facilitate housing in the above moderate-income category; and
- » A density of 15 to 29 du/acre (primarily for medium density multi-family developments) is assumed to facilitate housing in the moderate-income category; and
- » A density of 30 or more du/acre (primarily for higher density multi-family developments) is assumed to facilitate housing in the very low- and low-income category.

Geographic information system (GIS) data was used to identify vacant and nonvacant properties within the City. Nonvacant parcels were chosen as sites likely to be redeveloped during the next eight years based on the parcel's Improvement-to-Land Value ratio of less than 1.0 (i.e. improvements on site are worth less than the value of the land), the parcel's existing use vs. zoned use, age of structure, floor area ratio, and ownership patterns (i.e. if contiguous parcels have one owner, they are more likely to be consolidated and redeveloped). The parcels were reviewed to eliminate those unlikely to be redeveloped in the near term, such as parcels containing medium to larger size apartment buildings or condominiums and parcels with newer structures.

The City used conservative assumptions to estimate the development capacity of each site. Specifically, the sites inventory assumed 75 percent of the maximum allowable density of most parcels, instead of the full development potential. This assumption is based on historical development patterns and is necessary to accommodate for a variety of site-specific factors that cannot be evaluated until a development proposal is brought to the City for review such as previous development applications submitted for the site, conversations with landowners, development standards and requirements of the corresponding specific plan, and site-specific environmental constraints such as topography, seismic activity, flooding, and wildfire. Many current planned and approved projects, recently constructed projects, or projects under construction realized densities of more than 75 percent of the maximum allowable density (Table 38). For the smaller lots in the inventory, a minimum of one dwelling unit is assumed for each legal lot.

A total of 1,153 residential units can be accommodated on the vacant and nonvacant sites under existing land use policies and approved plans, as shown on Figure 7 and Figure 8. Of these units, 214 qualify as feasible for facilitating the development of extremely low-, very low- and low-income units. Two vacant parcels and eight nonvacant parcels have been used in previous Housing Element cycles. The City will allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units (Program 9).

In addition to vacant and nonvacant parcels, the City has identified a number of parcels with potential to be rezoned to accommodate the City's lower and moderate income RHNA allocation. 368 units can be accommodated through the rezone of low density residential and commercial parcels to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU). Of these rezoned parcels, 149 will qualify as feasible for facilitating the development of very low- and low-income units. The City prioritizes rezoning in transit priority areas that are within 0.5-mile of public transit (i.e. high frequency bus route or trolley line) to improve walkability and reduce dependence on automobile use. The Housing Element will rezone within three years of the beginning of the planning period to allow residential use by right at specified densities for housing developments in which at least 20 percent of the units are affordable to lower income households. Figure 9 identifies potentially rezoned parcels in Corona.

The City has also identified nonvacant commercial and residential parcels that are specifically suitable for an affordable housing overlay (AHO). AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing. Incentives include:

- » Increased density bonus;
- » Increased allowable heights;
- » Lower parking requirements;
- » By-right zoning or administrative project approval;
- » Streamlined permitting;
- » Allowing housing in locations not zoned for residential uses; and
- » Impact fee waivers.

The City will modify existing zoning to introduce an AHO that would allow for or require certain types of residential development, or development at certain densities, on a parcel without modifying the standards of the underlying zoning district. The AHO would support densities between 35-60 du/ac. Sites designated with an AHO would keep the underlying zoning but would have the AHO if housing is to be

considered on the site in the future. 3,652 units will be accommodated through implementation of the AHO, including 2,983 units considered supportive of extremely low, very low-, and low-income units. Figure 10 identifies the locations of parcels with the AHO. A more detailed sites inventory of the residential capacity can be found in Appendix B.

If a housing element relies on nonvacant sites to accommodate 50 percent or more of its RHNA for lower income households, the nonvacant site's existing use is presumed to impede additional residential development, unless the housing element describes findings based on substantial evidence that the use will likely be discontinued during the planning period. As shown on Appendix B, approximately five percent of lower income units are located on vacant sites, while approximately 95 percent are located on nonvacant sites. This includes sites that will be rezoned and will include an affordable housing overlay. This is a result of Corona being a predominately built out city with limited available vacant land. Nonvacant sites with residential and nonresidential uses have been prioritized on the Sites Inventory if the existing structure are older, if the floor area ratio is low, and if the improvement-to-land value ratio is less than one. There is no assumption that existing residences would be demolished, and ADUs can be developed or more units added. Other sites that do not meet these thresholds were included due to the likelihood of developer interest or property owner intent to redevelop or increase the intensity of a site. The Sites Inventory in Appendix B provides assumption values on the likelihood the uses will discontinue in the planning period and contains information on the various factors used for identification and characteristics related to recent trends. The City also mailed letters to the property owners of sites on the residential sites inventory that are proposed to be rezoned to plan for higher density housing and affordable housing. None of the property owners contacted the city expressing objection to the potential rezone.

The AHO in MU land use designations would introduce housing development opportunities to areas that had not previously allowed residential uses. MU-1 with an AHO would be amended to allow for 100 percent residential development or a mix of residential and commercial uses (see Program 7).

Table 39 shows recent residential and non-residential projects anticipated, approved or constructed within central Corona where the City plans to apply the AHO zone as part of the residential sites inventory. The City is experiencing commercial redevelopment within the downtown area and on parcels along 6th Street. A new medical campus containing two new medical office buildings totaling 60,000 square feet is under construction and located on 6th Street between Belle Avenue and Sheridan Street. This project involved the consolidation of 13 parcels and the partial vacation of 7th Street between Belle Avenue and Sheridan Street to accommodate the new development. This new medical campus is also directly across the street from the City's Public Library and the Corona Regional Medical Center. The Planning Commission approved the construction of a new LA Fitness building on West 6th Street near Smith Street. The property is currently vacant.

The residential and non-residential projects demonstrate redevelopment opportunities in the area. The recent residential projects achieved an average density of over 27 du/acre and an average 78 percent of the maximum density. These recent projects are shown in relation to the AHO zone in Figure 11.

Table 39: Recent Projects in Central Corona

APN	Lot Size	Residential Density	Percent of Maximum Density (Residential Only)	Description
118-270-055	4.01 acres	33 du/acre	90%	Consultant selected by Corona Housing Authority on June 16, 2021, to build 135 Affordable Housing Units. Incomes of 30% to 70% AMI. HDR Zone (36 du/acre maximum)
118-270-053	0.16 acres			
118-130-034	1.34 acres	N/A		New commercial for a LA Fitness Center. Approved by Planning Commission on August 26, 2019.
118-130-033	3.65 acres			
118-290-049	2.15 acres	29 du/acre	81%	New 62 senior housing apartment units approved by Planning Commission on November 6, 2017. Project being amended by applicant. Revisions submitted to City on March 25, 2021. R-3 Zone (36 du/acre maximum)
117-320-061	3.69 acres	21 du/acre	63%	Completed construction of 85 affordable housing units in 2020. HDR General Plan (36 du/acre maximum)
117-320-062	0.32 acres			
117-181-016	0.53	N/A		New medical campus under construction. Includes a 30,000 square foot building for the City of Hope and a 30,000 square foot medical office building.
117-181-015	0.20			
117-181-002	0.17			
117-181-003	0.17			
117-181-011	0.19			
117-181-012	0.51			
117-186-011	0.18			
117-186-010	0.17			
117-186-012	0.19			
117-186-004	0.18			
117-186-003	0.17			
117-186-002	0.05			
117-186-015	0.10			
Partial street vacation				
117-270-021	4 acres	N/A		New 100,000 square foot industrial building constructed in 2020.

The City is also reinvesting in its Downtown by partnering with LAB Holdings on the redevelopment of the Corona Mall located at the northeast corner and southeast corner of Main Street and 6th Street. LAB Holdings has developed several successful redevelopment projects in Orange County, CA, including the packing house in Anaheim, California. The City sold properties it had assembled in the aging Corona Mall to LAB Holdings. The plan is to reinvigorate the Downtown with façade improvements and independently owned eateries and shops in the Corona Mall. Corona Mall redevelopment is shown by parcel in Table 40.

Table 40: Corona Mall Redevelopment

Parcels Owned by LAB Holdings	Acres
117-143-033	.13
117-143-031	.06
117-143-032	.06
117-143-038	.24
117-143-039	.10
117-143-040	.17
117-151-002	.22
117-151-021	.11
117-151-004	.20
117-151-005	.14
117-151-015	.07
117-151-016	.11
117-151-007	.07
117-191-001	.04
117-191-002	.04
117-191-003	.04
117-191-004	.05
117-191-021	.07
117-191-022	.22
City Owned Parcels	Acres
117-143-015	2.37
117-151-022	3.49
117-191-019	2.27
117-183-004	.67
117-151-013	.09

Figure 7: Vacant Residential Parcels

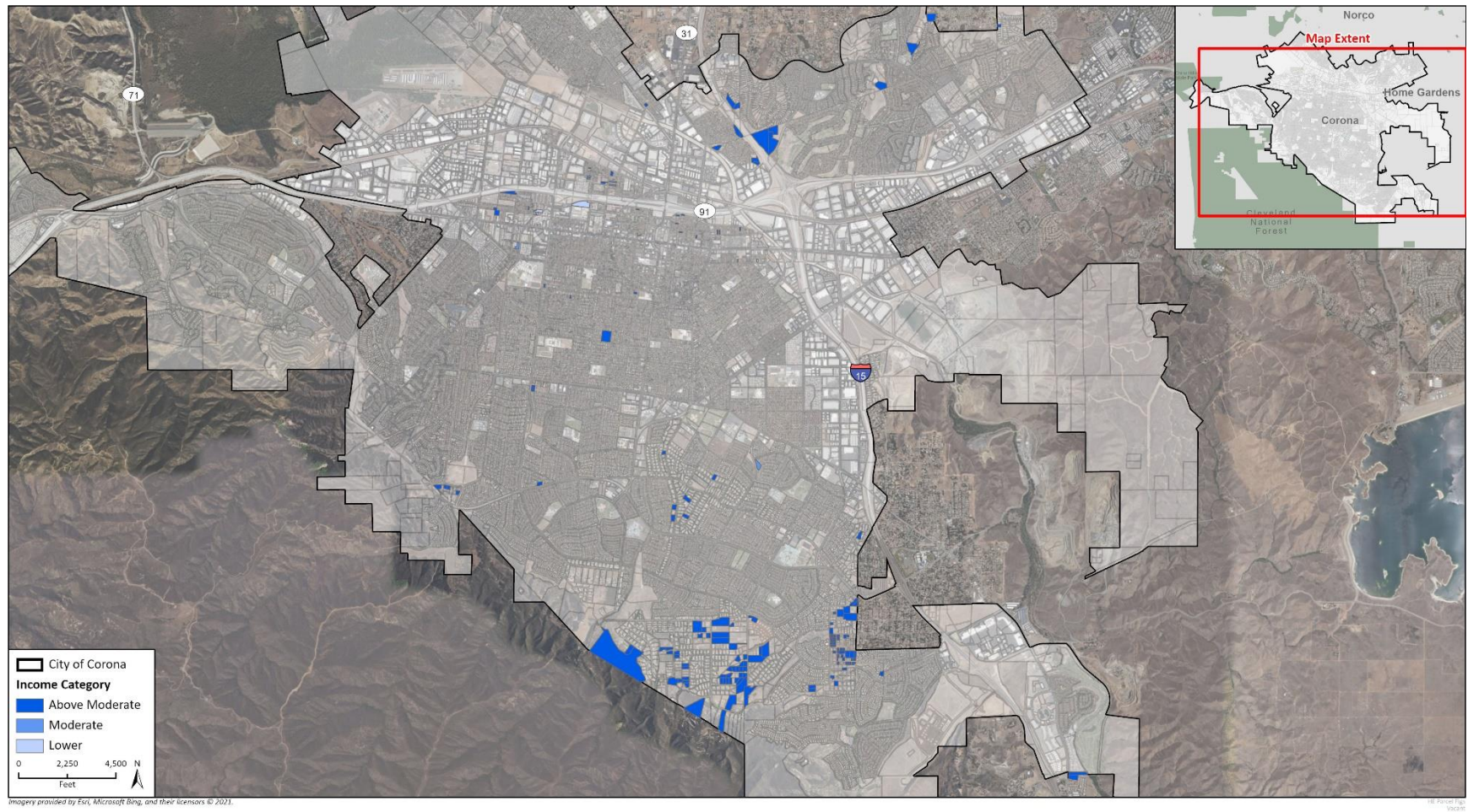


Figure 8: Nonvacant Residential Parcels

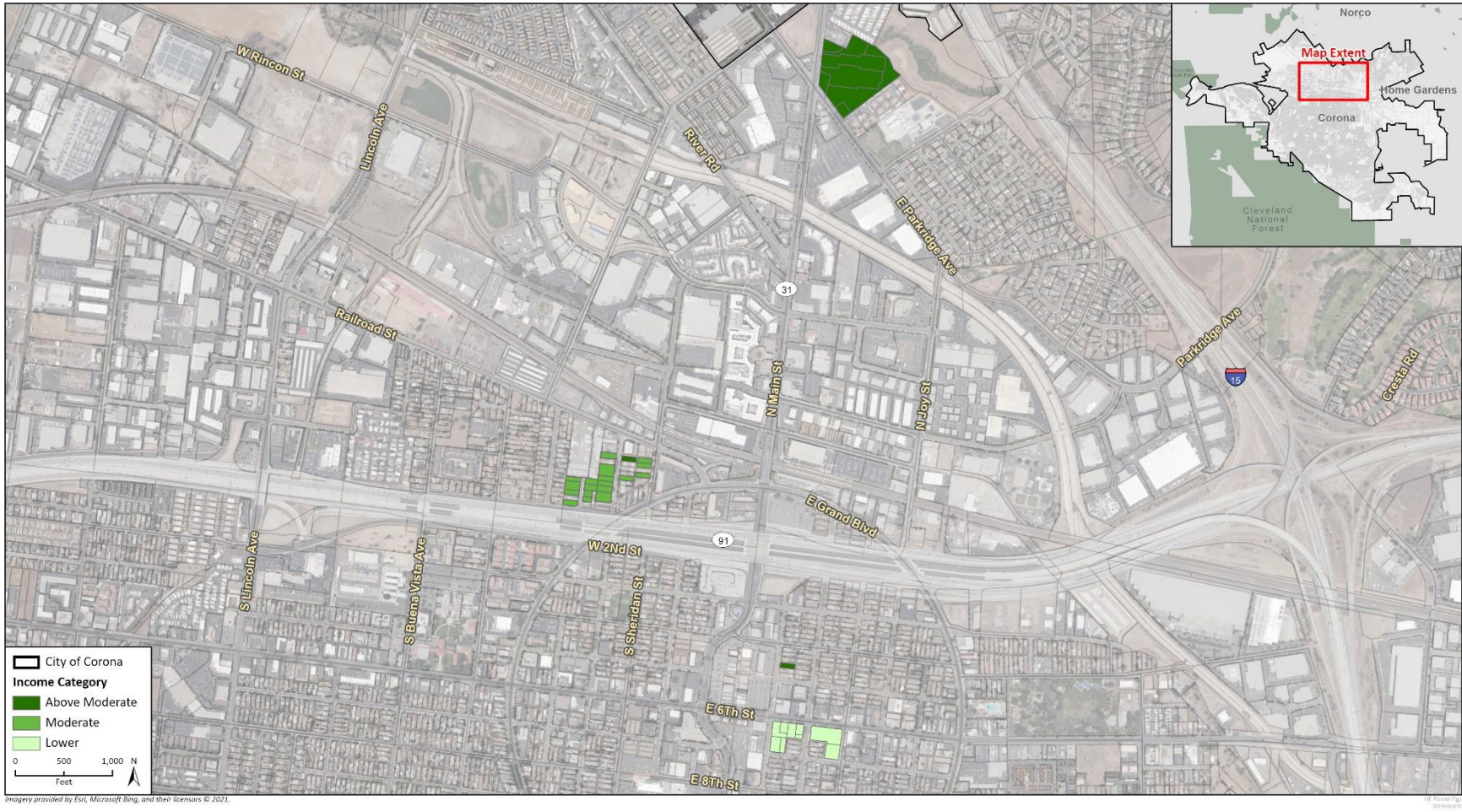


Figure 9: Rezone to Higher Density Residential

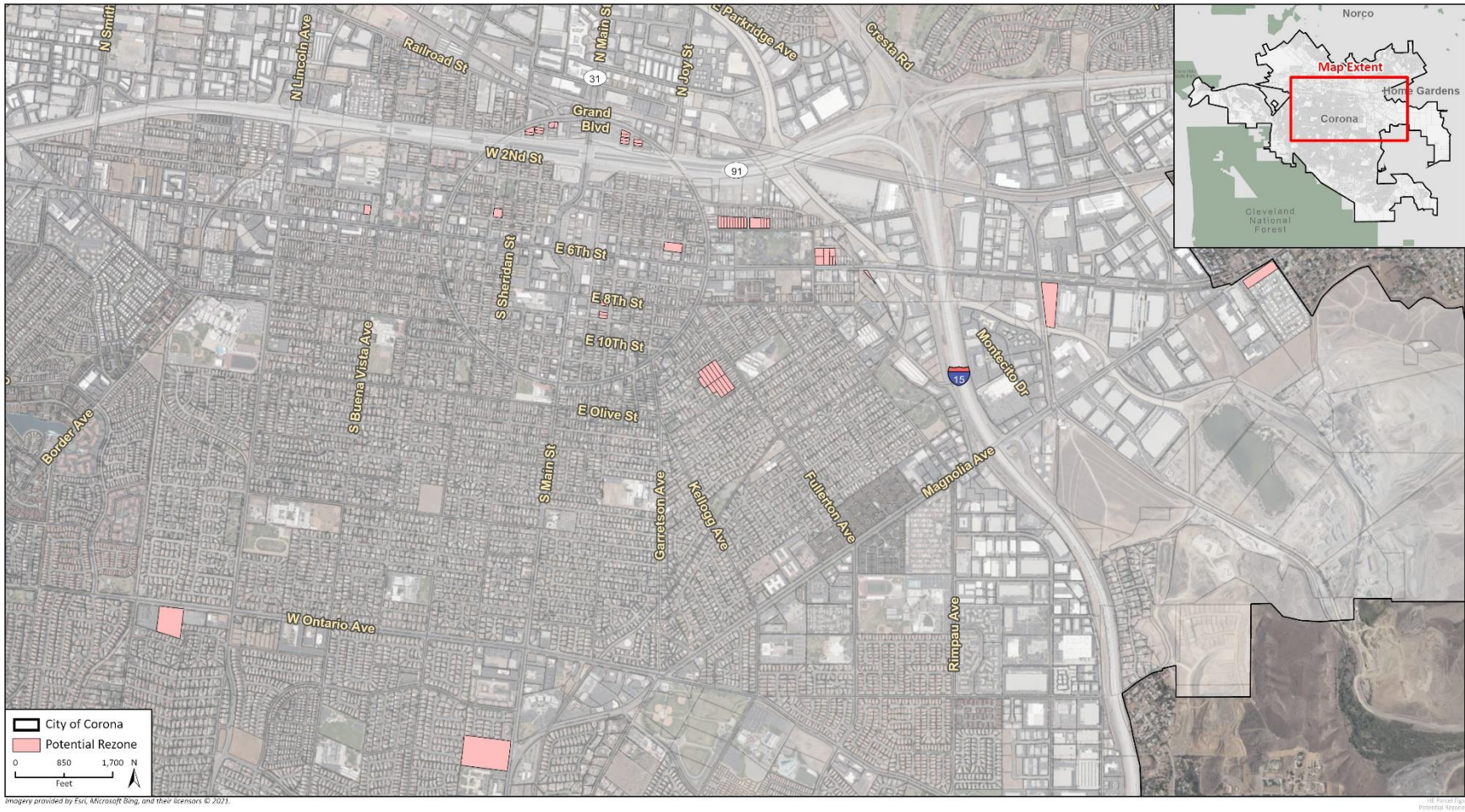


Figure 10: Sites with Affordable Housing Overlay

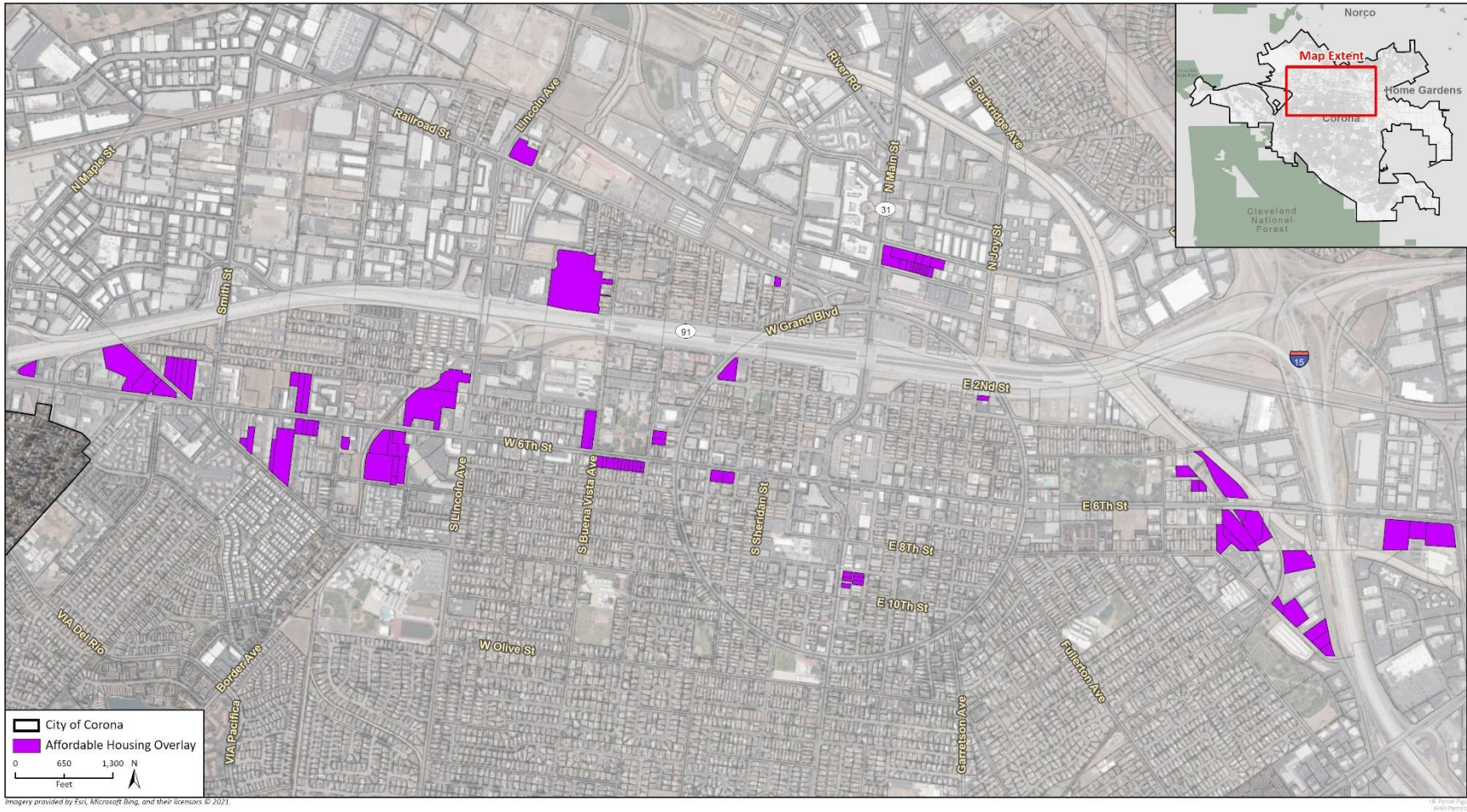
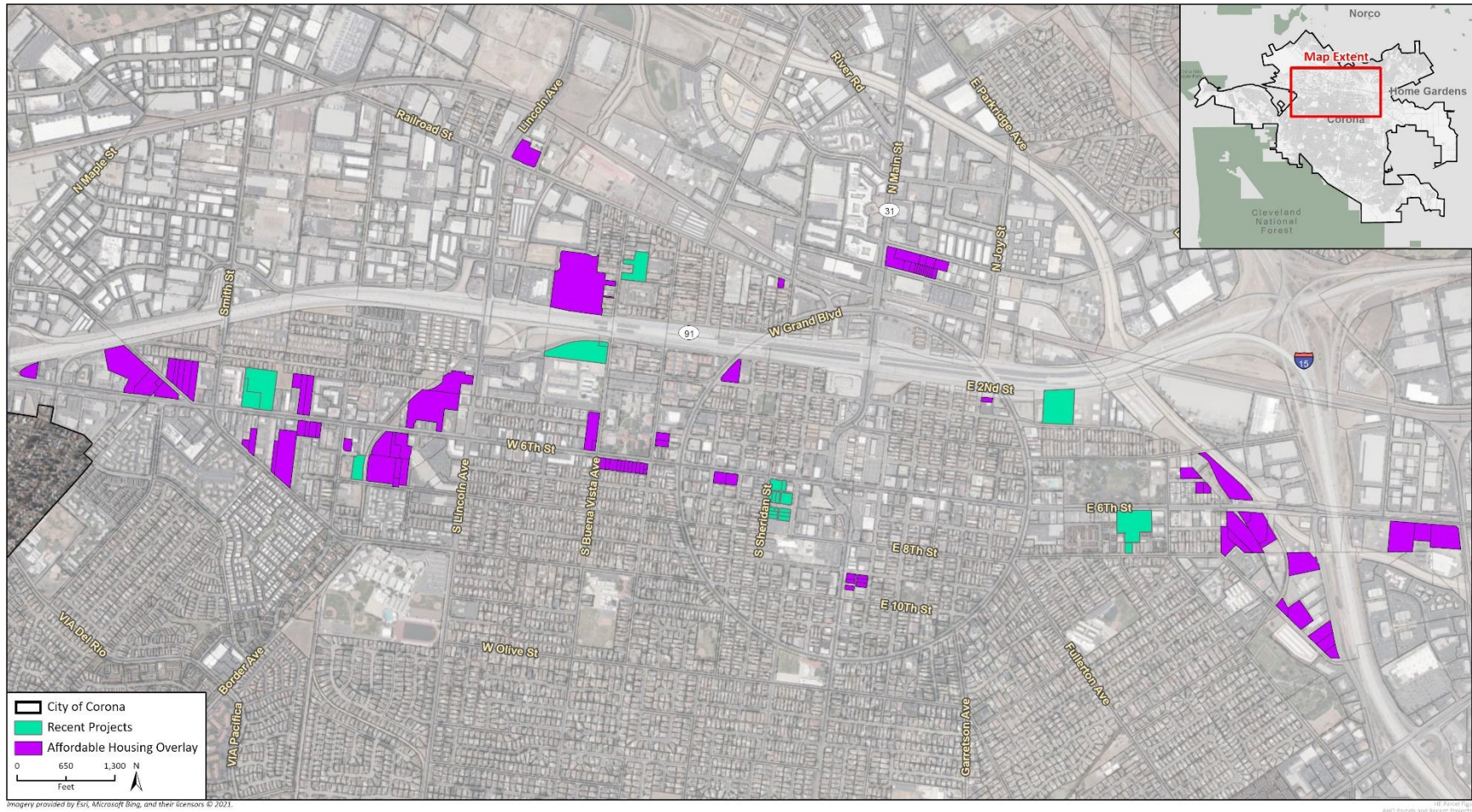


Figure 11: Recent Projects in Central Corona



SPECIFIC PLAN AREAS

The City has several specific plans with residential development potential during the 2021-2029 planning period. The following provides a description of these specific plans that have significant vacant, nonvacant, and rezone potential. A more detailed sites inventory of the residential capacity within these specific plans is located in Appendix B.

NORTH MAIN STREET SPECIFIC PLAN

Over a period of several years, the North Main Street District has experienced a gradual transition from an area with neighborhood retail, food, and drug stores to one with discount retail stores and vacant commercial centers. This transition can be attributed to several factors including significant traffic pattern changes and competing retail destinations in other growing areas of the city. Eventually, much of the land within the district was underutilized. Recognizing the need to address the issues facing North Main Street, the City of Corona initiated the North Main Street Specific Plan to provide guidance and direction for the future development and revitalization of this important area within the city and the region. The North Main Street Specific Plan was adopted in 2000 and amended throughout the years to adjust to changes in the market. The most recent amendment was in 2019.

The North Main Street District Specific Plan consists of 257.6 acres in the north-central portion of the City of Corona (Figure 12). The district contains a mix of land uses including commercial retail, commercial office, light industrial/manufacturing, public/quasi-public land uses, residential and several vacant parcels of land scattered throughout. The district is located just north of the State Route 91 freeway (SR-91) and west of the Interstate 15 (I-15) corridor and bisected in a north-south direction by North Main Street which serves as the transportation spine. Just south of SR-91, on Main Street, is the area generally referred to as Downtown Corona. Grand Boulevard is a circular street that completely encompasses the approximate limits of the downtown area. Main Street is perpendicular to and bisects Grand Boulevard. The North Main Street District Specific Plan area borders the northernmost portion of Grand Boulevard.

The Specific Plan allows residential development in the following areas with residential development potential:

Single-family Condominiums (SFC) Area – This area, located at the northeast corner of River Road and Cota Street, would provide the opportunity for village-like residential uses near shopping and public transit. The SFC area encompasses approximately 8.3 acres, about eight percent of the entire Specific Plan area. Single-family condominiums can include both attached and detached units at a density no greater than 15 du/acre.

Urban Density Residential District (UDR) – This district is intended to accommodate and promote high density residential development up to 60 du/acre. The UDR district intends to create opportunities for integration between the commercial and residential uses along the Main Street corridor as well as enhanced commuter transit options with the nearby Metrolink Station and bus transfer hub. The UDR District encompasses approximately 17.3 acres generally located west of Main Street between Blaine Street and River Road.

Mixed Use District (MU) – This district intends to provide opportunities for well-designed commercial projects or projects that combine residential with non-residential uses such office, retail, business services, personal services, public spaces and uses, and other commercial amenities. The District area covers approximately 29.2 acres in three areas bordering the east side of Main Street.

The North Main Street District Specific Plan allows for greater flexibility in land use types and locations to provide opportunities for transit oriented residential and commercial developments that increase transit ridership and decrease automobile trips. The Urban Density Residential land use designation permits up to 60 dwelling units per acre in both the General Plan and North Main Street District Specific Plan, a significant increase from the city's high density residential designation, which allows up to 36 units per acre.

The North Main Street District Specific Plan also has incentives for small lot consolidation. Owner-initiated adjustment of parcel lines among four or fewer contiguous parcels under common ownership via the City's Lot Line Adjustment process or the consolidation of lots through a Subdivision Map is allowed within the Mixed Use (MU) and Urban Density Residential (UDR) districts. Incentives may be provided for owner-initiated lot line adjustments or subdivision map consolidation of properties that serve to achieve orderly transit-focused residential development and improved level of pedestrian use:

- » Required parking may be reduced by a maximum of 20 percent provided a finding can be made that adequate parking will be available to serve the subject project or if the project site is located within 1,000 feet of public transportation (i.e., active bus stops, Metrolink station, RTA bus station);
- » Area of permitted signs may be increased by a maximum of ten percent provided a finding can be made that the increased area does not detract from the beautification and streetscape improvement objectives set forth in the Specific Plan; and
- » Front yard setbacks may be reduced by a maximum of twenty percent in any MU or UDR designation provided a finding can be made that the reduced setback will not negatively impact adjacent land uses, will not trigger significant impacts, or detract from the beautification and streetscape improvement objectives set forth in this Specific Plan. Furthermore, properties which front Grand Blvd. shall continue to maintain a minimum distance of 60 feet from building to the centerline pursuant to Section 17.86.020 of the Corona Municipal Code.

Exhibit 12
Land Use Plan

City of Corona
North Main
Street District
Specific Plan
(SP99-01)

Date: December 16, 2009
SPA09-003

The North Main Street District Specific Plan can accommodate a realistic potential of 434 units in the 6th Housing Element cycle. Table 41 outlines the potential residential capacity.

Table 41: Residential Capacity in the North Main Street Specific Plan

	Acres	Realistic Unit Capacity
Vacant	0	0
Nonvacant	9.89	256
Rezone	0	0
Affordable Housing Overlays	4.47	178
Total	14.36	434

The City selected available sites in the North Main Street District Specific Plan area for inclusion in the 6th Housing Element Cycle due to their proximity to public transit, low improvement-to-land value ratio, and potential for future recycling. The majority of the existing uses on the nonvacant sites are small, independently owned businesses in older/antiquated commercial buildings that not configured for modern commercial uses. The sites contain a dilapidated commercial center with expansive surface parking space – a development pattern that is not consistent with City goals that encourage economic sustainability and development of transit oriented residential and commercial development and prefabricated metal buildings. By increasing the allowable density on these sites, the City intends to foster recycling of these uses into mixed-use and high-density residential developments.

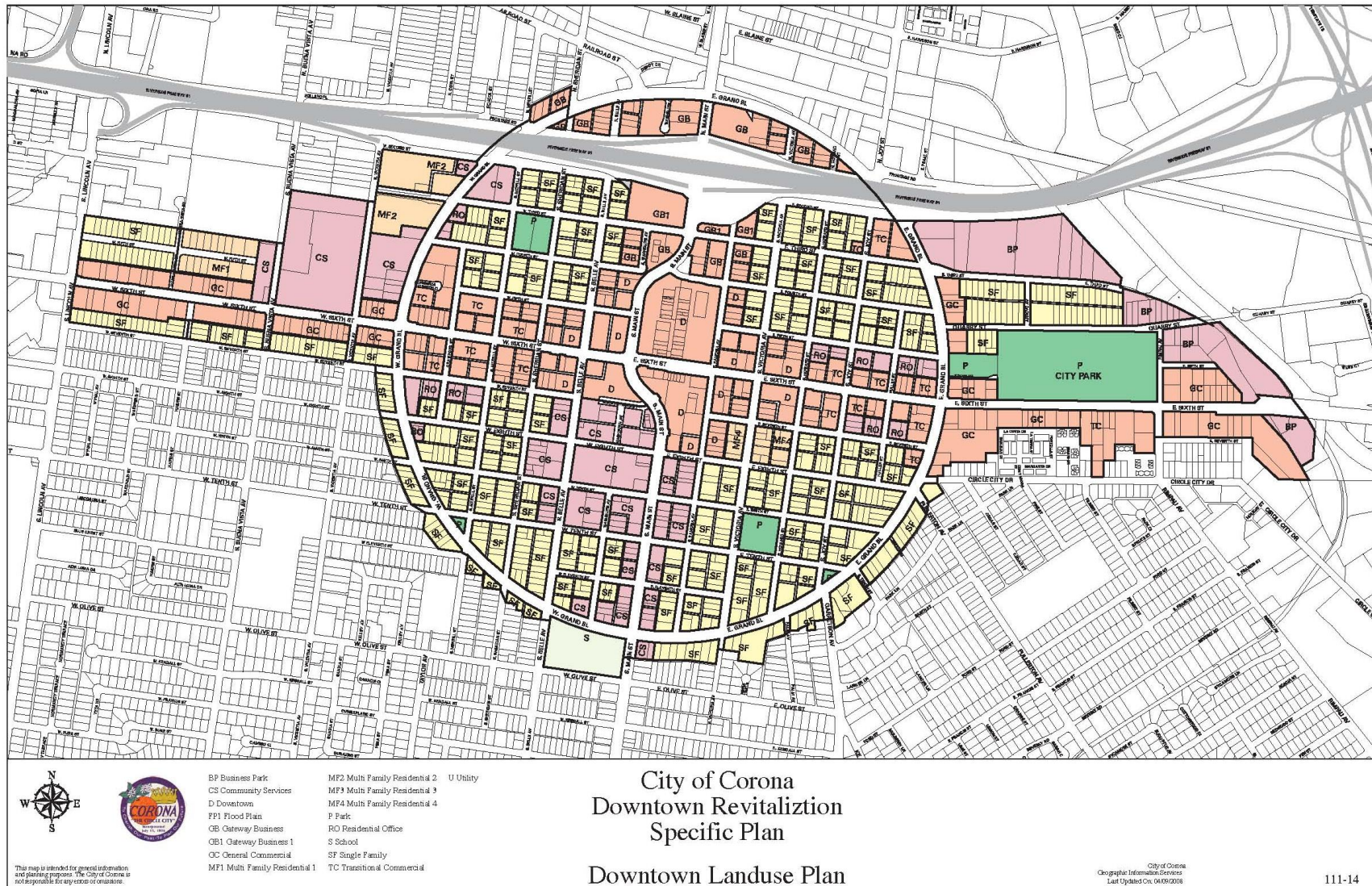
DOWNTOWN CORONA REVITALIZATION SPECIFIC PLAN

The Downtown Corona Revitalization Specific Plan was adopted by the City in 1998 and most recently amended in 2011. The Specific Plan area includes approximately 621 acres and generally consists of the commercial corridor along 6th Street, from Lincoln Avenue on the west to the Temescal Creek Channel on the east, and the area within the Grand Boulevard Circle (Figure 13). The prominent structures in the planning area are:

- » The Corona Mall at Main Street and 6th Street;
- » The public library across from the Mall;
- » The City Hall, six blocks to the west; and
- » The Landmark Theater building on 6th Street.

Within the Grand Boulevard Circle are also some of the City's oldest residential neighborhoods mixed with some commercial uses. The Corona Regional Medical Center, located on South Main Street, is a major property owner in the southwest quadrant of the Grand Boulevard Circle. Additionally, Grand Boulevard south of 6th Street contains many elegantly restored historic residences.

Figure 13: Downtown Specific Plan



Currently, seven districts within the Downtown Corona Revitalization Specific Plan area allow for residential development:

- » **Downtown (D) District:** The D District provides for medium-intensity commercial uses that serve mostly community-wide needs in a pedestrian-friendly environment. Uses allowed include commercial retail, service commercial, business offices (lodging), restaurants and sidewalk cafes, cultural and entertainment uses, nightclubs and microbreweries, mixed-use (including residential), as well as prominent buildings for governmental uses.
- » **Transitional Commercial (TC) District:** The TC District provides a buffer commercial district between the vehicular-oriented 6th Street Commercial, and the more pedestrian-oriented Downtown District. It provides great variety in low to medium intensity commercial uses in either a pedestrian or vehicular orientation. Mixed use developments, multi-family dwellings and senior citizen housing are allowed with a Conditional Use Permit in this district.
- » **General Commercial (GC) District:** The GC District provides for lower intensity uses that serve community and sub-regional needs with an emphasis on convenient automobile access, while incorporating efficient, safe, and attractive on-site pedestrian circulation. Mixed use developments are allowed with a Conditional Use Permit in this district.
- » **Community Services (CS) District:** The CS District provides needed community services such as governmental or institutional offices, social service agencies, hospitals, pharmacies, health care offices, churches, parks and playgrounds, museums and performing arts facilities. Senior citizen housing is allowed with a Conditional Use Permit in this district.
- » **Residential Office (RO) District:** The RO District is a highly specialized area in the Specific Plan. The District provides for very low intensity office uses in either existing residential structures or in new buildings that take great architectural care to “fit in” with the historic residential structures found in the immediate vicinity. The District provides a much-needed land use buffer between the more intensive commercial districts and the low-density historic residential areas of the Circle.
- » **Single-family Residential (SF) District:** The SF District is provided to protect the integrity of Corona’s historic residential neighborhoods within the Circle. The District is intended as an area for preservation and development of historically sensitive single-family detached residential.
- » **Multi-family Residential (MF) District:** The MF District is intended for small areas that are presently developed with multi-family residential units.

Overall, approximately 155 acres of land in the Specific Plan area are designated for single-family and multi-family uses. The Specific Plan also has 167 acres designated as Downtown, Transitional Commercial, General Commercial, Community Services, and Residential Office.

The Downtown Corona Revitalization Specific Plan can accommodate a realistic potential of 964 units in the 6th Housing Element cycle. Table 42 summarizes the potential residential capacity on sites that can potentially accommodate residential units.

Table 42: Residential Capacity in the Downtown Revitalization Specific Plan

	Acres	Realistic Unit Capacity
Vacant	1.82	11
Nonvacant	3.41	115
Rezone	11.00	180
Affordable Housing Overlays	14.96	658
Total	31.19	964

AVAILABLE SITES NOT INCLUDED IN SPECIFIC PLAN AREAS

Corona is almost entirely built out; however, the City has been able to identify infill opportunity sites and sites available for re-use for residential purposes that are not already included in the North Main Street Specific Plan or Downtown Corona Revitalization Specific Plan. The residential development capacity of these sites is summarized in Table 43 below.

Table 43: Residential Capacity Outside of the North Main Street Specific Plan and Downtown Specific Plan

	Acres	Realistic Unit Capacity
Vacant	279.73	772
Nonvacant	3.92	28
Rezone	17.11	188
Affordable Housing Overlays	68.05	2,816
Total	368.81	3,804

RECYCLING TRENDS

As the City becomes increasingly built out, recent developments in the City have involved the recycling of underutilized and non-performing commercial and residential uses and the consolidation of existing small lots. The following recent projects demonstrate the ability to achieve higher density residential development on previously underutilized parcels and show a trend in the City of recycling into higher intensity:

- a. Citrus Circle Apartments, located at 301 S. Buena Vista, is an affordable housing project constructed in 2013 that rehabilitated 19 existing multiple family units and constructed 42 new multifamily units for incomes 60 percent AMI or less. The entire site consisted of seven parcels that were acquired by the City's former Redevelopment Agency. These parcels were consolidated to create one parcel totaling 2.47 acres. The seven parcels previously comprised of two single-family homes, eight multi-family units, and vacant parcels. The project was allowed a HDR density of 36 du/ac and achieved an actual density of 24.6 du/ac. The project consists of one-, two-, and

three-bedroom units ranging in size from 556 square feet to 1,248 square feet. The Corona Housing Authority has an affordable housing agreement with the developer for 55 years.

Citrus Circle Apartments



Source: City of Corona

- b. Meridian Apartments, located at 1040 E 6th Street, is an affordable housing project constructed in 2019 consisting of 85 multiple family units for incomes at or lower than 60 percent AMI. The project was allowed a HDR density of 36 du/ac and achieved an actual density of 21 du/ac. The entire site consisted of 10 parcels that were acquired by the City's former Redevelopment Agency. The parcels consisted of four single-family units, one restaurant and vacant parcels. The parcels were consolidated to create one parcel totaling four acres. The unit mix consists of one-, two-, and three-bedroom units ranging from 768 square feet to 1,101 square feet. The Corona Housing Authority has an affordable housing agreement with the developer for a period of 55 years. The Meridian Apartments used lot consolidation from sites that were mostly under 0.5-acre, as shown in Table 44.

Table 44: Meridian Apartment Parcels

APN	Parcel Acreage
117-322-012	.68 acres
117-322-016	.17 acres
117-322-017	.17 acres
117-322-018	.17 acres
117-322-059	.17 acres
117-322-015	.31 acres
117-322-014	.30 acres
117-322-051	.32 acres
117-322-020	.63 acres
117-322-023	1.07 acres

Meridian Apartments



Source: City of Corona

- c. The North Main Metro Mixed Use Residential and Commercial development, located at 111 N. Main Street, was built in 2015 and consists of 464 market-rate multiple family units and 77,000 square feet of new commercial space. The project is a transit-oriented development located within 0.5-mile of the Metrolink train station. The site formerly consisted of six parcels totaling 14 acres, with a former commercial center that included two anchor commercial tenants for a grocery store and drug store, in-line commercial tenant spaces, two freestanding restaurant buildings and a freestanding bank building constructed in the 1960s. The buildings were demolished, except for the bank building, to accommodate the new multiple family residential units and ground floor commercial buildings. The residential portion of the project was allowed an Urban Density Residential density of 60 du/ac. The actual residential density constructed was 47.7 du/ac.

North Main Metro



These recycling activities have taken place since the certification of the 5th cycle Housing Element and are representative of a pattern of small lot consolidation in the City. The conditions and characteristics of the underutilized and non-performing commercial sites identified in Appendix B are similar to those that have gone through redevelopment in recent years. For example, the Citrus Circle Apartments site, which involved the consolidation of 7 smaller lots not commonly owned, previously contained 19 multifamily units in need of repair and refurbishment. The consolidation of sites allowed for the redevelopment of the parcels for a total of 42 units. Examples of conditions that mirror this recycling trend include sites on Victoria Avenue (117193002, -003, -004, -005, -006) which consist of four single-family residences, a commercial use with a low floor area ratio, and a parking lot. These sites could be consolidated to accommodate a lower income project on 2.08 acres with a maximum density of 35 du/ac. These contiguous sites do not share a common owner and would require either one master developer to purchase the parcels and consolidate as one cohesive development or would require each owner to redevelop each site separately. Examples of contiguous sites included in Appendix B that share similar owners are sites along Belle Avenue and 6th Street. These sites, located in the Downtown Corona Revitalization Specific Plan, could be consolidated to facilitate 35 du/ac.

Recycling activities are also likely to occur on sites zoned for mixed-use. Development trends in the City indicate that the vast majority of mixed-use zoned projects include a residential component with a marginal representation or square footage being devoted to commercial use, and none of the mixed use zoned projects that have been proposed are 100 percent devoted to non-residential purposes. Therefore, it can also be reasonably assumed that residential development would continue to occur in mixed-use zones that can accommodate both residential and non-residential uses. Redevelopment of residential projects on non-residentially zoned land comparable to the North Main Metro Mixed Use project is likely in Corona. To support recycling of underutilized sites with small lots consolidation, the City will develop a

lot consolidation and large lot development program (Program 10) that will facilitate continued development of residential projects throughout the identified sites in Appendix B.

Sites included in the inventory of this Housing Element for the 6th cycle RHNA are very similar to those used for the sample projects identified above, in terms of size, existing conditions, and existing uses. Given the potentially devastating impact of COVID-19 on the market for commercial and office spaces in the future, it is reasonable to expect future recycling of commercial properties would favor residential and mixed-use development.

AVAILABILITY OF INFRASTRUCTURE AND SERVICES

The City is committed to a number of actions and expenditures to provide infrastructure and enhancements meant to encourage and facilitate subsequent development. Corona's Capital Improvement Plan provides for the maintenance and improvement of the City's infrastructure including such items as: streets, alleyways, sidewalks, sewers, storm drains, water system, street lighting, and traffic signals. The existing infrastructure system may require minor upgrades to address age and condition-related issues, however, the systems do contain sufficient capacity to allow for the development of additional residential units, as required by the City's RHNA allocation.

SEWER SYSTEM

The Corona Department of Water and Power is responsible for supplying the majority of sewer collection and treatment services within the City. The City's sewer system consists of 13 sewer lift stations, associated force mains, and gravity sewer pipes. Corona's three water reclamation facilities (WRFs) treat up to 15.5 million gallons per day. In accordance with City standards, sewer is treated to tertiary levels so that it can be used for irrigation purposes or safely be discharged to the Santa Ana and Temescal rivers. The City's sewer system has sufficient capacity to handle peak dry weather flows and has not experienced any wet weather overflows. The City adopted the 2020 Sewer System Management Plan which establishes management, operation, and maintenance practices for the sewer system. The City's Sewer Master Plan is a living document and is updated on an on-going basis or at least every five years.

WATER SYSTEM

The Corona Department of Water and Power is responsible for supplying clean water to the City and surrounding areas. The department provides potable water service to the city's residential and service population and portions of its sphere of influence. The City adopted the 2015 Urban Water Management Plan (UWMP), which establishes the planned upgrades to the water distribution system within the City. The UWMP estimates that projected water use for residential, commercial, institutional, and industrial purposes would decrease annually at a rate of 0.2 percent as an elastic response to anticipated wholesale cost increases and installation of more efficient water fixtures. All water system improvements needed to accommodate buildout in the City is identified in the UWMP.

STORMWATER AND DRAINAGE SYSTEM

The City of Corona and Riverside County have constructed a vast storm drainage system to protect from floodwaters and protect groundwater resources from urban runoff. The City's current storm drainage system releases water into flood control channels, washes, Santa Ana River, and Prado Basin. The National Pollutant Discharge Elimination System (NPDES) permit program is designed to monitor, reduce, and control the amount and type of pollutants that enter the storm drainage system. As required by state law,

Corona implements a Drainage Area Management Plan and Local Implementation Plans (LIP) to manage urban runoff and preserve predevelopment hydrology.

DRY UTILITIES

The Corona Department of Water and Power is responsible for supplying electricity to the City and surrounding areas. Other dry utilities such as natural gas, telephone and data services, and cable television are serviced by contracted providers within the City. Providers include, but are not limited to, SoCalGas, AT&T, and Spectrum.

CIRCULATION SYSTEM

The City's Circulation Element outlines the long-term plan for roadways, including numbers of lanes, right-of-way, and general operating conditions. It also provides guidance relating to the transit system, goods movement system, and nonmotorized travel, including bicycle and pedestrian travel.

ADEQUACY OF RESIDENTIAL SITES INVENTORY IN MEETING RHNA

A majority of Corona's RHNA is expected to be met through sites within the City's specific plan areas. However, the City also has a handful of vacant, nonvacant, and rezoned sites outside of any adopted specific plan with potential for redevelopment. Overall, vacant and nonvacant parcels in Corona can accommodate approximately 1,153 new housing units and rezoned parcels and AHO can accommodate an additional 4,020. Given these figures, the City will have enough capacity to accommodate its 2021 - 2029 RHNA plus a buffer of approximately 22 percent, as shown in Table 45.

Table 45: Adequacy of Residential Sites Inventory

	Lower Income	Moderate Income	Above Moderate Income	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
ADUs Anticipated	46	28	6	80
Remaining RHNA	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units	3,346	1,097	2,966	7,455
Total Unit Surplus	600	1	766	1,367

FINANCIAL RESOURCES

The primary funding source that Corona uses for implementation of its housing programs is Community Development Block Grant (CDBG) funds. The City will also continue to use U.S. Department of Housing and Urban Development (HUD) funds administered through the County's Housing Choice Voucher Program for rental assistance. Another significant financial resource available to the City of Corona for the preservation of at-risk housing, improvement, and development of affordable housing is HOME Investment Partnership (HOME) funds accessible through the State of California.

COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG)

The CDBG Program is administered by HUD. Through this program, the federal government provides funding to jurisdictions to undertake community development and housing activities.

Activities proposed by the jurisdictions must meet the objectives and eligibility criteria of CDBG legislation. The primary CDBG objective is the development of viable urban communities, including decent housing and a suitable living environment, and expanding economic opportunity, principally for persons of low-and moderate income. Each activity must meet one of the three broad national objectives of:

- » Benefit to low-and moderate income families;
- » Aid in the prevention of elimination of slums or blight; or
- » Meet other community development needs having a particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community.

For the 2019-2020 program year, the City received \$1,197,231 of CDBG funds and \$446,458 of HOME funds from HUD, which were combined in the Action Plan with \$703,882 of prior year unspent CDBG funds for a total investment of \$2,347,571. This investment of CDBG and HOME funds was a catalyst for positive change in the community. The City will continue to use CDBG funds to assist low- and moderate-income individuals in improving the health and safety conditions of their homes through the rehabilitation of owner-occupied and mobile homes, maintenance of affordable housing through the Mobile Home Assistance Program, and implementation of capital projects that focus on sites for shelters.

HOME INVESTMENT PARTNERSHIP ACT (HOME)

The HOME program provides federal funds for the development and rehabilitation of affordable rental and ownership housing for households with incomes not exceeding 80 percent of area median income. The program gives local governments the flexibility to fund a wide range of affordable housing activities through housing partnerships with private industry and non-profit organizations. HOME funds can be used for activities that promote affordable rental housing and homeownership by low-income households, including:

- a. Building acquisition
- b. New construction and reconstruction
- c. Moderate or substantial rehabilitation
- d. Homebuyer assistance
- e. Rental assistance

f. Security deposit assistance

Corona will receive annual grants from HUD. The program's flexibility allows the City to use HOME funds for grants, direct loans, loan guarantees or other forms of credit enhancements, or rental assistance or security deposits.

PERMANENT LOCAL HOUSING ALLOCATION (PLHA)

The PLHA program, also known as the Building Homes and Jobs Act, or Senate Bill 2 (SB 2), provides a permanent source of funding to all local governments in California to help cities and counties implement plans to increase the affordable housing stock. Funding will help Corona to:

- » Increase the supply of housing for households at or below 60% of area median income;
- » Increase assistance to affordable owner-occupied workforce housing;
- » Assist persons experiencing or at risk of homelessness;
- » Facilitate housing affordability, particularly for lower- and moderate-income households;
- » Promote projects and programs to meet the local government's unmet share of regional housing needs allocation; and
- » Ensure geographic equity in the distribution of funds.

Corona will receive grants based on the formula prescribed under federal law for the Community Development Block Grant. Funding amounts will vary from year to year based on annual revenues to the Building Homes and Jobs Trust Fund.

ADMINISTRATIVE RESOURCES

CITY OF CORONA COMMUNITY DEVELOPMENT DEPARTMENT

The Community Development Department provides and coordinates development information and services to the public. Specifically, this involves inspection and enforcement of City-adopted building codes, plan checking for code compliance, issuance of City-required permits, record keeping of city maps, and processing of Site Development Plans.

The Planning division is tasked with ensuring that land uses in Corona comply with the Zoning Code, the General Plan, the Corona Municipal Code and State law requirements. Approval of projects through the planning process is required prior to issuing grading and building permits. Advanced planning programs provided by the division include a comprehensive General Plan update (including periodic update of the Housing Element), preparing and amending specific plans, and conducting special land use studies as directed by the Planning and Housing Commission and City Council.

COUNTY OF RIVERSIDE

The County of Riverside administers a number of housing programs that are utilized in the City. These include the Mortgage Credit Certificate Program, and Section 8 Housing Choice Voucher Program.

NONPROFIT ORGANIZATIONS

Nonprofit housing developers and service providers are a critical resource for accomplishing the goals and objectives of this Housing Element. The following developers and service providers are some of the nonprofit organizations that have been active in the City and may assist in the implementation of Housing Element programs:

- » California Department of Fair Employment and Housing
- » Housing and Economic Rights Advocates
- » Jamboree Housing
- » Riverside Housing Development Corporation
- » Southern California Association of Nonprofit Housing

Chapter 5: Review of Past Accomplishments

To develop appropriate programs to address the housing issues identified in the 2021-2029 Housing Element, the City of Corona has reviewed the housing programs adopted in 2014-2021 Housing Element and evaluated the effectiveness of these programs in delivering housing services and assistance. Table 46 summarizes the City's progress toward the previous RHNA and Table 47 provides a detailed program-level assessment of housing accomplishments over the last planning period.

EFFECTIVENESS IN ADDRESSING SPECIAL NEEDS

During the fifth cycle Housing Element, the City was successful in facilitating the development housing for special needs groups. Specifically, the City purchased surplus property from the Riverside County Transportation Commission to support the future development of roughly 130 affordable housing units located at the southwest corner of Second Street and Buena Vista. This project is expected to include Permanent Supportive Housing units. The City used Corona Housing Authority Funds and CDBG and HOME funds for Tenant Based Rental Assistance and for future construction financing of PSH units at the RCTC surplus property previously acquired. The City also maintained the affordability covenant on the William C. Arthur Terrace Apartments, Corona Community Villas, Corona Community Towers, Corona Park Apartments and Garrison House, maintaining the affordability covenants for 312 assisted units.

Table 46: Quantified Housing Objectives (2013-2021)

	New Construction		Rehabilitation		Conservation/ Preservation	
	Objectives	Actual	Objectives	Actual	Objectives	Actual
Extremely Low Income	92	155	60	77	134	312
Very Low Income	100				135	
Low Income	128		60		0	
Moderate Income	142	67	0		0	
Above Moderate Income	308	2,496	0	4	0	0
Total	770	2,718	120	81	269	312

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
Goal 1: Conserving and Improving Existing Affordable Housing			
1	Residential Rehabilitation Program (RRP)	<ul style="list-style-type: none"> Assist 120 households during the planning period with an average of 15 household annually. Continue to provide community outreach regarding available loans and grants. 	<p>Implementation of this program is ongoing. In 2019-2020, the City provided 7 single-family dwelling homeowners with loans for health and safety improvements, processed 15 subordination requests for people with housing loans wishing to refinance, referred approximately 45 people to miscellaneous County programs such as the 1st Time Homebuyer program, and referred approximately 17 mobile homeowners to Community Action Partnership Riverside's weatherization and appliance replacement program.</p> <p>Loans under the Program are forgivable, and grants are administered by Habitat for Humanity and only available to mobile homes. The Program will continue to be funded with Federal HOME Investment Partnerships Program (HOME) funds.</p> <p>Continued Appropriateness: Improving the City's housing stock is an important goal of the community. This program is included in the 2021-2029 Housing Element.</p>
2	Housing Choice Voucher Program	<ul style="list-style-type: none"> Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners. 	<p>Implementation of this program is ongoing and is administered by the County of Riverside. Under the Housing Choice Voucher (HCV) Program, the Housing Authority of Riverside County administers over 9,000 vouchers per year. As vouchers become available, the Housing Authority selects families from the HCV waiting list to fill all funded turnover vouchers. In 2019-2020, the agency selected 4,087 new families from the HCV waiting list in order to fill turnover vouchers. In 2019-2020, the Housing Authority selected 3,131 new families from the Project-Based Voucher (PBV) waiting lists in order to fill vacant PBV units. The HCV and PBV waiting lists are open for new registrations. Staff also referred dozens of callers to the County seeking this assistance.</p> <ul style="list-style-type: none"> 2015 - 346 vouchers 2016 - 363 vouchers 2017 - 363 vouchers 2018 - 334 vouchers

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
			<ul style="list-style-type: none"> 2019 – 333 vouchers 2020 - 353 vouchers <p>Continued Appropriateness: Housing Choice Vouchers are an important source of rental assistance for very low-income households. This program is included in the 2021-2029 Housing Element.</p>
3	Conservation of Existing and Future Affordable Units	<ul style="list-style-type: none"> Identify and analyze inventory that may be at risk of losing affordability controls. Maintain communication with the local United States Department of Housing and Urban Development (HUD) office. Assist in tenant education. Identify potential buyers. Identify potential acquisition funds. Coordinate with non-profit developers to identify potential acquisition opportunities. 	<p>Implementation of this program is ongoing and monitored annually. Four of the at-risk projects listed in the 2013-2021 Housing Element (William C. Arthur Terrace Apartments, Corona Community Villas, Corona Community Towers, Garrison House) remain affordable and continue to get Section 8 assistance. Affordability covenants for 3 units at French Quarter, 12 units at Jasmine Springs, and 6 units at Villas De Corona, and 82 units at Country Hills Apartments expired during the 2013-2021 planning period.</p> <p>Continued Appropriateness: The City will continue to monitor and work to preserve any units at-risk of losing affordability controls. This program is included in the 2021-2029 Housing Element.</p>
4	Neighborhood Improvements (Enhancing Community Pride)	<ul style="list-style-type: none"> Continued implementation of neighborhood public improvements, property maintenance ordinance, design review, and historic preservation. 	<p>The City continues to make public improvements in low- and moderate-income neighborhoods. Annually, the City allocates Community Development Block Grant (CDBG) funds to improve targeted neighborhoods.</p> <p>In 2018-2019, CDBG funds were utilized to reconstruct sidewalks and accessible paths throughout low-income eligible areas, including Americans with Disabilities Act (ADA) ramps.</p> <p>In 2019-2020, CDBG funds were awarded for the Acquisition for Affordable Housing, Units TBD.</p> <p>In 2020-2021 CDBG and HOME funds were awarded for Tenant Based Rental Assistance and for future construction financing of PSH units at the RCTC surplus property previously acquired.</p> <p>Continued Appropriateness: Many streets in the CDBG target areas are substandard, deteriorated, and/or in need of improvement. The City will continue to improve neighborhood conditions; this program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
5	Sustainable Building	<ul style="list-style-type: none"> Continue to implement the City's Climate Action Plan (CAP) that fosters sustainability in all development requiring discretionary approval. 	<p>Implementation of this program is ongoing. All new development that is subject to discretionary approval must comply with the City's CAP and is verified through the project review process. The City's 2012 CAP was updated in 2019 in conjunction with the City General Plan Update 2040. Measurements indicate City compliance with greenhouse gas (GHG) emissions reductions as mandates by the State.</p> <p>Continued Appropriateness: The City will continue to promote sustainable building practices and implement the CAP. This program is included in the 2021-2029 Housing Element.</p>
Goal 2: Providing Adequate Housing Sites			
6	Site Availability	<ul style="list-style-type: none"> Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. Continue to update the infill Affordable Housing Map to indicate suitable infill development sites. Provide residential sites information to interested developers. Monitor the remaining residential site inventory to ensure continued ability to meet the remaining RHNA. Continue to offer pre-application meetings with developers to help craft development proposals that maximize the efficient use of sites and meet city objectives for the areas. 	<p>Implementation of this program is ongoing and is part of the project review process that city staff implements when preparing discretionary projects for approval.</p> <p>Continued Appropriateness: The City will continue to provide adequate sites to accommodate its RHNA. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
7	Lot Consolidation	<ul style="list-style-type: none"> Continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers. 	<p>Implementation of this program is ongoing and is encouraged through the written regulations in the two most affected specific plans, the Downtown Revitalization Specific Plan and the North Main Street Specific Plan. Although lot consolidation is encouraged, implementation takes time. The Meridian Apartments on East 6th Street and the Citrus Circle Apartments on Buena Vista Avenue, both affordable housing projects benefited from the lot consolidation process.</p> <p>Continued Appropriateness: The City will continue to facilitate lot consolidation or residential and mixed-use developments. This program is included in the 2021-2029 Housing Element.</p>
8	Multi-family Acquisition and Rehabilitation	<ul style="list-style-type: none"> Utilize Neighborhood Stabilization Program (NSP) and HOME funds to assist both non-profit and for-profit developers to acquire existing apartment buildings in need of upgrading in exchange for long term affordability controls on some or all units. Pursue available funds for multi-family acquisition and rehabilitation. 	<p>Since 2014 all NSP funds have been completely spent. NSP and Home funds were utilized to acquire a 12-unit dilapidated complex. The entire property was completely rehabilitated with very low-income units. NSP funds were further utilized to purchase a remnant structure with 19 units. These 19 units were integrated into the Citrus Circle Affordable Housing project. As of 2014, NSP funds are spent, and close out documents were submitted in June 2018. HUD approved close out in July 2018.</p> <p>Continued Appropriateness: The City will continue to pursue funding and opportunities to acquire and rehabilitate multi-family units to create affordable housing for lower income households. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
Goal 3: Assisting in Development of Affordable Housing			
9	Infill Housing Development	<ul style="list-style-type: none"> Continue to apply HOME funds to implement program; pursue available funds for infill housing development. Produce three new affordable units a year. 	<p>Implementation of this program is ongoing. In 2020, the City Council adopted the 2020-2024 Five Year Consolidated Plan directing the use of HOME funds for Tenant Base Rental Assistance (TBRA), primarily, in furtherance of the City's Homeless Strategic Plan. Additionally, in response to the COVID- 19 pandemic, HUD allowed jurisdictions to utilize CHDO set aside funds from 2017-2020 for TBRA. Council approved the redirection of these funds for TBRA. During this 5-year period this funding source is not expected to be used for any other program such as the RRP program to substantially rehabilitate homes occupied by low-income households or projects.</p> <p>Continued Appropriateness: Although opportunities exist, HOME funds are not sufficient to purchase these properties and develop. For several years, HOME funds have been redirected to RRP program to substantially rehabilitate homes occupied by low income households. In 2020-2021 HOME funds are being shifted into homeless services such as Tenant Base Assistance (or Rapid Rehousing) and may be used to support Permanent Supportive Housing Units as part of the Second Street affordable housing development. The City will continue to pursue funding and opportunities for affordable housing development. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
10	Affordable Housing Development	<ul style="list-style-type: none"> Facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as provision of incentives. Explore and research other funding sources. 	<p>Implementation of this program is ongoing. During the 2013-2021 planning period, the City of Corona completed the following affordable housing projects, partnering with nonprofit developers:</p> <ul style="list-style-type: none"> In 2019-2020, CDBG funds were utilized to assist with the purchase of the Riverside County Transportation Commission (RCTC) surplus property. The future affordable housing site is nearly 5 acres in size and is located at the southwest corner of Second Street and Buena Vista. Roughly 130 units will be constructed. This development is expected to include Permanent Supportive Housing units. Funding for this property will be housing set aside, city fee deferrals (if approved), CDBG funds (used for acquisition), and tax credits. <p>Continued Appropriateness: The Corona Housing Authority will explore and research other funding sources and continue to seek opportunities for affordable housing development. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
11	Density Bonus Program	<ul style="list-style-type: none"> Continue to advertise and inform prospective developers of options for density bonuses and actively educate and promote density bonus increases as adopted. Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. promote the use of density bonus incentives by providing information on city website and offering technical assistance to developers. 	<p>Implementation of this program is ongoing and is always available as established in the municipal code and in project review comments as they relate to multi-family development.</p> <p>Continued Appropriateness: The City will continue to offer density incentives for affordable housing. With diminishing affordable housing funds, use of density bonus by developers may increase in the future. This program is included in the 2021-2029 Housing Element.</p>
16	Homeless and Special Needs Support	<ul style="list-style-type: none"> Continue to provide financial support to social service agencies that provide emergency shelter, transitional housing, and supportive services to the homeless, those at risk of becoming homeless, and persons with disabilities (including developmental disabilities) Allocate funding to service agencies through the city's CDBG annual action planning process Continue to financially support the 211 system operated by Community Connect. This system provides information on social services and housing offered within the county. 	<p>Implementation of this program is ongoing. CDBG funds are allocated annually to assist with the prevention of homelessness and to support special needs persons/families through partnerships with the following local service agencies:</p> <ul style="list-style-type: none"> Inspire Life Skills assisted 8 young adult women aged out of the foster care program to provide shelter and vocational or four-year degrees. Peppermint Ridge assists developmentally disabled adults. In 2020, the new facility served 92 residents. Community Connect assisted over 2,243 people find social services and housing opportunities. United Way assisted 60 adults and 65 children through its domestic violence program and children wellness services. Big Brothers Big Sisters mentored 28 children. Corona Norco YMCA provided 97 children classes in fine arts. Council of Aging visited 34 of facilities and provided supportive services to 16 senior adults through its Ombudsman Program. <p>In the 2020-2021 Action Plan for the CDBG and HOME programs, the City allocated over \$1 million of CDBG funds for the rehabilitation of a homeless emergency shelter that will provide 30+ overnight shelter beds. The shelter facility activity is geared toward improving</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
			community facilities to ensure that the City can proactively address street homelessness as it occurs through an emergency shelter that provides a venue to assess and assist literally homeless individuals. Continued Appropriateness: The City will continue to support public and private organizations working towards ending chronic homelessness either through financial support or participation. This program is included in the 2021-2029 Housing Element.
Goal 4: Removing Governmental Constraints			
12	Zoning Ordinance Monitoring	<ul style="list-style-type: none"> Monitor the city's zoning ordinance to ensure that standards do not excessively constrain affordable residential development 	<p>Implementation of this program is ongoing. The municipal code underwent a substantial amendment related to second units to provide more flexible standards for Accessory Dwelling Units in accordance with State legislation. The public is aware of this provision and multiple inquiries of interest are received in this regard.</p> <p>Continued Appropriateness: The Constraints Analysis (Chapter 3) of this Housing Element did not identify governmental constraints that would require mitigating programs.</p>
13	Development Fees	<ul style="list-style-type: none"> Continue to evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities. 	<p>Implementation of this program is bi-annual. Fee studies are undertaken by the city's Finance Department every two years. The most recent fee study update and adoption took place in 2018.</p> <p>Continued Appropriateness: The City will continue to evaluate the impact of fees on residential and mixed-use developments and adjust as necessary to facilitate development activities. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
14	Expedited Project Review and Hearing Process	<ul style="list-style-type: none"> Continue to provide CDBG funds to a fair housing service provider encourage affirmative marketing on all residential projects and require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements make available bilingual fair housing assistance and materials implement the action items identified in the 2015-19 Analysis of impediments to Fair Housing Choice which was adopted by the City Council on April 15, 2015. 	<p>Implementation of this program is ongoing. The five-year 2015-2019 Analysis of Impediments was adopted by the City Council on April 15, 2015. Fair Housing Services are also funded through CDBG, annually. The Riverside County Council of Fair Housing provides information materials in English and Spanish, over the phone assistance, in person consultations and case management.</p> <p>A new five-year 2020-2024 Consolidated Plan and Analysis of Impediments was adopted on June 17, 2020. The City continues to fund fair housing services and increased funding for said services the past 2 years. City staff also work closely through its Code Enforcement and Housing Division with fair housing and participated in a townhall meeting in 2020.</p> <p>Continued Appropriateness: The City will continue to monitor and improve its project review and approval process. This program is included in the 2021-2029 Housing Element.</p>

Chapter 6: Housing Plan

The Housing Plan identifies the City's housing goals, policies, and implementing programs. The overall strategy is to present a balanced and diverse array of policies that cover four overall areas of concern: construction, rehabilitation, conservation, and administration. The goals and policies of the Housing Element are organized into concise goal and policy directives.

GOALS AND POLICIES

Corona intends to implement goals and policies during the 2021-2029 housing element cycle that address the following five major issue areas:

- » Conserving and improving the existing stock of affordable housing
- » Providing adequate sites to achieve a variety and diversity of housing
- » Assisting in the development of affordable housing
- » Removing governmental constraints as necessary
- » Promoting equal housing opportunity

HOUSING PRODUCTION

State law requires that the goals and policies of the housing element shall encourage and facilitate the production of a range in types of housing affordable to households of varied income levels. The City supports this goal by identifying adequate housing sites (infill sites, vacant sites, and larger sites within Specific Plans) that are appropriately zoned for a variety of housing types (e.g., single-family, multiple family, etc.) while implementing programs that address the City's housing needs. At the same time, housing needs continually change over time due to broader demographic factors.

The sites identified for new housing have been found to be adequate to accommodate the City's regional housing needs allocation (e.g., for very low-, low-, moderate-, and above moderate-income households) as determined by the state Housing and Community Development Department (HCD) for the 2021-2029 planning period. The following goal and policies set forth the City's commitment to facilitate and encourage the production of housing commensurate with community needs.

GOAL H-1

Promote and maintain a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.

Policies

- H-1.1 Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.

- H-1.2 Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.
- H-1.3 Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.
- H-1.4 Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.
- H-1.5 Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density residential development, mixed use residential/commercial development, and transit oriented residential development in appropriate areas of the City.

SPECIAL NEEDS HOUSING

Corona, like many cities in California, have residents with special housing needs. These include seniors, large families with five or more members, people with disabilities, single parent households, unhoused people, and others in need of housing. The City proactively addresses each of these groups by providing a range of special needs and affordable housing suited to the lifestyles and needs of each special need group.

GOAL H-2

Promote and preserve suitable and affordable housing for persons with special needs, including large families, single parent households, persons with disabilities, and seniors and shelter for the unhoused.

Policies

- H-2.1 Encourage the development of rental units with three or more bedrooms to provide affordable housing for large families.
- H-2.2 Work with nonprofit agencies and private sector developers to encourage development of senior housing.
- H-2.3 Encourage the production of assisted living facilities (single-story houses and apartments) for the disabled and the elderly.
- H-2.4 Provide emergency shelter with transitional support for City residents, including disadvantaged groups.
- H-2.5 Encourage the upgrade and conversion of older motels to single-room occupancy housing.

NEIGHBORHOOD QUALITY

The City of Corona's quality of life is contingent on neighborhood quality and the safety, public amenities, and quality of development found in each neighborhood. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with sidewalks and trees, adequate physical infrastructure, and public services. In other cases, some neighborhoods show signs of deterioration and could benefit from improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services.

Given the diversity of residential neighborhoods, the City of Corona supports a multifaceted approach to improving and preserving the quality and livability of residential neighborhoods. The particular strategies employed to achieve this goal depend on the location of the neighborhood, age and tenure of housing, type of housing, and other neighborhood characteristics. These strategies include, but are not limited to, the following: historic preservation, neighborhood traffic management, infrastructure maintenance, safety, code compliance, and housing rehabilitation. The following goal and policies set forth Corona's commitment to neighborhood quality.

GOAL H-3

Maintain high quality residential development standards to ensure the establishment of livable neighborhoods with lasting safety and aesthetic value, and to promote the maintenance and preservation of historic neighborhoods.

Policies

- H-3.1 Recognize the City's inventory of existing historic structures and seek programs to enhance and preserve those neighborhoods.
- H-3.2 Encourage the revitalization of the existing dwelling units in the circle area through rehabilitation programs.
- H-3.3 Provide public services and improvements that enhance and create neighborhood stability.
- H-3.4 Continue to establish and enforce property maintenance regulations that promote the sound maintenance of property and enhance the livability and appearance of residential areas.
- H-3.5 Maintain design review for new residential developments to ensure the construction of livable and aesthetically pleasing neighborhoods.
- H-3.6 Prioritize water and sewer services and upgrades in areas of the city that have been identified as urban infill sites for the planning of affordable housing.

FAIR HOUSING

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

GOAL H-4

Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies

- H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.
- H-4.2 Promote and provide for nondiscrimination in all City programs.

HOUSING PROGRAMS

The goals and policies contained in the Housing Element address the identified housing needs in Corona and are implemented through a series of housing programs. Housing programs define the specific actions the City will take to achieve specific goals and policies. Housing programs include the programs currently in operation in the City as well as new programs. This section provides a description and the qualitative and quantitative objectives for each housing program the 2021-2029 period.

CONSERVING AND IMPROVING EXISTING AFFORDABLE HOUSING

Maintaining Corona's older residential neighborhoods is vital to preserving the overall high quality and character of the community. In addition to maintaining the City's housing stock, Corona must also conserve affordable units. The cost of housing in Corona has become unaffordable or too much of a burden for many residents, particularly those with fixed incomes and lower and moderate-income households. The preservation of affordable housing helps maintain adequate housing opportunities available to all residents.

Program 1: Residential Rehabilitation Program

The Residential Rehabilitation Program includes forgivable loans through the city's allocation of annual Federal HOME Funds to address critical home improvement needs that benefit low- and moderate-income persons, which aid in the prevention or elimination of slums and neighborhood blight. Residential rehabilitation can also include amendments to existing Affordable Housing Agreements that assist affordable housing operators in seeking state funds for the rehabilitation of existing housing units. Rehabilitation projects can include new heating and air conditioning, new windows, exterior or interior paint, water heater replacement, new roofing, upgraded plumbing or repairs, upgraded electrical,

remodeled kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. As part of the city's CDBG & HOME Funds Action Plan, the City will continue to conduct community outreach regarding available loans and grants.

Funding	CDBG/HOME funds, Renegotiation of City Affordable Housing Agreement
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Assist 30 homeowners in the City's CDBG low- and moderate-income neighborhoods, which is an average of 3 households annually. ▪ Assist existing affordable housing operators on amendments to existing housing agreements that support funding for the rehabilitation of 96 low-income units that are aging in order to preserve existing low-income units. ▪ Continue to provide community outreach regarding available loans and grants for needed home improvements by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A.
Timeframe	Annual. This is annually monitored through the city's CDBG Consolidated Annual Performance and Evaluation Report and identifies the number of houses awarded residential rehabilitation funds. This report is produced and submitted to HUD every September and benchmarks the city's use of CDBG and HOME Funds for approved programs. This program will be implemented on an ongoing basis throughout the planning period based on available funding.

Program 2: Housing Choice Voucher Program

The Housing Choice Voucher Program (formerly Section 8) is implemented through the Riverside County Housing Authority. Very low-income renters receive supplemental rental assistance for standard housing in order to prevent them from becoming overly rent burdened. The Housing Choice Voucher Program extends rental subsidies to lower income families and the elderly who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the fair market rent. In 2018, the County issued 333 housing vouchers to Corona households.

Funding	HUD Housing Choice Voucher funding allocation
Responsible Agency	Riverside County Housing Authority
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. ▪ Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. ▪ Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.
Timeframe	October 2023. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 3: Conservation of Existing and Future Affordable Units

A total of 89 units in Corona are at risk of losing their affordability controls (e.g., become market rate) prior to December 2023. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities.

Funding	CDBG/HOME Administration (monitor at-risk status); other funding sources as available for preservation.
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Annually identify and analyze inventory that may be put at risk of losing affordability controls. ▪ Maintain communication with the local HUD office. ▪ Assist in tenant education. ▪ Identify potential buyers. ▪ Identify potential acquisition funds. ▪ Coordinate with property owners and non-profit developers to identify potential acquisition opportunities by October 2022. ▪ The California Legislature extended the required notification period, requiring property owners give a 12-month notice of their intent to opt out of low-income use restrictions. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the County's housing authority, and other affordable housing opportunities within in the City. ▪ Assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.
Timeframe	Annual. Ongoing monitoring of funding opportunities for long-term preservation.

Program 4: Mobile Home Park Program

The City will maintain its Residential Mobile Home Park zoning ordinance (Municipal Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5.

Additionally, financial assistance for existing mobile home parks is available through the State Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low-income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Funding	State Grants/Loans (MPRRP)
Responsible Agency	Community Services Department,
Objectives	<ul style="list-style-type: none"> Continue to allow mobile home parks to be rehabilitated and restored through ownership programs as permitted by State law. As appropriate, provide information to mobile home park tenants regarding potential tenant purchase of parks and assistance available, through programs such as State's Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP).
Timeframe	January 2023. Provide information on the MPRROP on the city's Community Assistance Division website.

Program 5: Neighborhood Improvements

To foster community pride and encourage homeowners to invest in the upkeep of their properties in low- and moderate-income neighborhoods, the City will continue its implementation of neighborhood improvements through its Code Compliance efforts. This program consists of property inspections to ensure exterior and interior public improvements to properties, such room additions, electrical and plumbing upgrades, front yard landscaping and other similar improvements are being done in accordance with city ordinances to ensure the health and safety of habitable units and to maintain the aesthetic appearance of neighborhoods. Such improvements inspire property owners to stay in the neighborhood and preserve the existing housing stock. The City continues to develop methods designed to increase the City's collective sense of community pride.

Funding	CDBG funds
Responsible Agency	Planning and Development – Code Compliance
Objectives	<ul style="list-style-type: none"> Proactive and reactive inspections of 300 housing units annually in the city's low- and moderate-income neighborhoods that address housing complaints regarding the condition and maintenance of properties and to ensure improvements to properties are done in accordance with city ordinances. The program is intended to provide safe and sanitary housing by requiring non-permitted improvements to be brought into compliance with city ordinances.
Timeframe	Annual inspections of 300 housing units. This program is implemented annually through CDBG funds and is specifically used in the CDBG neighborhoods to provide Code Compliance services. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report. This program is ongoing and will be used during the planning period.

Program 6: Sustainable Building

The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The

program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

PROVIDE ADEQUATE HOUSING SITES

A key element in satisfying the housing needs of all segments of the community is the provision of adequate sites for housing of all types, sizes, and prices. This is an important function in both zoning and General Plan designations. The City of Corona's regional housing needs allocation (RHNA) for the 2021 - 2029 period is 6,088 units.

Program 7: Site Availability and Rezone Program

Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B).

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. ▪ Amend Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024. ▪ Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website. ▪ Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses. ▪ Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites. ▪ Monitor the consumption of residential acreage to ensure an adequate inventory is available. ▪ Create opportunity for at least 2,746 units for lower income households and 976 units for moderate income households. ▪ By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements. ▪ Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive. ▪ Amend land use designation MU-1 with an AHO Zone to allow for 100 percent residential use or combination of residential and commercial uses by October 2024. ▪ Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households. <ul style="list-style-type: none"> ▫ Permit at least 16 units per site; ▫ Require a minimum density of 20 units per acre; and ▫ At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites: <ul style="list-style-type: none"> – Allow 100 percent residential use; and – Require that all residential use occupy 50 percent of the total floor area of a mixed use project.
Timeframe	October 2024. This program will be implemented through the remainder of the planning period.

Program 8: Residential Sites Monitoring Program

In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss,” was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City’s available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target.

Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure “no net loss” in capacity to accommodate the RHNA.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Maintain an updated inventory of residential housing developments that have been submitted, approved, and denied. ▪ The City will actively promote, through outreach and discussions, sites available for lower- and moderate-income housing development to potential developers, private and non-profit organizations, and other interested persons and organizations. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to allow, by right, a mix of dwelling types and sizes, specifically missing middle housing types (e.g., duplexes, triplexes, fourplexes, courtyard buildings). ▪ Starting January 2022, annually monitor the City’s remaining housing capacity to ensure compliance with SB 166.
Timeframe	Annually every April through the Annual Progress Report to HCD.

Program 9: Sites Used In Previous Planning Periods Housing Elements

In 2017, AB 879 and AB 1397 were passed requiring additional analysis and justification of the sites included in the sites inventory of the City’s Housing Element. The Housing Element may only count non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements if the sites are subject to a program that allows affordable housing by right. Some sites within this Housing Element were used in previous cycles and this program is included to address the by-right approval requirement. Per AB 1397, the use by right of these sites during the planning period is restricted to developments in which at least 20 percent of the units in the development are affordable to lower income households, provided that these sites have sufficient water, sewer, and other dry utilities available and accessible or that they are included in an existing general plan program or other mandatory program or plan to secure sufficient water, sewer, dry utilities supply to support housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ The City shall rezone or amend its Zoning Code or applicable specific plans by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units
Timeframe	October 2024. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 10: Lot Consolidation and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum yard setbacks, and open space to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards where access exists to public transportation.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers.▪ Offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include expedited processing, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance.▪ Waiver of certain development impact fees for lot consolidation for 100 percent affordable housing.▪ Create lot consolidation provisions for affordable housing projects within the Zoning Ordinance.
Timeframe	October 2023. Incentives would be applied to applicable projects throughout the planning period.

Program 11: Multi-Family Acquisition and Rehabilitation

Acquisition and rehabilitation of existing multi-family housing stock are more cost-effective than constructing new affordable units and provide the additional benefit of maintaining the City's multi-family housing stock. An important component of Corona's housing strategy is the identification of existing multi-family units for acquisition and rehabilitating as affordable housing. The City has several older apartment complexes, many in substandard conditions, that have potential for acquisition and rehabilitation. To the extent feasible, the City will encourage a portion of acquired affordable units to be made available to persons with disabilities (including developmental disabilities) and extremely low-income households.

In the previous housing cycle, the City used NSP and HOME funds for the acquisition of a 12-unit dilapidated complex for very low-income families. Additionally, the City used NSP funds to purchase a remnant structure with 19 units. This was part of a partial-take affected by the State Route 91 expansion project. These 19 units were integrated into the Citrus Circle Affordable Housing project which also constructed 42 new units. The entire project created 61 affordable units.

Funding	NSP and HOME funds
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. ▪ Pursue available funds for multi-family acquisition and rehabilitation.
Timeframe	Annual through the city's CDBG/HOME Funds Action Plan, which is adopted every fiscal year.

ASSIST IN THE DEVELOPMENT OF AFFORDABLE HOUSING

The high cost of new construction can prohibit the development of affordable housing units. Incentive programs for housing developers, such as a density bonus, offer a cost-effective means of promoting affordable housing development. Public sector support for new construction includes the following programs for lower and moderate-income housing development.

Program 12: Affordable Housing Development

The City is committed to maintaining and monitoring housing conditions amongst vulnerable, very low-income, low-income, and special needs populations. Lower-income communities along with the elderly and persons with special needs are disproportionately burdened with poorer housing conditions. Corona will continue to seek new funding opportunities and partnerships to improve housing conditions. The City will identify and partner with advocacy groups such as Habitat for Humanity to expand existing resources and help further improve housing conditions for special needs and low-income communities, and identify the need for rehabilitation assistance as the housing stock ages.

The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources.

The following are recent affordable housing activities in the City that are planned in the 6th Cycle:

- » Corona Housing Authority acquired approximately 5 acres at Second Street and Buena Vista Street to support the construction of approximately 130 apartments for low income and permanent supportive housing. The project is expected to be constructed within this planning period. The Housing Authority will be providing financial assistance and the land for the project.

The City provided financial assistance to these projects for site acquisition, construction, rehabilitation, and/or relocation of existing tenants.

Funding	HOME funds, CHA funds, other sources as available
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives. ▪ Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 130 lower income units within the planning period. ▪ Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years. ▪ Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing. ▪ Annually seek additional funding sources and identify new partnerships to greater expand resources in the City. ▪ By October 2024, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. ▪ Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates. ▪ Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households. ▪ Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households into the General Plan. .
Timeframe	October 2024. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 13: Density Bonus Program

Consistent with State law (Government Code sections 65915 through 65918), the City continues to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low- and low-income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements.

In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Update the Corona Zoning Ordinance by October 2023 to integrate future changes in State Density Bonus Law. ▪ Continue to advertise and inform prospective developers of options for density bonuses, and actively educate and promote density bonus increases as adopted. ▪ Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. ▪ Promote the use of density bonus incentives by providing information on City website and offering technical assistance to developers.
Timeframe	October 2023. This program would be implemented on an ongoing basis through the remainder of the planning period.

REMOVE GOVERNMENTAL CONSTRAINTS

To facilitate housing development, the Housing Element must address and, where appropriate and legally possible, remove governmental constraints affecting the maintenance, improvement, and development of housing. The following programs are designed to lessen governmental constraints on housing development.

Program 14: Zoning Ordinance Monitoring

The Corona Zoning Ordinance (Title 17 of the Corona Municipal Code) is continuously updated to address changes among a range of issues and State/Federal laws. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop. ▪ Amend Title 17 of the Municipal Code by October 2023 to comply with the Employee Housing Act. ▪ Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP. ▪ Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities. ▪ Amend the Zoning Ordinance including specific plans by October 2024 to allow up to three stories by-right in multifamily residential zones that accommodate affordable housing units.
Timeframe	October 2023 and October 2024. This program would be implemented on an ongoing basis through the remainder of the planning period.

Program 15: Flexibility in Development Standards

The City, in its review of development applications, may recommend waiving or modifying certain development standards, or propose changes to the Municipal Code to encourage the development of low- and moderate-income housing. The City offers offsets to assist in the development of affordable housing citywide. Offsets include concessions or assistance including, but not limited to, direct financial assistance, density increases, standards modifications, or any other financial, land use, or regulatory concession that would result in an identifiable cost reduction.

Funding	Department Budget
Responsible Agency	Community Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor application of Development Code standards for constraints to development of new low- and moderate-income housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. ▪ By October 2024, the City will adopt standards for affordable and/or high-density housing development that allow greater flexibility in development standards, such as reduced setbacks, and/or reduction of required common open space.
Timeframe	October 2024. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 16: Development Impact Fees

Various fees and assessments are charged by the City to cover the costs of processing permits and providing services and facilities. While almost all these fees are assessed on a pro rata share system, they often contribute to the cost of housing and constrain the development of lower priced units. As a result, the City will evaluate the impact of the fee increase on residential and mixed-use developments as a potential constraint on housing development and adjust as necessary to encourage and facilitate residential development. In addition, the City will work with the development community to solicit their input on the impact and viability of existing fees. The City currently updates their Fee Schedule for development impact fees every ten to twenty years by the City's Finance Department.

Funding	Department Budget
Responsible Agency	City Council by Policy
Objectives	<ul style="list-style-type: none">▪ At least once annually, evaluate the impact of development fees on residential and mixed-use developments that include low-income units and make adjustments as necessary to facilitate development activities.▪ Consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing units for low-income households.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 17: Expedited Project Review and Hearing Process

The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ The City will prioritize processing for affordable housing projects▪ Annually assess the efficiency of the City's permit streamlining process and continue to implement best practices with efficient project review procedures.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROMOTE EQUAL HOUSING OPPORTUNITY

To make adequate provision for the housing needs of all economic segments of the community, the housing plan must include actions that promote housing opportunities for all persons regardless of race, religion, sex, family size, marital status, ancestry, national origin, color, age, or physical disability.

Program 18: Affirmatively Furthering Fair Housing (AFFH)

To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data.

The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services Department
Objectives	<ul style="list-style-type: none">▪ Continue to effectively address the requirements of AB 686 by increasing outreach and education through the fair housing service providers, publicize fair housing litigation to encourage reporting, and conduct random testing on a regular basis to identify issues, trends, and problem properties.▪ Work with local agencies such as the Fair Housing Council of Riverside County to help identify and reduce barriers to housing on both a regional and local scale.▪ Establish a method of measuring the progress of fair housing practices, which can include the index of dissimilarity, the Regional Opportunity Index, and percentage of residents experiencing extreme housing cost burdens. Report the findings of these metrics as part of the city's Housing Element Annual Progress Report.▪ Expand understanding of the current state of fair housing practices and potential areas of discrimination by conducting an in-depth study of fair housing issues around the city.▪ The city shall continue to facilitate opportunities for all residents and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout plan development and the public review process. Outreach efforts to disadvantaged communities will be a priority.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 19: Fair Housing Services

With assistance from the city's fair housing provider, which is the Fair Housing Council of Riverside County, the city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686 (2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Funding	CDBG, Section 8 Rental Assistance, Housing Trust Fund
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide annual CDBG funds to a fair housing service provider. ▪ Encourage affirmative marketing on all residential projects and will require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements. ▪ Allocate annual funding for fair housing services through the Action Plan process for the use of CDBG funds. ▪ Participate in regional efforts to mitigate impediments to fair housing choice. ▪ Distribute educational materials to property owners, apartment managers, and tenants relative to fair housing requirements, regulations, and services. ▪ Make public announcements, via different media (e.g., social media, newspaper ads, and public service announcements at local radio and television channels) related to fair housing programs and opportunities. ▪ Conduct workshops and training with different community-based organizations. ▪ Conduct fair housing workshops and training in Spanish. ▪ Hold diversity awareness events and programs at a variety of locations throughout the city. ▪ Outreach targeted and related to home financing opportunities; ▪ Monitor and respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution). ▪ Referring services to appropriate agencies; ▪ Conduct fair housing testing at random sites to measure compliance and remove any such impediments through fair housing law enforcement. ▪ Continue working collaboratively with the Fair Housing Council of Riverside County to promote fair housing, education, and advocacy. ▪ Take affirmative actions to further fair housing choice in the city, and implement the solutions developed in the Regional Analysis of Impediments to Fair Housing Choice to mitigate and / or remove fair housing impediments. ▪ Target housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in all parts of the community.
Timeframe	Annual. This program is implemented annually through CDBG funds. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report to HUD.

Program 20: Segregation in Housing Implementation

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Funding	Departmental Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing.▪ Assess opportunities on infill sites for residential development and redevelopment of underutilized property that could support higher density housing opportunities for low- and moderate-income households.
Timeframe	October 2024. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 21 Housing for Persons Experiencing Homelessness

On June 17, 2020, Corona's City Council adopted the Strategic Plan to Address Homelessness, designed to address homelessness through various programs. The City's Homeless Prevention Programs was created as a result of the City's Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The Strategic Plan identified eight goals to help prevent homelessness, improve quality of life, and reduce homelessness:

- » Develop a Systems-Oriented Approach to Address Homelessness;
- » Develop a Low-Barrier Emergency Shelter/Navigation Center System;
- » Develop Permanent Supportive and Affordable Housing Solutions;
- » Expand Outreach and Engagement;
- » Develop and Participate in Sub-Regional Collaboratives with Neighboring Cities;
- » Develop Partnerships with the County and Continuum of Care to Support Plan Initiatives;
- » Develop a Homeless Prevention Initiative
- » Develop an Advocacy Campaign to Support Plan Initiatives, and;
- » Expand Data Tracking Systems and Dashboard to Measure System Performance

Funding	CDBG, HOME, SB2
Responsible Agency	Community Services Department, Community Development
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Coordinate with agencies such as the Housing and Homeless Coalition of Riverside County along with SCAG for the purposes of coordinating efforts, reducing the unsheltered population, increasing emergency and permanent housing, and leveraging resources to address homelessness. ▪ Continue to provide funding for local and sub-regional homeless service providers that operate temporary and emergency shelters. ▪ Assist (when possible) local non-profits and charitable organizations in securing state and federal funding for the acquisition, construction, and management of shelters. ▪ Review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to state law and amend the zoning ordinance (Refer to Program 15) and other documents as part of the General Plan and Zoning Code. ▪ Consider establishing a maximum length of stay for emergency shelters to have a limit of no more than 180 consecutive days within a one-year period instead of a total of 180 days in a one-year period. ▪ Continue to financially support the 211 system operated by the Volunteer Center of Riverside County. This system provides information on all social services offered in Riverside County. ▪ Commit to updating the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.
Timeframe	Annual. This program is implemented through CDBG funds. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report to HUD. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 22: Housing for Special Needs Populations

The Corona Zoning Ordinance is continuously updated to address a wide range of issues and State and federal law with respect to accommodating and addressing housing for special needs. In 2018, Assembly Bill 2162 (AB 2162) was passed which requires that supportive housing be a use by-right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multifamily uses. The City's Zoning Ordinance currently reflects this piece of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this piece of AB 2162 and will amend Title 17 of the Corona Municipal Code to reflect this portion of the legislation.

The City is committed to expanding supportive housing opportunities for vulnerable communities that rely on such services. The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Amend Title 17 of the Corona Municipal Code to incorporate all changes to State legislation pertaining to special needs populations as part of the General Plan and Zoning Code update project, by October 2023. ▪ Facilitate the development of housing for persons with disabilities and other special needs through the development of incentives for affordable housing development by October 2023. ▪ Nurture ongoing partnerships that help educate and execute the development of supportive and transitional housing.
Timeframe	October 2023. This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 23: Safe and Healthy Communities

Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Annually monitor policies, standards, and regulations regarding environmental justice in the City. ▪ Nurture ongoing partnerships that help educate and execute the development of safe and health housing communities for all groups of people.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 24: Alternative Housing Program

Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to annually monitor underutilized properties and sites that have a potential for alternative housing options and offer the information to interested developers on an on-going basis. ▪ Rezone underutilized commercial, office, and or industrial space, as appropriate, to facilitate use for alternative housing types. This will be done with the RHNA updates on or before October 2024 and then annually as opportunities arise. ▪ By October 2024, develop, as part of a zoning ordinance update, measures that encourage affordability by design (e.g., smaller, more efficient and flexibly-design living spaces). ▪ Where appropriate, utilize the city's regulatory powers (e.g., land use and fees) to remove the requirement of a CUP for the development of care facilities that provide 24-hour care to seven or more disabled persons. ▪ Encourage the development of alternative housing including care facilities for 7+ individuals in residential zones. ▪ Actively encourage, through annual outreach and discussions with developers, innovative housing structures, such as micro-unit housing and new shared and intergenerational housing models to help meet the housing needs of aging adults, students, and lower-income individuals citywide. This will be accomplished on an on-going basis. ▪ Develop and promote assistance with financing or funding applications.
Timeframe	October 2024. This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 25: Community Outreach Program

Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City's housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities. Strategies to expand accessibility and help further educate community groups include:

- » Sharing and distributing public announcements/information through a variety of mediums such as flyers, E-blasts, website updates, new media, and social media;
- » Actively engaging existing stakeholders and seeking additional stakeholders from all sectors of the community to participate in the public participation process;
- » Increasing accessibility to public meetings by conducting public meetings around typical work hours, accommodating persons with disabilities, choosing locations near transit centers, and providing resources such as childcare, language translation services, and food and refreshments where possible;
- » Continuing to educate all community groups about the services available for rental, homeownership, and rehabilitation/maintenance services.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services
Objectives	<ul style="list-style-type: none"> ▪ Increase accessibility to public meetings for all sectors of the community including minority groups and persons with disabilities by ensuring public meetings are in accessible locations to all persons. ▪ Ensure public meetings and other planning processes are delivered in ways that all groups of the community can understand such as delivering meeting content in multiple languages. ▪ Make public announcements and information accessible and visible using a variety of communication methods.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 26: Community Placemaking Pilot Program

The City of Corona actively seeks to identify new opportunities to connect neighborhoods despite differences in income levels and demographics. The Community Placemaking Pilot Program will implement small-scale placemaking projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds. Placemaking strategies include but are not limited to:

- » Increase signage and wayfinding between neighborhoods;
- » Implement “popup parks”/sidewalk cafes in community neighborhoods;
- » Create a community murals programs to help beautify community neighborhoods and connect local artists of all backgrounds;
- » Increase seating, such as picnic tables with chess/checker boards;
- » Create a designated city community garden for all members of the community to visit and volunteer;
- » Coordinate neighborhood walks/races, and;
- » Increase overall community outreach (partnering with Program 25) to help spread the word on new community attractions in various neighborhoods and educate community groups on new community activities

Funding	Department Budget
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Connect diverse neighborhoods through small, inclusive, and accessible placemaking projects and activities. ▪ Expand public outreach to target all neighborhoods and educate people from all types of community groups on new and upcoming neighborhood projects and activities.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 27: Replacement Housing Program

Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Pursue amendment to the Zoning Code by October 2022 to address replacement requirement.
Timeframe	October 2022. This program will be implemented within one year of Housing Element adoption.

SUMMARY OF QUANTIFIED OBJECTIVES

The City has proposed its objectives for the Housing Element period based on financial resources, previous experience, and staff capacity. The following table summarizes the City's quantified objectives for the 2021-2029 period by income group.

Table 48: Quantified Housing Objectives (2021-2029)

	New Construction	Rehabilitation	Conservation/Preservation
Extremely Low Income	36	-	-
Very Low Income	11		12
Low Income	87	15	36
Moderate Income	64	-15	-
Anticipated Outcomes from Programs ¹	-	-	439
Total	198	30	487
¹ Conservation objectives were increased by incorporating anticipated outcomes from the following programs: 2 (Housing Choice Voucher Program), 3 (Conservation of Existing and Future Affordable Units), and 26 (Preservation of At-Risk Housing). Program 2 would accommodate 350 households in the very-low-income category and Program 3 would conserve a total of 89 affordable units.			

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Appendix A

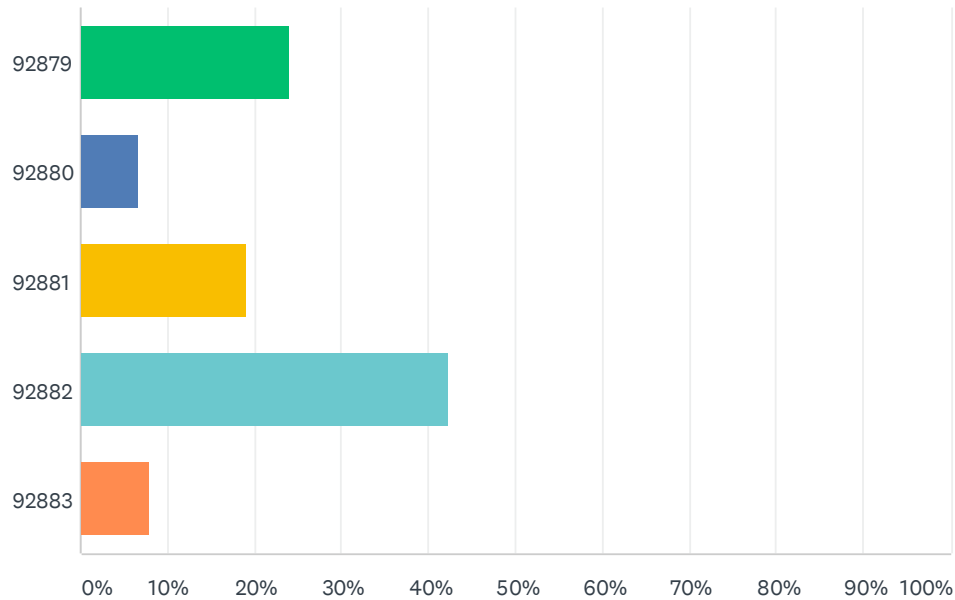
PUBLIC OUTREACH

Appendix A-1
Housing Element Online Public Survey Results

City of Corona - Housing Element Update

Q1 If you are a resident of the City of Corona please select the zip code for your place of residence. If you are not a resident in the City move on to Question 2.

Answered: 253 Skipped: 7



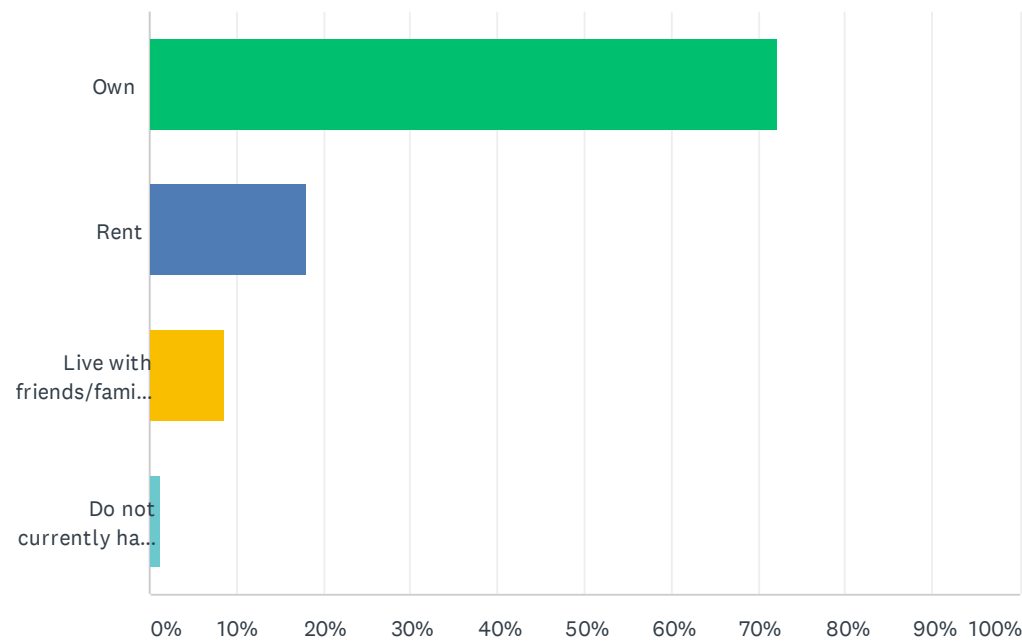
ANSWER CHOICES	RESPONSES	
92879	24.11%	61
92880	6.72%	17
92881	18.97%	48
92882	42.29%	107
92883	7.91%	20
TOTAL		253

Q2 Do you represent a special interest group (example: service provider associated with domestic violence, seniors, persons with disabilities, veterans, etc.; community group, housing developer, other?) If so, please provide Name of Organization. Once answered, please move on to Question 9.

Answered: 50 Skipped: 210

Q3 Which best describes your current housing situation?

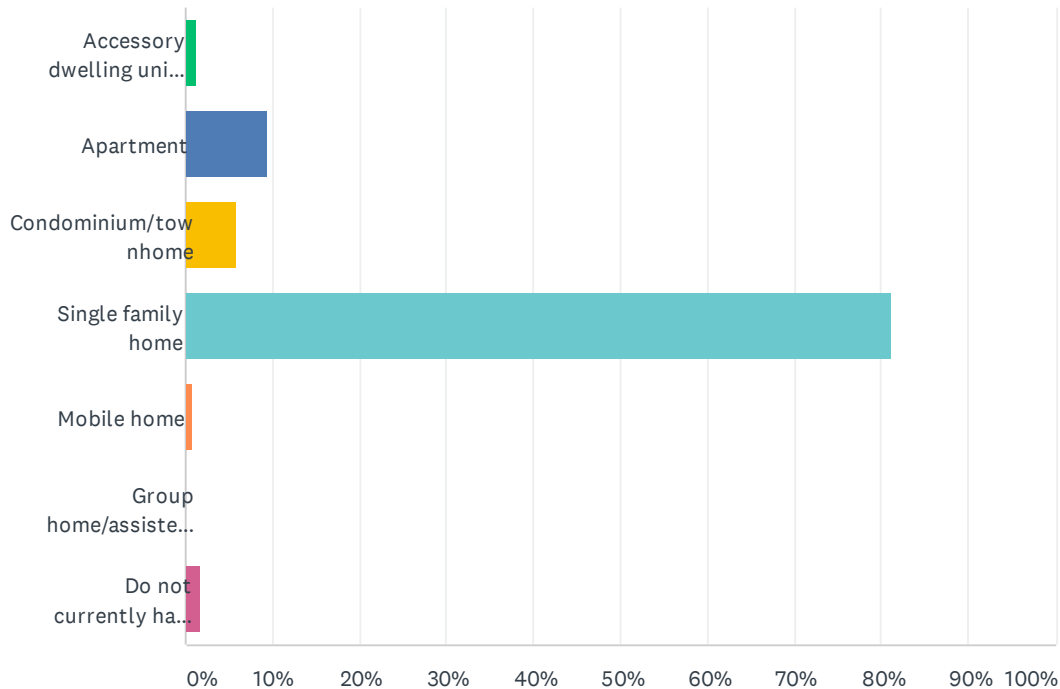
Answered: 255 Skipped: 5



ANSWER CHOICES		RESPONSES	
Own		72.16%	184
Rent		18.04%	46
Live with friends/family, do not own or pay rent		8.63%	22
Do not currently have a permanent home		1.18%	3
TOTAL			255

Q4 Which best describes your current living situation?

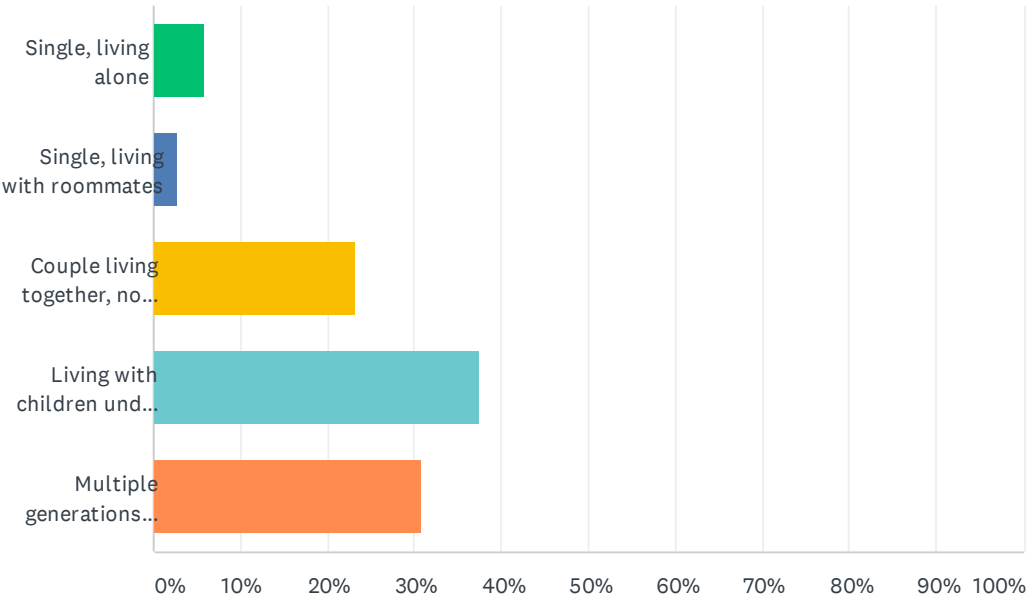
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Accessory dwelling unit (granny flat/guest house)	1.18%	3
Apartment	9.45%	24
Condominium/townhome	5.91%	15
Single family home	81.10%	206
Mobile home	0.79%	2
Group home/assisted living	0.00%	0
Do not currently have a permanent home	1.57%	4
TOTAL		254

Q5 Which best describes your household composition?

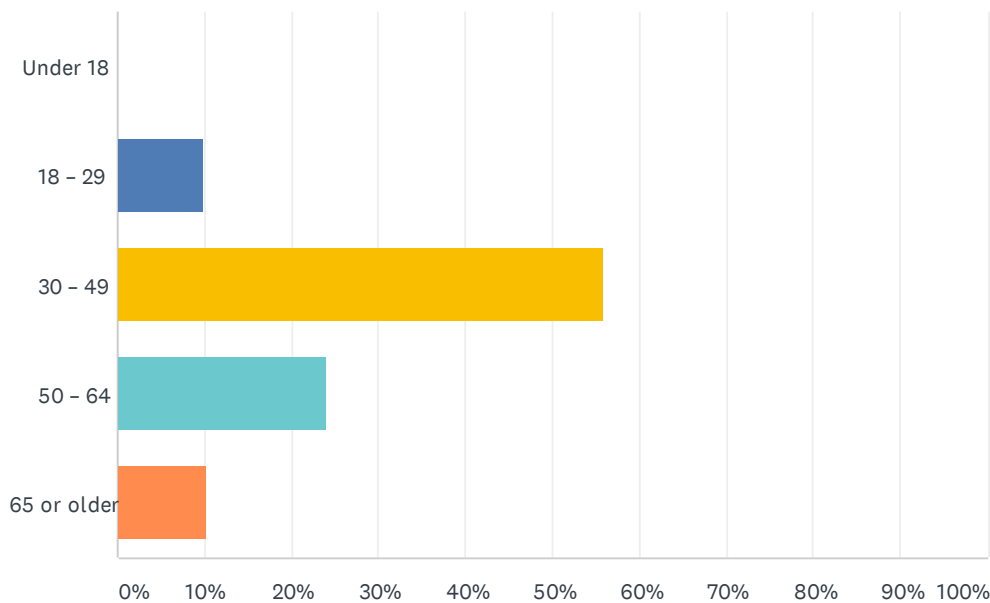
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Single, living alone	5.91%	15
Single, living with roommates	2.76%	7
Couple living together, no children	23.23%	59
Living with children under 18 at home	37.40%	95
Multiple generations living together (adult children, parents, grandparents, etc.)	30.71%	78
TOTAL		254

Q6 What is your age group?

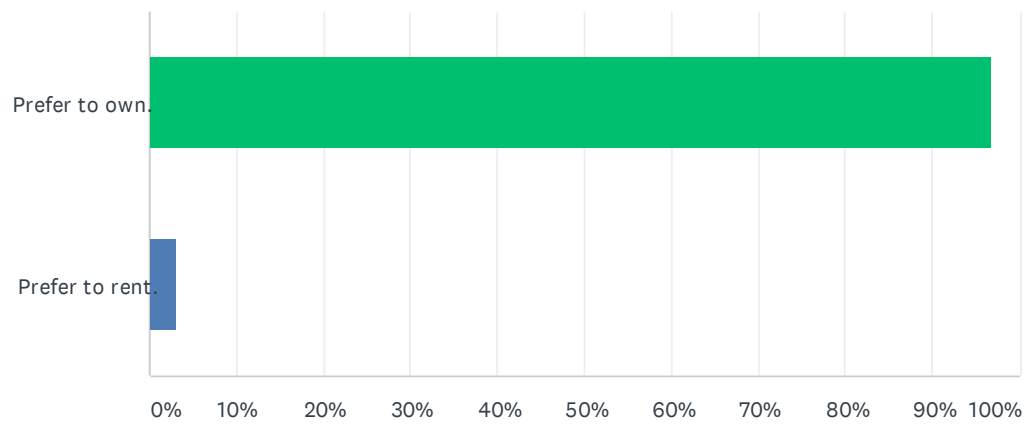
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Under 18	0.00%	0
18 – 29	9.84%	25
30 – 49	55.91%	142
50 – 64	24.02%	61
65 or older	10.24%	26
TOTAL		254

Q7 What is your preference when it comes to housing?

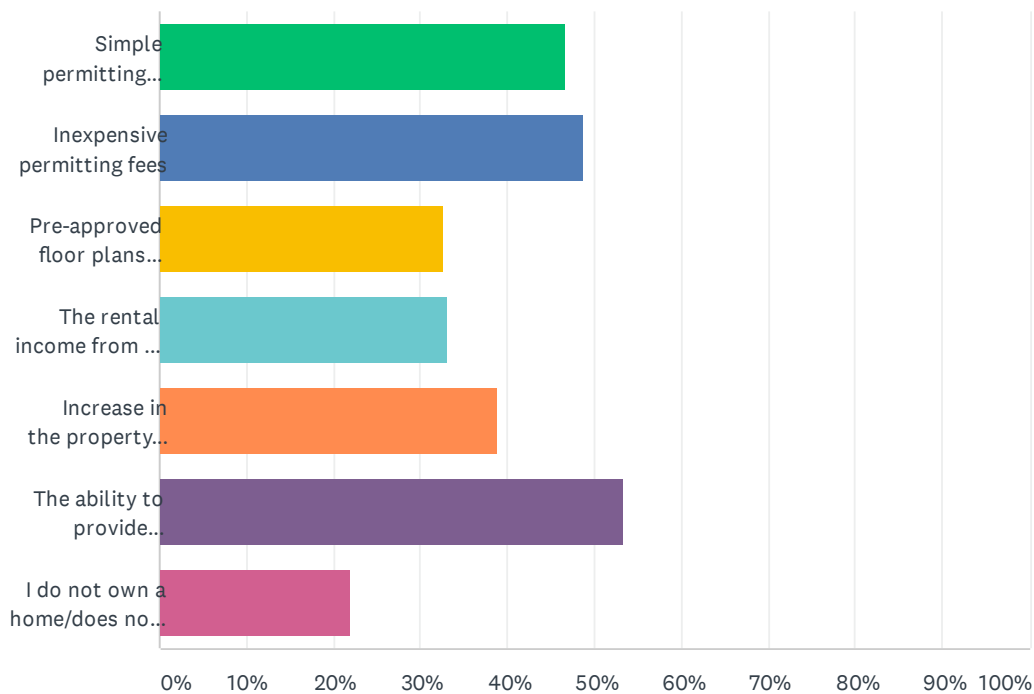
Answered: 253 Skipped: 7



ANSWER CHOICES	RESPONSES	
Prefer to own.	96.84%	245
Prefer to rent.	3.16%	8
TOTAL		253

Q8 Recently adopted state legislation mandates that accessory dwelling units, commonly known as an ADU, be allowed on residential properties that are zoned single family. If you own a home, what would make you consider adding an accessory dwelling unit (ADU) to your house or property? (Select all that apply)

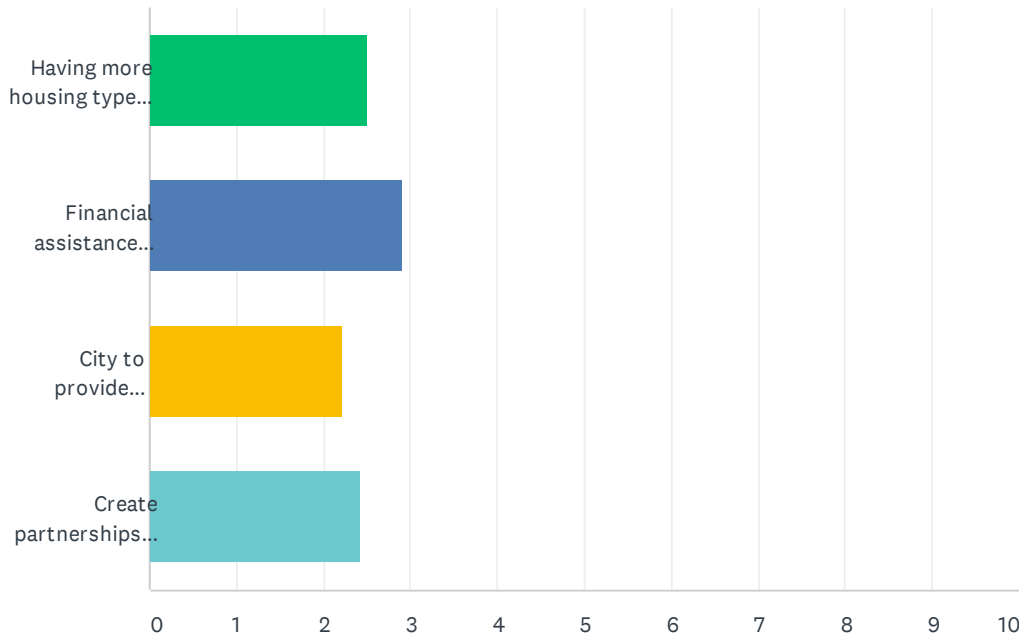
Answered: 236 Skipped: 24



ANSWER CHOICES	RESPONSES	
Simple permitting process	46.61%	110
Inexpensive permitting fees	48.73%	115
Pre-approved floor plans provided by the City for a detached ADU.	32.63%	77
The rental income from an ADU	33.05%	78
Increase in the property resell value	38.98%	92
The ability to provide separate living quarters for someone in my family.	53.39%	126
I do not own a home/does not apply to me	22.03%	52
Total Respondents: 236		

Q9 Using a numeric rating from 1 through 4, with 1 being the most effective and 4 being the least effective, please rank the approaches that you think would provide the best options for housing?

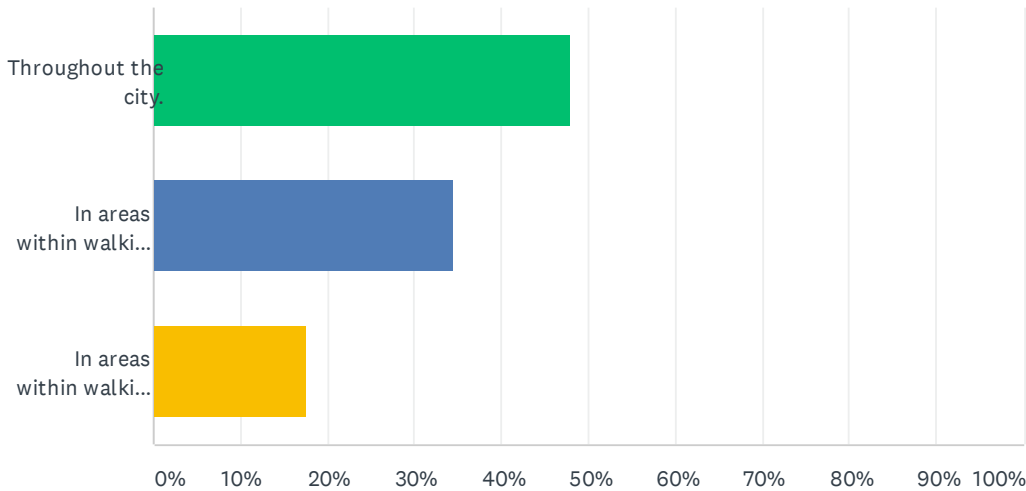
Answered: 257 Skipped: 3



	1	2	3	4	TOTAL	SCORE
Having more housing types available (single family, condominium community, apartment community).	30.17% 73	18.18% 44	25.62% 62	26.03% 63	242	2.52
Financial assistance programs such as rental assistance and down payment assistance programs.	34.69% 85	32.65% 80	20.82% 51	11.84% 29	245	2.90
City to provide incentives for developers to include affordable housing units/workforce housing units within a high-density market-rate rental development.	15.06% 36	24.69% 59	26.36% 63	33.89% 81	239	2.21
Create partnerships with organizations that help people experiencing homelessness find permanent housing.	23.48% 58	23.89% 59	25.10% 62	27.53% 68	247	2.43

Q10 Do you think new housing should be located:

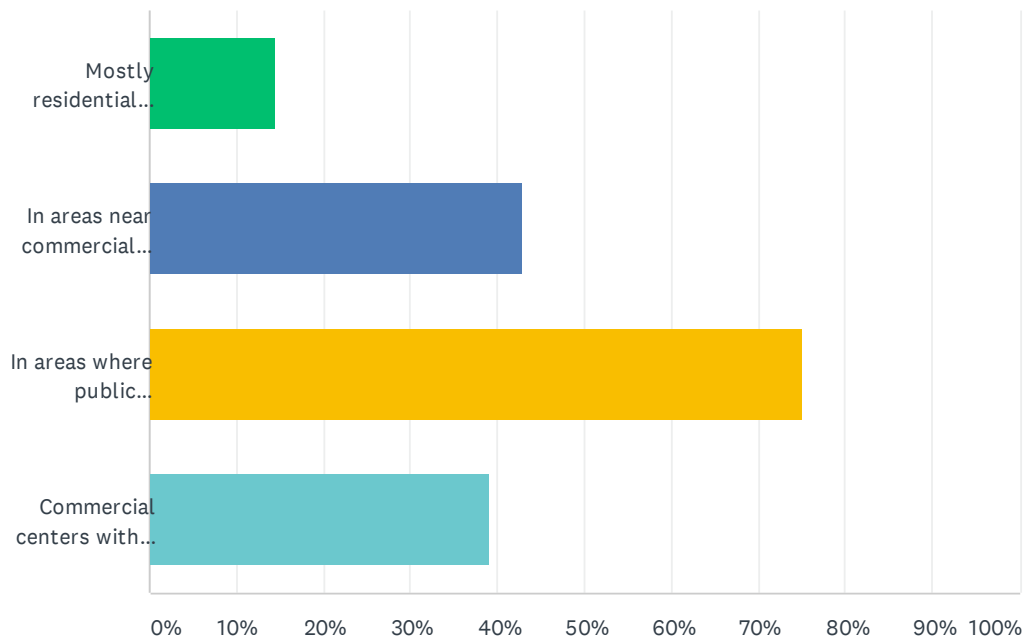
Answered: 246 Skipped: 14



ANSWER CHOICES	RESPONSES	
Throughout the city.	47.97%	118
In areas within walking distance to public transportation (example: Sixth Street, Main Street).	34.55%	85
In areas within walking distance to commercial services.	17.48%	43
TOTAL		246

Q11 Which areas of the City do you think would be better suited for high-density residential involving apartments and/or condominiums? (Select all that apply)

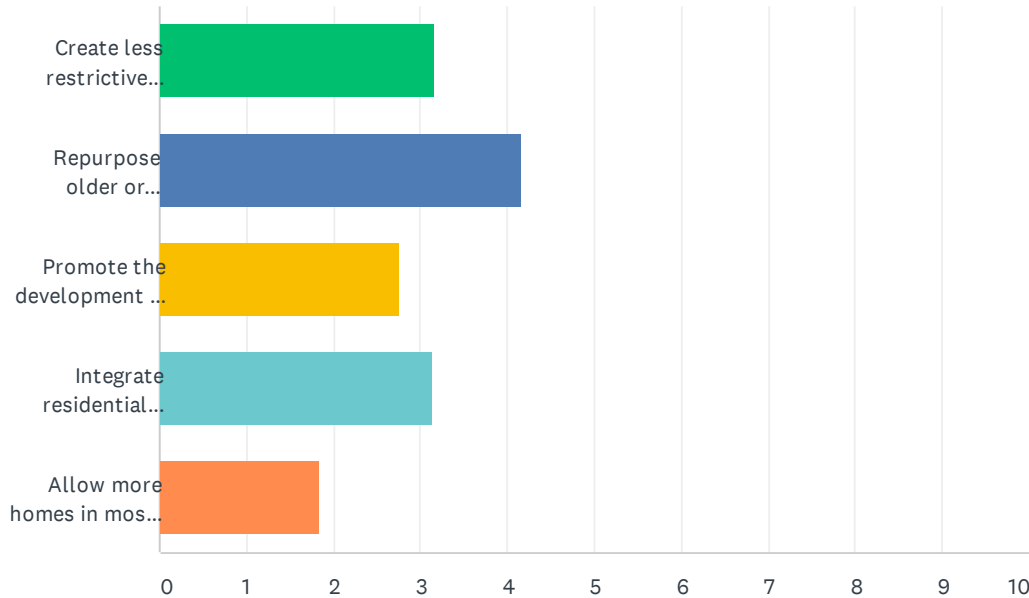
Answered: 250 Skipped: 10



ANSWER CHOICES	RESPONSES	
Mostly residential areas.	14.40%	36
In areas near commercial centers.	42.80%	107
In areas where public transportation is within walking distance.	75.20%	188
Commercial centers with housing integrated (mixed-use).	39.20%	98
Total Respondents: 250		

Q12 The State of California mandates that the City's General Plan Housing Element be periodically updated in order to provide housing opportunities for every income sector of the population. In your opinion, please rank the most effective way the City could provide additional options for housing. One (1) being the most effective and 5 being the least effective.

Answered: 252 Skipped: 8



	1	2	3	4	5	TOTAL	SCORE
Create less restrictive development standards for residential housing that would be developed near commercial centers (example: reduced setbacks, reduce (not eliminate) the amount of space devoted to on-site open space, etc.).	18.91% 45	23.53% 56	24.37% 58	20.17% 48	13.03% 31	238	3.15
Repurpose older or underutilized commercial centers with housing, including an opportunity for residential and commercial mixed use and live/work units.	50.83% 123	24.79% 60	17.77% 43	4.13% 10	2.48% 6	242	4.17
Promote the development of Accessory Dwelling Units (ADU) in existing residential neighborhoods.	10.59% 25	17.80% 42	27.12% 64	27.12% 64	17.37% 41	236	2.77
Integrate residential within the commercial sectors of Downtown, including residential and commercial mixed use and live/work units.	14.69% 36	28.16% 69	21.63% 53	26.12% 64	9.39% 23	245	3.13
Allow more homes in mostly residential areas.	7.00% 17	6.58% 16	7.82% 19	21.40% 52	57.20% 139	243	1.85

Q13 Is there any other feedback you'd like to share with the City of Corona as we update our General Plan Housing Element?

Answered: 106 Skipped: 154

CITY OF CORONA HOUSING ELEMENT UPDATE

Appendix A-2
Stakeholder Workshop Flyer



JOIN US FOR A VIRTUAL STAKEHOLDER WORKSHOP



The City of Corona invites you to participate in an interactive discussion regarding the City's housing needs and programs for the City's 2021-2029 Housing Element update. Please join us to learn more about the update process, strategize potential housing locations, and discuss needs and opportunities for meeting the City's housing goals (including affordable and special needs housing).

WHAT IS THE HOUSING ELEMENT?

The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community.

HOW TO REGISTER

Please join us by desktop, tablet, and phone at one or both of the following Zoom meetings (the same information will be provided at each). Meetings will be interactive and conducted online.



TAKE THE SURVEY!



You can also provide input via our survey by March 1, 2021: www.surveymonkey.com/r/2GQMSPR



Tuesday, Feb. 16 at 4 p.m.

<https://us02web.zoom.us/j/85293875221>



Wednesday, Feb. 18 at 11 a.m.

<https://us02web.zoom.us/j/84017205448>

FOR MORE INFORMATION:



Contact Joanne Coletta, Community Development Director
at Joanne.Coletta@CoronaCA.gov or (951) 736-2434.

www.CoronaCA.gov/GPUUpdate

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.

Appendix A-3 Stakeholder Workshop Invitee List

Stakeholder Consultation Matrix

Agency	Type	EMAIL	First	Last	Title	Address	City	Zip Code	Telephone
211 Community Connect	Continuum of Care	mdavis@connectriverside.org	Marie	Davis	CEO/President	2060 University Ave Ste 212	Riverside	92507	(951) 329-4706
AARP California	Services-Elderly	CAAARP@aarp.org	Nancy	McPherson	AARP California State Director				
AARP California	Services-Elderly	FBuzo@aarp.org	Fred	Buzo	Associate State Director				
Alternatives to Domestic Violence Riverside	Services-Victims of Domestic Violence	info@alternativestodv.org							
Avant-Garde Foter Family Agency	Foster Care Agency/Facility	grege@avgffa.org	Greg	Estravit	Executive Director	1655 E. Sixth Street	Corona	92879	(951) 735-5300
Building Industry Association - Riverside Chapter	Business Leader	eo@riversidebia.org	Lou	Monville	President				
C & C Development	Assisted Housing	todd@c-cdev.com	Todd	Cottle	Developer	414 E. Chapman Avenue	Orange	92866	(714) 288-7600
CA Emerging Technology Fund (CETF)	Broadband Advocates	info@cetfund.org	Raquel	Cinat	Associate VP	714 West Olympic Blvd., Ste 924	Los Angeles	90015	(310) 406-6221
California State Assembly (District Office 60)	Government - State	Brad.West@asm.ca.gov	Sabrina	Cervantes	State Representative - District 39	391 N Main Street, Suite 210	Corona	92878	(951) 371-6860
California State Senate (District Office 31)	Government - State	elizabeth.balistreri@sen.ca.gov	Richard	Roth	State Senator-District 31	3737 Main Street Suite 104	Riverside	92501	(951) 680-6750
California State University San Bernardino	Public Funded Institution	dianet@csusb.edu	Diane	Trujillo	Programs Administration	5500 University Parkway	San Bernardino	92407	(909) 537-3664
Calvary Chapel Corona	Religious								
Casa de la Villa	Assisted Housing	casadelavilla@villageinvestments.net							
City Net Homeless Services	Services-Homeless	OUTREACH@CITYNET.ORG							
City of Lake Elsinore	Government - Local	gtaylor@lake-elsinore.org							
City of Norco - Planning	Government - Local	arobles@ci.norco.ca.us							
City of Riverside	Government - Local	mtaylor@riversideca.gov							
Community Connect Riverside County	Continuum of Care	info@connectriverside.org							
Congregation Beth Shalom Corona	Religious	info@cbsofcorona.org							
Connections Church	Religious	office@connectcorona.com							
Corona Chamber of Commerce	Business Leader	bobby@mychamber.org	Bobby	Spiegel	CEO/President	904 East 6th Street	Corona	92879	(951) 737-3350
Corona De Oro & Corona Del Rey		bvasquez@nationalcore.org							
Corona Department of Water and Power	Assisted Housing	aanaya@nationalcore.org							
Corona Friends Church	Water District/Agency	Katie.Hockett@CoronaCa.gov	Kaite	Hockett	Assistant General Manager	400 S Vicentia Avenue	Corona	92882	(951) 279-3601
Corona Homeless Coordinator	Religious	info@coronafriendschurch.org							
Corona Life Services	Services-Homeless	Karen.Roper@CoronaCA.gov							
Corona Norco - YMCA	Services-Health	bbrown@coronalife.org	Buzz	Brown	Executive Director	523 N Main Street	Corona	92880	(951) 272-6138
Corona Norco Interfaith Assoc	Services-Children	gomez@ymcacornor.org	Lorena	Gomez	Associate Exec. Dir.	1331 River Road	Corona	92880	(951) 736-1415
Corona Norco Rescue Mission	Religious	cninterfaithassoc@gmail.com							
Corona Norco Unified School District	Services-Homeless	rod.williams@rescuemission.org	Rod	Williams	Manager	420 Harrison Street	Corona	92882	(951) 493-2091
Corona Norco- United Way	Services-Education	sbuenrostro@cnsud.k12.ca.us	Sam	Buenrostro	Superintendent	2820 Clark Avenue	Norco	92860	(951) 736-5015
Corona Police Department	Services-Victims of Domestic Violence	alia.rodriguez@cnnitedway.org	Ali	Rodriguez	Executive Director	815 W. Sixth Street Suite 200-205	Corona	92882	(951) 736-0620
Corona Regional Medical Center	Government - Local	Police.Admin@coronaca.gov							
Corona Regional Medical Center	Health Agency	linda.pearson@uhsinc.com	Linda	Pearson	Director of Marketing	800 South Main Street	Corona	92882	(951) 737-4343
Behavioral Health Services									
Corona Seventh Day Adventist Church	Mental Health Agency/Facility	isabel.torres@uhfinc.com	Isabel	Torres	Program Assistant	730 Magnolia Avenue	Corona	92879	(951) 736-7208
Corona United Methodist Church	Religious	taber.gary@sbcglobal.net							
Council on Aging	Religious	coronaumc@gmail.com							
County of Riverside Department of Public Social Services - Administrative Department CPA	Services-Elderly	landerson@coasc.org	Libby	Anderson	Director Ombudsman	2 Executive Circle, Suite 175	Irvine	92614	(714) 479-0107
County of Riverside Transportation and Land Management Agency									
County of Riverside Veterans' Services	Child Welfare Agency	chdouglar@rivco.org	Charity	Douglas	Deputy Director in Charge	4060 County Circle Drive	Riverside	92503	(951) 358-3003
Covenant Life Christian Fellowship	Public Land Agency	jcaballe@rivco.org	Jorge	Caballero	Regional Office Manager	4080 Lemon Street 9th Floor	Riverside	92505	(951) 955-4777
Crossroads Church	Services - Veterans	jkadnerson@rivco.org	James	Kelly	Assistant Director				
Fair Housing Council of Riverside	Religious	covenantlifecf@gmail.com							
Faith Fellowship Corona	Religious	debbie@crossroadschurch.com							
Grace Baptist Church	Services-Fair Housing	rosemayes@fairhousing.net	Rose	Mayes	Executive Director	P.O. Box 1068	Riverside	92501	(951) 682-6581
Greater Corona Hispanic Chamber of Commerce	Religious	faith@faithfellowshipcorona.org							
Habitat For Humanity	Religious	gbc2781@gmail.com							
Housing Authority of Riverside County	Business Leader	info@gchcc.com							
Inland Empire Women's Business Center	Services-Housing	kmichalak@habitatriverside.org	Kathy	Michalak	Executive Director	2180 Iowa Avenue	Riverside	92507	(951) 787-6754
Inland Regional Center	PHA	chui@rivco.org	Cindy	Hui	Principal Dev. Spec.	5555 Arlington Avenue	Riverside	92504	(951) 343-5428
Inland Vineyard Church	Services-Employment	mskiljan@iewbc.org	Michelle	Skiljan	Executive Director	550 University Parkway	San Bernardino	92407	(909) 322-3445
Inspire	Services-Disabilities	community@inlandrc.org							
Jamboree Housing Corp	Religious	office@inlandvineyard.org							
Living Truth Christian Fellowship Corona	Services - Unaccompanied Youth	kristi@inspirelifefskills.org	Kristi	Perez	Founder/Director	2279 Eagle Glen Pkwy #112-131	Corona	92883	(951) 316-0011
Local Initiatives Support Corporation	Services-Housing	info@jamboreehousing.com							
	Assisted Housing	MCarroll@lisc.org	Michael	Carroll					

Mary Erickson Community Housing	Assisted Housing	info@maryerickson.org											
Neighborhood Housing Services Inland Empire	Services-Housing	info@nhsie.org											
New Day Christian Fellowship	Religious	admin@newdaycorona.org											
New Hope Family Worship Corona	Religious	pastorron.rk@gmail.com											
Northpoint Evangelical Free Church	Religious	mbalga@northpointcorona.org											
Peace Lutheran Church	Religious	peacelutheran@corona@gmail.com											
Peppermint Ridge	Services-Disabilities	dmccarns@peppermintridge.org	Danette	McCarns	Executive Director	825 Magnolia Ave	Corona	92879	(951) 273-7329				
Presence of the Lord Christian Church	Religious	hevvyrevy@pacbell.net											
Renaissance Christian Church	Religious	info@renaissance-church.com											
Riv County Emergency Management Dept.	Emergency Management Agency	crich@rivco.org	Christina	Rich	Secretary	4210 Riverwalk Parkway Suite 300	Riverside	92505	(951) 358-7100				
Riv. University Health System Public Health	Services-HIV/AIDS	swalton@ruhealth.org	Sheila	Walton	Secretary HIV/STD	P.O.BOX 7600	Riverside	92513	(951) 358-5307				
River Run Senior Apartment	Services-Housing	Valerie.Mixon@Steadfastliving.com											
Riverside County Flood Control and													
Water Conservation District	Floodplain Management Agency	wmcornel@rivco.org	Micheal	Cornelius	Engineer Tech II	1995 Market Street	Riverside	92501	(951) 955-0621				
Riverside County Board of Supervisors	Government - Local	district2@rivco.org	Karen	Spiegel	Supervisor, 2nd District	400 Lemon Street 5th Floor	Riverside	92502	(951) 955-1020				
Riverside County Department of Mental Health	Services-Housing	MHWEB@ruhealth.org											
Riverside County Department of Public Social Services	Continuum of Care	jortego@rivco.org	James	Ortego	Deputy Director	10281 Kidd Street	Riverside	92506	(951) 358-3003				
Riverside County Homelessness Solutions	Services-Homeless	mdavis@riversideca.gov											
Riverside County Housing Authority	Assisted Housing	housing@riversideca.gov											
Riverside County Office of Aging	Services-Elderly	rcaging@rivco.org											
Riverside County Planning Department	Government - Local	planning@rivco.org											
Riverside County Supervisor District 1	Government - Local	district1@rivco.org											
Riverside Economic Development Agency - Housing Division	Services-Housing												
Riverside Housing Development Corporation	Assisted Housing	website@rhdcca.org											
Riverside Transit Authority	Government - Regional	kwarsinski@riversidetransit.com	Kristin	Warsinski	Director of Planning								
		cartagena@scag.ca.gov	Arnold	San Miguel	Regional Affairs Officer								
		sanmiguel@scag.ca.gov	Javiera	Cartagena	Reg. Affairs Manager	1170 W. 3rd Street, Suite 140	San Bernardino	92410	(213) 236-1925				
Southern California Council of Governments (SCAG)	Government - Regional	communityimpact@spectrum.com											
Spectrum	Broadband ISP	staff@tiger.org											
The Inland Gateway Assoc of Realtors	Business Leader	corona@solidlives.com											
The Rock Corona	Religious	chris@thomasmillermortuary.com	Chris	Miller	CEO/President	904 East 6th Street	Corona	92879	(951) 737-3350				
Thomas Miller Mortuary	Business Leader	Marilou.Flores@hud.gov	Marilou	Flores	CPD Representative	300 N. Los Angeles St., Ste 4054	Los Angeles	90012	(213) 534-2574				
U.S. Department of Housing and Urban Development	Government - Federal	trabucoRD@fs.fed.us	Darrell	Vance	District Ranger	1147 E Sixth Street	Corona	92879	(951) 736-1811				
USDA Forest Services	Public Land Agency	Ashley.Arias@CoronaCa.gov	Ashley	Arias	Library Assistant	650 S Main Street	Corona	92882	(951) 279-3746				
Vets Connect Resource Center	Services - Homeless Veterans	klynnm2014@gmail.com	Lynn	Mitchell	Officer	1101 South Main Street	Corona	92882	(815) 954-6706				
Womens Improvement Club	Services-Education												
WRCOG	Government - Regional	cgray@wrcog.us											

CITY OF CORONA HOUSING ELEMENT UPDATE

Appendix A-4
Community Meeting Flyers



JOIN US FOR AN INFORMATIONAL COMMUNITY MEETING

The City of Corona invites you to attend a community meeting on the City's Housing Element Update for Planning Period 2021–2029. Please join us to learn more about the update process, potential housing locations, and opportunities for meeting the City's housing goals (including affordable and special needs housing).

WHAT IS THE HOUSING ELEMENT?

The City of Corona is currently processing an update to its General Plan Housing Element. The City's Housing Element Update is done every 8 years in accordance with State law. The city last updated its Housing Element in 2013. The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community.

For more information please visit:

www.CoronaCA.gov/GPUUpdate

JOIN US ON MAY 27, 2021 AT 6 P.M.

The meeting will be hybrid in-person and online. Please join us in person at the Corona City Hall:

Council Chambers
400 South Vicentia Avenue
Corona, CA 92882

OR by desktop, tablet, and phone
at the link below
(no registration needed).

[https://coronaca.gov.
zoom.us/j/89030052330](https://coronaca.gov.zoom.us/j/89030052330)

FOR MORE INFORMATION:



Contact Joanne Coletta, Community Development Director
at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.

ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA DE LA CIUDAD DE CORONA



ÚNASE A NOSOTROS PARA UNA REUNIÓN INFORMATIVA

La Ciudad de Corona le invita a asistir a una reunión comunitaria sobre la Actualización del Elemento de Vivienda de la Ciudad para el Período de planificación 2021-2029. Únase a nosotros para obtener más información sobre el proceso de actualización, posibles viviendas ubicaciones y oportunidades para cumplir con los objetivos de vivienda de la Ciudad (incluyendo las viviendas con necesidades especiales).

¿QUÉ ES EL ELEMENTO DE VIVIENDA?

La Ciudad de Corona está procesando una actualización de su Elemento Vivienda dentro del Plan General de la Ciudad. La Actualización del Elemento de Vivienda se realiza cada 8 años de acuerdo con la ley estatal. La Ciudad actualizó por última vez su Elemento de Vivienda en 2013. El Elemento de Vivienda establece metas, políticas y medidas de implementación para orientar el desarrollo de la vivienda en la ciudad de Corona; lo cual está incluido en el Plan General y describe los planes para satisfacer las necesidades de vivienda actuales y proyectadas para todos los segmentos económicos de la comunidad.

Para mayor información por favor visite:

www.CoronaCA.gov/GPUUpdate

ÚNASE A NOSOTROS EL 27 DE MAYO DEL 2021 A LAS 6 P.M.

La reunión será híbrida en persona y en línea. Por favor únase a nosotros en persona en el Ayuntamiento de Corona:

Council Chambers
400 South Vicentia Avenue
Corona, CA 92882

o por computadora, tableta y teléfono usando el enlace abajo (no es necesario registrarse).

<https://coronaca.gov>
zoom.us/j/89030052330

PARA MAS INFORMACION:



Contacte a Joanne Coletta, Directora de Desarrollo Comunitario al (951) 817-5709 o envíe un correo electronico a CoronaHEUpdate@CoronaCA.gov

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.



Appendix A-5
Letters to Property Owners

COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CITY OF CORONA
General Plan Housing Element Update for Years 2021-2029

May 18, 2021

XXXX
XXXX
XXXX

RE: Housing Opportunity Sites Identified for the City of Corona Housing Element Update for Planning Period 2021-2029

The City of Corona is currently processing an update to its General Plan Housing Element. The city's Housing Element Update is done every 8 years in accordance with state law. The city last updated its Housing Element in 2013.

The purpose of the Housing Element Update is to identify the city's existing and projected housing need and to plan for housing that would accommodate all economic segments of the population. As part of the planning process for the next 8 years starting in October 2021 and through October 2029, the city has identified properties that could potentially allow a property owner to add housing units. In some cases, if the current zoning of the property does not allow for residential units, the city has identified the property to receive a change of zone (rezone) from the city's current zoning designation or an affordable housing overlay zone. An affordable housing overlay zone is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed by the property owner in the future.

You are receiving this letter because your property has been identified as a site that could accommodate residential units. Therefore, your property has been identified as a site to be rezoned or to have an affordable housing overlay zone.

The below table describes the current zoning and General Plan of your property and the proposed zoning and General Plan.

Property Location	Area Affected	Current General Plan	Current Zoning	Existing Use	Proposed Zoning	Proposed General Plan
Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	xxxx
(AHO-2) = Affordable Housing Overlay Zone: 36-60 dwelling units/acre						

Although your property has been identified to be rezoned or have an affordable housing overlay zone, it does not require the property owner to construct housing units. The zoning simply allows the property owner the opportunity to add residential units. To learn more about the city's Housing Element Update, information can be found on the city's website at www.CoronaCA.gov/GPUpdate. The website will also announce future public meetings on the Housing Element Update. Additionally, an informational sheet on the Housing Element Update has been included with this letter.

A community meeting on the Housing Element Update is scheduled on May 27, 2021 at 6:00 p.m. at Corona City Hall.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

You can also contact Community Development Director Joanne Coletta at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov if you have questions.

Sincerely,

Joanne Coletta

Joanne Coletta
Community Development Director

Joanne.Coletta@CoronaCA.gov

Attachment: Housing Element Update Informational Sheet



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CITY OF CORONA
General Plan Housing Element Update for Years 2021-2029

May 18, 2021

Xxxx
Xxxx
Xxxx

RE: Housing Opportunity Sites Identified for the City of Corona Housing Element Update for Planning Period 2021-2029

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The purpose of the Housing Element Update is to identify the city's existing and projected housing need and to plan for housing that would accommodate all economic segments of the population. As part of the planning process for the next 8 years starting in October 2021 and through October 2029, the city has identified properties that could potentially allow a property owner to add housing units to existing residential properties. In some cases, if the current zoning of the property does not allow for additional residential units, the city has identified the property to receive a change of zone (rezone) from the city's current zoning designation.

You are receiving this letter because your property has been identified as a site that could allow additional residential units. Therefore, your property has been identified as a site to be rezoned to allow more than one residential unit on your property.

The below table describes the current zoning and General Plan of your property and the proposed zoning and General Plan.

Property Location	Area Affected	Current General Plan	Current Zoning	Existing Use	Proposed Zoning	Proposed General Plan
Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	xxxx

Although your property has been identified to be rezoned, it does not require the property owner to construct additional housing units. The zoning simply allows the property owner the opportunity to add residential units. To learn more about the city's Housing Element Update, information can be found on the city's website at www.CoronaCA.gov/GPUUpdate. The website will also announce future public meetings on the Housing Element Update. Additionally, an informational sheet on the Housing Element Update has been included with this letter.

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Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

You can also contact Community Development Director Joanne Coletta at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov if you have questions.

Sincerely,

Joanne Coletta

Joanne Coletta
Community Development Director

Joanne.Coletta@CoronaCA.gov

Attachment: Housing Element Update Informational Sheet



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CIUDAD DE CORONA
Actualización del Elemento de Vivienda del Plan General Para Los Años 2021-2029

XXXXXXX
XXXXXXX
XXXXXXX

RE: Sitios de oportunidad de vivienda identificados para la Actualización del Elemento de Vivienda de la ciudad de Corona para el período de planificación 2021-2029

La Ciudad de Corona actualmente está procesando una actualización de su Elemento de Vivienda del Plan General. La actualización del Elemento de Vivienda de la ciudad se realiza cada 8 años de acuerdo con la ley estatal. La última vez que la ciudad actualizó su Elemento de Vivienda fue en el año 2013.

El propósito de la Actualización del Elemento de Vivienda es para identificar la necesidad de vivienda actual y proyectada en la ciudad y planificar viviendas que se adapten a todos los segmentos económicos de la población. Como parte del proceso de planificación para los próximos 8 años a partir de Octubre del 2021 y hasta Octubre del 2029, la ciudad ha identificado propiedades que potencialmente podrían permitir que un propietario agregue unidades de vivienda. En algunos casos, si la zonificación actual de la propiedad no permite unidades residenciales, la ciudad ha identificado la propiedad para recibir un cambio de zona (rezonificación) de la zonificación actual de la ciudad o una zona de superposición de viviendas asequibles. Una zona de superposición de viviendas asequible es una herramienta de zonificación que permite a una ciudad modificar la zonificación actual para permitir o requerir ciertos tipos de desarrollos residencial es en una propiedad sin cambiar el distrito de zonificación subyacente. Esto significa que una parcela que se utiliza actualmente para un uso no residencial, como comercial o industrial y zonificación como tal, puede seguir utilizándose de acuerdo con la zonificación subyacente. Sin embargo, si el propietario decide remodelar el sitio con residencial, se le permitirá que la propiedad tenga uso residencial de acuerdo con las disposiciones establecidas por la superposición de viviendas asequibles. La superposición de viviendas asequibles demuestra dónde se pueden planificar viviendas adicionales si el uso actual de la propiedad es reutilizado por el propietario en el futuro.

Usted está recibiendo esta carta porque su propiedad ha sido identificada como un sitio que podría

acomodar unidades residenciales. Por lo tanto, su propiedad ha sido identificada como un sitio para ser rezonificado o para tener una zona de superposición de viviendas asequibles.

En grafico siguiente describe la zonificación actual y el Plan General de su propiedad y la propuesta de zonificación y Plan General.

Ubicacion de la Propiedad	Area Afectada	Plan General Actual	Zonificacion Actual	Uso Existente	Zonificacion Propuesta	Propuesta de Plan General

Aunque su propiedad ha sido identificada para ser rezonificada o tener una zona de superposición de viviendas asequibles, no requiere que el propietario construya unidades de vivienda. La zonificación simplemente permite al propietario la oportunidad de agregar unidades residenciales. Para obtener más información sobre la Actualización del Elemento de Vivienda de la ciudad, la información se puede encontrar en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate. El sitio web también anunciará futuras reuniones públicas sobre la Actualización del Elemento de Vivienda. Con esta carta se le ha incluido una hoja informativa sobre la Actualización del Elemento de Vivienda.

Una reunión comunitaria sobre la Actualización del Elemento de Vivienda está programada para el 27 de Mayo de 2021 a las 6:00 p.m. en el Ayuntamiento de Corona.

Ayuntamiento de Corona
Cámaras del Consejo
Avenida 400 S. Vicentia
Corona, CA 92882

También puede comunicarse con la Directora de Desarrollo Comunitario Joanne Coletta al (951) 817-5709 o enviar un correo electrónico a CoronaHEUpdate@CoronaCA.gov si tiene preguntas.

Atentamente,

Joanne Coletta

Joanne Coletta
Directora de Desarrollo Comunitario

Joanne.Coletta@CoronaCA.gov

Adjunto: Hoja informativa de Actualizacion del Elemento de Vivienda



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CIUDAD DE CORONA
Actualización del Elemento de Vivienda del Plan General Para Los Años 2021-2029

XXXXXXX
XXXXXXX
XXXXXXX

RE: Sitios de oportunidad de vivienda identificados para la Actualización del Elemento de Vivienda de la ciudad de Corona para el período de planificación 2021-2029

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El propósito de la Actualización del Elemento de Vivienda es para identificar la necesidad de vivienda actual y proyectada en la ciudad y planificar viviendas que se adapten a todos los segmentos económicos de la población. Como parte del proceso de planificación para los próximos 8 años a partir de Octubre del 2021 y hasta Octubre del 2029, la ciudad ha identificado propiedades que potencialmente podrían permitir que un propietario agregue unidades de vivienda a las propiedades residenciales existentes. En algunos casos, si la zonificación actual de la propiedad no permite unidades residenciales adicionales, la ciudad ha identificado que la propiedad recibirá un cambio de zona (rezonificación) de la zonificación actual de la ciudad.

Usted está recibiendo esta carta porque su propiedad ha sido identificada como un sitio que podría permitir unidades residenciales adicionales. Por lo tanto, su propiedad ha sido identificada como un sitio para ser rezonificado para permitir más de una unidad residencial en su propiedad.

En grafico siguiente se describe la zonificación actual y el Plan General de su propiedad y la propuesta de zonificación y plan general.

Ubicacion de la Propiedad	Area Afectada	Plant General Actual	Zonificacion Actual	Uso Existente	Zonificacion Propuesta	Propuesta de Plan General

Aunque su propiedad ha sido identificada para ser rezonificada, no requiere que el propietario construya unidades de vivienda adicionales. La zonificación simplemente permite al propietario la oportunidad de agregar unidades residenciales. Para obtener más información sobre la actualización del Elemento de Vivienda de la ciudad, la información se puede encontrar en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate. El sitio web también anunciará futuras reuniones públicas sobre la Actualización del Elemento de Vivienda. Con esta carta se le ha incluido una hoja informativa sobre la Actualización del Elemento de Vivienda.

Una reunión comunitaria sobre la Actualización del Elemento de Vivienda está programada para el 27 de Mayo de 2021 a las 6:00 p.m. en el Ayuntamiento de Corona.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

También puede comunicarse con la Directora de Desarrollo Comunitario Joanne Coletta al (951) 817-5709 o enviar un correo electrónico a CoronaHEUpdate@CoronaCA.gov si tiene preguntas.

Atentamente,

Joanne Coletta

Joanne Coletta
Directora de Desarrollo Comunitario
Joanne.Coletta@CoronaCA.gov

Adjunto: Hoja informativa de Actualización del Elemento de Vivienda

Appendix A-6 Property Owners Mailing Labels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
2550 S Main St. Corona, CA 92882 APN 113310005	4.00	MDR (Medium Density Residential; 6-15 dwelling units/acre)	A (Agriculture)	Institutional use and Vacant with a FAR of 0.2	R2 (Low Density Multiple Family Residential)	MDR	CA Assoc. of 7 th Day Adventists PO Box 79990 Riverside, CA 92513
211 S Joy St. Corona, CA 92879 APN 117122002	0.20	MU 1 (Mixed Use Commercial & Residential)	TC (Transitional Commercial)	Vacant	TC with (AHO- 1) overlay	MU1	RCTC Right-of-Way Division 4080 Lemon Street, 3 rd Fl Riverside, CA 92502
904 S Ramona Avenue Corona, CA 92879 APN 117238005	0.17	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 570 Central Avenue, J2 Lake Elsinore, CA 92530
912 S Ramona Ave. Corona, CA 92879 APN 117238012	0.20	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
901 S Ramona Ave. Corona, CA 92879 APN 117238006	0.21	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
615 S Sherman Ave. Corona, CA 92882 APN 110040023	0.39	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 1136 Hummingbird Lane Corona, CA 92882
510 W 6th St Corona, CA 92882 APN 117172002	0.53	MU1 (Mixed Use Commercial & Residential)	TC (Transitional Commercial)	Commercial use with a FAR of 0.5	TC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 3066 Greenview Pl Fullerton, CA 92835
1065 Railroad St. Corona, CA 92882 APN 118210041	1.86	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Calvary Chapel Living 1065 Railroad St. Corona, CA 92882
777 S Temescal St. Corona, CA 92879 APN 107050034	1.80	GC (General Commercial)	C2 (Limited Commercial)	Vacant	MP (Mobile Home Park)	HDR (High Density Residential; 15-36 dwelling units/acre)	Corona La Linda 320 N. Park Vista Anaheim, CA 92806
820 S Victoria Ave. Corona, CA 92879 APN 117232002	0.17	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Ray Morelli or Current Owner PO Box 6336 Corona, CA 92878

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
822 S Victoria Ave. Corona, CA 92879 APN 117232001	0.18	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Same as above
801 S Victoria Ave. Corona, CA 92879 APN 117233008	0.17	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Luis Galvan or Current Owner 15311 Van Buren, #1 Midway, CA 92655
724 Barth St. Corona, CA 92879 APN 111042031	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Blanca Camacho or Current Owner 724 Barth St. Corona, CA 92879
730 Barth St. Corona, CA 92879 APN 111042024	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Manuel Leon or Current Owner 730 Barth St. Corona, CA 92879
802 Barth St. Corona, CA 92879 APN 111042025	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Albert Rodriguez or Current Owner 802 Barth St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
808 Barth St. Corona, CA 92879 APN 111042026	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Jim Schaffer or Current Owner 19121 Bikini Lane Huntington Bch, CA 92646
814 Barth St. Corona, CA 92879 APN 111042027	0.52	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Carlos Morales or Current Owner 814 Barth St. Corona, CA 92879
813 Ford St. Corona, CA 92879 APN 111042013	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Leopold Garcia Vaca or Current Owner 813 Ford St. Corona, CA 92879
807 Ford St. Corona, CA 92879 APN 111042014	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	April Wetmur or Current Owner 807 Ford St. Corona, CA 92879
801 Ford St. Corona, CA 92879 APN 111042015	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Parnatda Warasopun Prucha or Current Owner 801 Ford St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
779 Ford St. Corona, CA 92879 APN 111042016	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Garrison House or Current Owner 825 Magnolia Avenue Corona, CA 92879
716 Barth St. Corona, CA 92879 APN 111042021	0.32	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Lawrence Holmes or Current Owner 716 Barth St. Corona, CA 92879
514 W 6th St. Corona, CA 92882 APN 117172001	0.54	MU1 (Mixed Use Commercial & Residential)	TC	Vacant	TC with (AHO-1) overlay	MU1	City of Corona 400 S. Vicentia Avenue Corona, CA 92882
801 Quarry St. Corona, CA 92879 APN 117281007	0.25	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Market OC or Current Owner 16722 Have Avenue Irvine, CA 92606
805 Quarry St. Corona, CA 92879 APN 117281008	0.24	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Damin Vazquez or Current Owner 805 Quarry St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
901 Quarry St. Corona, CA 92879 APN 117281010	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Manuel Escobar or Current Owner 901 Quarry St. Corona, CA 92879
907 Quarry St. Corona, CA 92879 APN 117281012	0.21	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Lopez or Current Owner 907 Quarry St. Corona, CA 92879
911 Quarry St. Corona, CA 92879 APN 117281013	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Saucedo or Current Owner 911 Quarry St. Corona, CA 92879
915 Quarry St. Corona, CA 92879 APN 117281014	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	David Evans 12586 Bannock Ct. Apple Valley, CA 92308
919 Quarry St. Corona, CA 92879 APN 117281015	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Albert Castillo or Current Owner 919 Quarry St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
923 Quarry St. Corona, CA 92879 APN 117281016	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Frank Bachetti or Current Owner 3316 Belgian Drive Norco, CA 92860
1001 Quarry St. Corona, CA 92879 APN 117282005	0.84	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Frank Bachetti or Current Owner 1005 Quarry Street Corona, CA 92879
1019 Quarry St. Corona, CA 92879 APN 117290019	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Jensen Chen or Current Owner 1356 Calbourne Drive Diamond Bar, CA 91789
1023 Quarry St. Corona, CA 92879 APN 117290020	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Vivanco 1023 Quarry St. Corona, CA 92879
1025 Quarry St. Corona, CA 92879 APN 117290021	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
904 S Ramona Ave. Corona, CA 92882 APN 117238004	0.17	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Capital Finance 570 Central Avenue, J2 Lake Elsinore, CA 92530
S Main St. Corona, CA 92882 APN 117238007	0.20	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
915 S Main St. Corona, CA 92882 APN 117238016	0.16	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
Railroad St. Corona, CA 92882 APN 117042010	0.35	LI (Light Industry)	M1 (Light Manufacturing)	Vacant	M1 with (AHO-1) overlay	MU2 (Mixed Use Commercial & Industrial)	Eddie Ledesma or Current Owner 919 Ford Street Corona, CA 92879
S Merrill St. Corona, CA 92882 APN 117133004	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Recreational use (Basketball Court)	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Diocese of SB Education & Welfare 1201 E. Highland Avenue San Bernardino, CA 92404
Ford St. Corona, CA 92879	0.29	LDR (Low Density Residential;	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential;	Martin Armas or Current Resident 723 Ford Street

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 111042019		3-6 dwelling units/acre)				6-15 dwelling units/acre)	Corona, CA 92879
6th St. Corona, CA 92882 APN 110020018	0.22	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Corona Sun Square 5300 Beach Blvd. # 110 505 Buena Park, CA 90621
Quarry St. Corona, CA 92879 APN 117281009	0.24	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Antonio Perez 787 Via Felipe Corona, CA 92882
Quarry St. Corona, CA 92879 APN 117281011	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Leo Serrato 814 Quarry Street Corona, CA 92879
1220 W Ontario Ave. Corona, CA 92880 APN 113020015	2.00	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-9.6 (Single Family Residential)	Institutional use and Vacant with a FAR of 0.2	R3 (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Evangelical Friends Church Southwest 1220 W Ontario Ave. Corona, CA 92880
905 W 6th St. Corona, CA 92882 APN 118283011	1.50	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	Parking lot	CS with (AHO-1) overlay	MU1	City of Corona

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
901 W 6th St. Corona, CA 92882 APN 118283026	0.16	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	Commercial use with a FAR of 0.25	CS with (AHO-1) overlay	MU1	James Favreau or Current Owner 901 W 6th St. Corona, CA 92882
507 S Vicentia Ave. Corona, CA 92882 APN 117340022	0.40	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	City owned building with a FAR of 0.4 (Settlement House)	CS with (AHO-1) overlay	MU1	City of Corona
511 S Vicentia Ave. Corona, CA 92882 APN 117340023	0.32	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	City owned building with a FAR of 0.2 (Residence)	CS with (AHO-1) overlay	MU1	City of Corona
852 W 6th St. Corona, CA 92882 APN 110101012	0.35	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.25	GC with (AHO-1) overlay	MU1	Nariman Rahmon 1110 Portofino Ct, 103 Corona, CA 92881
844 W 6th St. Corona, CA 92882 APN 110101011	0.20	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.2	GC with (AHO-1) overlay	MU1	Frank Tetley PO Box 607 Corona, CA 92878
836 W 6th St. Corona, CA 92882	0.38	MU1 (Mixed Use Commercial)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO-1) overlay	MU1	Martha Tetley PO Box 607 Corona, CA 92878

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 110101010		& Residential)					
832 W 6th St. Corona, CA 92882 APN 110101009	0.15	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.2	GC with (AHO- 1) overlay	MU1	Roy Medina of Current Owner 832 W 6th St. Corona, CA 92882
828 W 6th St. Corona, CA 92882 APN 110101027	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO- 1) overlay	MU1	Salvi Rekhaven 9 Franciscan Place Pomona, CA 91766
826 W 6th St. Corona, CA 92882 APN 110101007	0.11	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.6	GC with (AHO- 1) overlay	MU1	Juan Rivera or Current Owner 826 W 6th St. Corona, CA 92882
820 W 6th St. Corona, CA 92882 APN 110101006	0.21	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO- 1) overlay	MU1	Same as above
816 W 6th St. Corona, CA 92882 APN 110101005	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.5	GC with (AHO- 1) overlay	MU1	Robert Blandi 39665 N. General Kearny Rd. Murrieta, CA 92563

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
812 W 6th St. Corona, CA 92882 APN 110101004	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1	Fidel Sanchez 615 S. Vicentia Avenue Corona, CA 92882
808 W 6th St. Corona, CA 92882 APN 110101003	0.15	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.25	GC with (AHO-1) overlay	MU1	Same as above
802 W 6th St. Corona, CA 92882 APN 110101001	0.10	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.7	GC with (AHO-1) overlay	MU1	William Harty 801 Via Concepcion Riverside, CA 92506
612 S Vicentia Corona, CA 92882 APN 110101002	0.10	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.6	GC with (AHO-1) overlay	MU1	Javier Arreguin or Current Owner 612 S Vicentia Corona, CA 92882
229 Grand Blvd. Corona, CA 92882 APN 117091022	1.10	GC (General Commercial)	CS (Community Services)	Commercial use and storage with a FAR of 0.25	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Joe Sharifi 20336 San Gabriel Valley Walnut, CA 91789
1341 W 6th St. Corona, CA 92882	0.92	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial)	Oscar Traders Inc 1655 W. 6 th Street, 102

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
118130013						& Residential)	Corona, CA 92882
1335 W 6th St. Corona, CA 92882 APN 118130014	1.02	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
1338 W 6th St. Corona, CA 92882 APN 110030004	0.24	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	David Bishop 2019 Sage Avenue Corona, CA 92882
1334 W 6th St. Corona, CA 92882 APN 110030003	0.48	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	SJF Realty PO Box 1806 Corona, CA 92878
1330 W 6th St. Corona, CA 92882 APN 110030008	0.28	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.2	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Michael Bradley PO Box 408 Wellington, NV 89444
1865 W 6th St. Corona, CA 92882 APN 102270015	0.77	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.25	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Wurtman Prop. PO Box 81782 Bakersfield, CA 93380

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1180 W 6th St. Corona, CA 92882 APN 110040039	0.69	GC (General Commercial)	C (Commercial)	Commercial use with a FAR of 0.5	C with (AHO-1) overlay	MU1(Mixed Use Commercial & Residential)	YNS Shopping Plaza 11799 Sebastian Way Rancho Cucamonga, CA 91730
1210 W 6th St. Corona, CA 92882 APN 110040042	1.46	GC (General Commercial)	C (Commercial)	Commercial use with a FAR of 0.5	C with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
1201 E 6th St. Corona, CA 92882 APN 115690013	2.96	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Commercial use with a FAR of 0.25	BP with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Pape Prop Inc. 355 Good Pasture Island Eugene, OR 97401
1354 E 6th St. Corona, CA 92882 APN 115090003	3.00	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Commercial use with a FAR of 0.1	M1 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Roland Dopozo 2867 Polk Anaheim, CA 92801
511 S Joy St. Corona, CA 91719 APN 117165020	0.52	MU1 (Mixed Use Commercial & Residential)	RO (Residential Office)	Commercial use with a FAR of 0.5	MFR (Multiple Family Residential)	MU1	Pacific Bell 16775 Von Karman Ave., #130 Irvine, CA 92606
1410 E 6th St Corona, CA 92879 APN 107020002	3.82	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Mobile home park	HDR (High Density Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	La Corona Mobile Home Park 3265 Highland Drive Carlsbad, CA 92008

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1108 E 5th St Corona, CA 92879 APN 117332005	0.5	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Janet Walsh 14672 Oak Road Sylmar, CA 91342
6th St Corona, CA 92879 117332006	0.5	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
1111 E 6th St Corona, CA 92879 APN 117332004	0.67	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
5th Street Corona, CA 92879 APN 117332003	0.32	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
6th St Corona, CA 92879 APN 117332007	0.17	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
6th St Corona, CA 92879	0.17	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Commercial use and parking lot with a FAR of 0.1	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117332008						dwelling units/acre)	
Circle City Dr. Corona, CA 92879 APN 111290040	0.44	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0	M1 with (AHO- 1) overlay	MU2	Don Tos Inv Partners PO Box 711 Anaheim, CA 92815
Circle City Dr. Corona, CA 92879 APN 111290039	1.71	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Nonvacant	M1 with (AHO- 1) overlay	MU2	Same as above
Circle City Dr. Corona, CA 92879 APN 111290021	1.08	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Carlos & Emma Alvarez Family, LTD Partner 27999 Jefferson Avenue Temecula, CA 92590
Circle City Dr. Corona, CA 92879 APN 111290022	0.77	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Same as above
Circle City Dr. Corona, CA 92879 APN 111290023	0.47	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E 6th St. Corona, CA 92879 APN 115090024	2.66	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0 (storage)	M1 with (AHO-1) overlay	MU2	Jim Fletcher 2230 E. Orangethorpe Fullerton, CA 92831
E 6th St. Corona, CA 92879 APN 115090021	1.17	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0 (storage)	M1 with (AHO-1) overlay	MU2	Same as above
E 5th St. Corona, CA 92879 APN 117331006	0.74	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Industrial use with a FAR of 0.1	BP with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	James Patterson PO Box 204 Brea, CA 92822
Peasant View Ave. 1353 W. 6 th Street Corona, CA 92882 APN 118130031	0.49	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Oscar Traders 1655 W. 6 th Street #102 Corona, CA 92882
W 6th St. Corona, CA 92882	0.43	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial)	Mark Sayegh 4165 Robby Circle Corona, CA 92881

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 110030030						& Residential)	
Yorba St. Corona, CA 92882 APN 102290010	0.17	GC (General Commercial)	C3 (General Commercial)	Industrial use with a FAR of 0	C3 with (AHO-2) overlay	MU1 (Mixed Use Commercial & Residential)	Diversified Products International Inc. 1655 W. Sixth #111 Corona, CA 92882
W 6th St. Corona, CA 92879 APN 110040041	1.16	GC (General Commercial)	C (Commercial)	Commercial use and parking lot with a FAR of 0.25	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	YNS Shopping Plaza 11799 Sebastian Way #105 Rancho Cucamonga, CA 91730
6th St. Corona, CA 92882 APN 118283033	0.42	MDR (Medium Density Residential; 6-15 dwelling units/acre)	MF1 (Multiple Family)	Parking lot	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	City of Corona
6th St. Corona, CA 92882 APN 110020008	0.61	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Corona Sun Square 5300 Beach Boulevard #110 505 Buena Park, CA 90621
6th St. Corona, CA 92879	0.27	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36	Toura LP 3972 Barranca Pkwy, J425 Irvine, CA 92606

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 115080001						dwelling units/acre)	
E 6th St. Corona, CA 92879 APN 117332015	0.27	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Kim Mihaeng 1133 E. 6 th Street Corona, CA 92879
E 6th St. Corona, CA 92879 117332016	0.33	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Ozkan Suleyman 1365 W. 6 th Street Corona, CA 92879
44 E Grand Blvd. Corona, CA 92882 APN 117080003	0.18	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Carlos Frausto or Current Owner 44 E Grand Blvd. Corona, CA 92882
116 N Victoria Ave. Corona, CA 92882 APN 117080004	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Richard Hernandez 2671 Raven Circle Corona, CA 92882
110 N Victoria Ave. Corona, CA 92882 APN 117080005	0.18	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Lupe Becerra or Current Owner 110 N Victoria Ave. Corona, CA 92882
108 N Victoria Ave.	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential;	David Becerra or Current Owner

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
Corona, CA 92882 APN 117080018						15-36 dwelling units/acre)	108 N Victoria Ave. Corona, CA 92882
115 N Victoria Ave. Corona, CA 92882 APN 117080009	0.21	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Joe Salgado 676 Green Gate Street Corona, CA 92879
111 N. Victoria Ave. Corona, CA 92882 APN 117080022	0.16	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Mary Lou Shina 6580 Glenroy Street San Diego, CA 92120
101 S Sheridan St. Corona, CA 92882 APN 117070004	0.24	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Onias Acevedo 24943 Greenbriar Ct Corona, CA 92883
103 N. Sheridan St. Corona, CA 92882 APN 117070003	0.17	GC (General Commercial)	GB (Gateway Business Park)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	RCTC property??
63 W Grand Blvd. Corona, CA 92882	0.17	GC (General Commercial)	GB (Gateway Business Park)	Commercial use with a FAR of 0.4	MF (Multiple Family)	HDR (High Density Residential; 15-36	Ken Calvert 63 W Grand Blvd. Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117070005						dwelling units/acre)	
114 N Belle Ave. Corona, CA 92882 APN 117070006	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Monica Perez or Current Owner 114 N Belle Ave. Corona, CA 92882
110 N Belle Ave. Corona, CA 92882 APN 117070007	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Jose Morales or Current Owner 110 N Belle Ave. Corona, CA 92882
49 W Grand Blvd. Corona, CA 92882 APN 117070013	0.21	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Margarito Camberos or Current Owner 49 W Grand Blvd. Corona, CA 92882
45 W Grand Blvd. Corona, CA 92882 APN 117070014	0.14	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Abel Huribe or Current Owner 45 W Grand Blvd. Corona, CA 92882
E 8th St. Corona, CA 92882	0.16	LDR (Low Density Residential;	SF (Single Family)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36	First Congregational Church of Christ 809 Ramona Avenue

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117232006		3-6 dwelling units/acre				dwelling units/acre)	Corona, CA 92879
E 8th St. Corona, CA 92882 APN 117232005	0.18	LDR (Low Density Residential; 3-6 dwelling units/acre	SF (Single Family)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
Belle Ave APN 117070036	0.14	GC (General Commercial)	GB (Gateway Business)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Dustin Van Do 6500 E. Carnegie Ave. Anaheim, CA 92807
Belle Ave. APN 117070040	0.14	GC (General Commercial)	GB (Gateway Business)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Pravin Kumar 2519 190 th Street Redondo Bch, CA 90278
111 N. Belle Ave. APN 117070033	0.16	GC (General Commercial)	GB (Gateway Business)	Single Family Residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Belle Ave Property Holdings 819 Baghdady St. Corona, CA 92879
115 N. Belle Ave. APN 11707012	0.17	GC (General Commercial)	GB (Gateway Business)	Single Family Residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Christy Chu 10650 Dilo St. El Monte, CA 91731

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E Blaine St. 92879 APN 119311019	0.27	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311018	0.17	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Absolute Imaging Inc. 1660 Tamarron Drive Corona, CA 92833
E Blaine St. 92879 APN 119311017	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311016	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311043	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
E Blaine St. 92879 APN 119311042	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E Blaine St. 92879 APN 119311041	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
E Blaine St. 92879 APN 119311040	0.20	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
100 E Harrison St. 92879 APN 119311025	1.09	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Restaurant with a FAR of 0.2	MU with (AHO-2) overlay	MU1	S. Gilani 1260 Mountain Ave Norco, CA 92860
209 E Blaine St. 92879 APN 119311015	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.9	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
E Blaine St. 92879 APN 119311014	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
E Blaine St. 92879 APN 119311013	0.04	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.2	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
302 E Harrison St. 92879 APN 119311005	0.53	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.3	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
280 E Harrison St. 92879 APN 119311004	0.35	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.4	MU with (AHO-2) overlay	MU1	Richard Campos 2640 Macadamia Court Chino Hills, CA 91710
240 E Harrison St. 92879 APN 119311003	0.27	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
122 E Harrison St. 92879 APN 119311002	0.97	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Norma Abacherli 646 Ford Street Corona, CA 92879
E Blaine St. 92879 APN 119311040	0.20	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.1	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
S Smith Ave. 92882 APN 110020012	0.50	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	RV Storage	R3	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Betty Nicas 351 Ashwood Street Sutherlin, OR 97479
1362 W 6th St. 92882 APN 110030015	3.60	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	RV Storage	R3	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Betty Nicas 351 Ashwood Street Sutherlin, OR 97479
1553 Yorba St. 92882 APN 118050020	0.64	GC (General Commercial)	C3 (General Commercial)	Storage with a FAR of 0.2	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Carl Dreager 1553 Yorba St. Corona, CA 92882
1549 Yorba St. 92882 APN 118050019	0.43	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Marlon Dleon 1549 Yorba St. Corona, CA 92882
1545 Yorba St. 92882 APN 118050018	0.65	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Emmanuel Kurkjian 1509 Vandagriff Way Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1539 Yorba St 92882 APN 118050017	0.95	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Nectar Tatian 1539 Yorba St Corona, CA 92882
1535 W 6th St. 92882 APN 118050016	0.99	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Garo Churukian 1535 W 6th St. Corona, CA 92882
W. 6th Street 92882 APN 102290020	4.56	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882
1625 W. 6th Street 92882 APN 102290017	1.62	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.2	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882
1541 W. 6th Street 92882 APN 103280001	0.99	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1210 E 6th Street 92879 APN 115080002	0.38	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Parking lot	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
1210 E 6th Street 92879 APN 115080041	0.62	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Parking lot	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
1210 E 6th Street 92879 APN 115080012	1.82	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Commercial use and parking lot with a FAR of 0.4	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
W. 8th St 92881 APN 110040054	0.46	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
W 8th St. 92881 APN 110061005	0.88	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona
W 8th St. 92882 APN 110040010	0.20	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona
1203 Circle City Dr. 92879 APN 111280005	1.05	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606
1154 E 6th St. 92879 APN 111280001	2.13	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606
6th St. 92879 APN 111280004	0.90	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
92879 APN 111290036	2.31	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Commercial use and parking lot with a FAR of 0.1	M1 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	State of CA Dept. of Transportation 464 W. 4 th Street, 6 th Floor San Bernardino, CA 92401
1203 W 6th Street APN 118201012	5.59	GC (General Commercial)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Cherie Fitschen 1203 W. 6 th Street Corona, CA 92882
1203 W 6th Street 92882 APN 118183027	2.21	GC (General Commercial)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Cherie Fitschen 1203 W. 6 th Street Corona, CA 92882
8th Street 92882 APN 110040053	2.93	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Lin Jen Huiwu P.O. Box 14787 Irvine, CA 92623

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
Pomona Road 92882 APN 118260018	11.31	MDR (Medium Density Residential; 6-15 dwelling units/acre)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Corona West Association 320 N. Park Vista Street Anaheim, CA 92806

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

General Plan Housing Element Update

Appendix A-7 Housing Element Webpage and Informational Materials



WHAT IS THE HOUSING ELEMENT?

The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community. The purpose is to increase the housing supply and the mix of housing types and provide housing opportunities for all income levels. The Housing Element is mandated by state law to be updated every 8 years.

The Housing Element is governed by California Government Code Article 10.6 [Sections 65580-65589.11]. Pursuant to Section 65588, the Housing Element is required to be periodically updated in accordance with the Regional Housing Needs Assessment (RHNA) cycle administered by the California Department of Housing and Community Development (HCD). HCD is responsible for administering the RHNA to the Metropolitan Planning Organizations in California. The Metropolitan Planning Organization for the southern California region is the Southern California Association of Governments (SCAG). SCAG covers the Counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura and a total of 191 cities. In October 2019, HCD issued SCAG a RHNA allocation of 1,341,827 housing units to be planned for in Planning Period 2021-2029.

Housing Element Update Informational Sheet

[Housing Element Update Informational Sheet \(English\)](#)

[Housing Element Update Informational Sheet \(Spanish\)](#)

Upcoming Meetings

[Housing Element Update Community Workshop Flyer \(English\)](#)

[Housing Element Update Community Workshop Flyer \(Spanish\)](#)

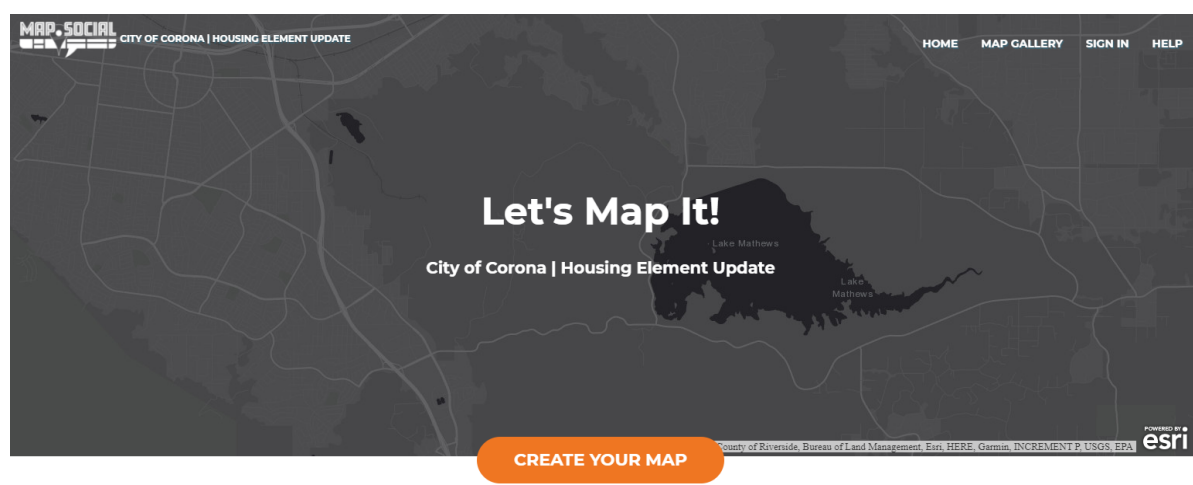
[Housing Element Update Community Workshop - Presentation](#)

Corona City Hall
Corona Council Chambers

Ask Ally

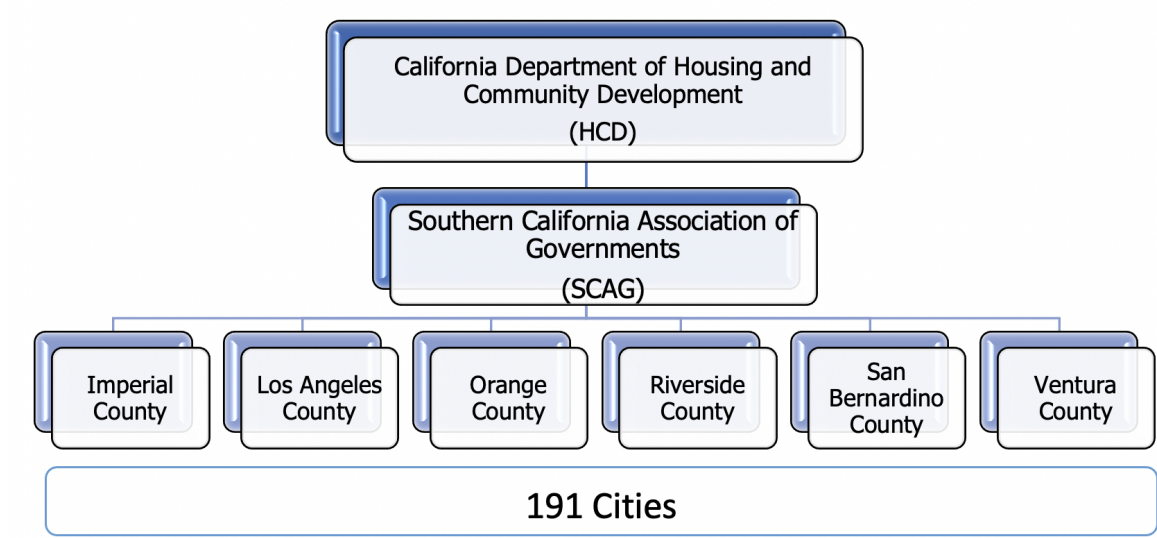


May 27, 2021
6:00 p.m.
Housing Element Update Community Meeting
<https://coronaca.gov.zoom.us/j/89030052330>
In-person attendance is also available in the Council Chambers



[MapSocial](#)

RHNA Allocation Flow Chart



SCAG finalized the RHNA allocation in February 2021 and it resulted in the City of Corona receiving a final RHNA allocation of 6,088 housing units. The following table shows the residential income categories the City is required to plan for in the Housing Element Update.

Income Category	Number of Units to Accommodate in Planning Period 2021-2029
Very Low Income (31% to 50% AMI)	1752
Low Income (51% to 80% AMI)	1040
Moderate Income (81% to 120% AMI)	1096
Above-Moderate Income (>120% AMI)	2200
Total	6088

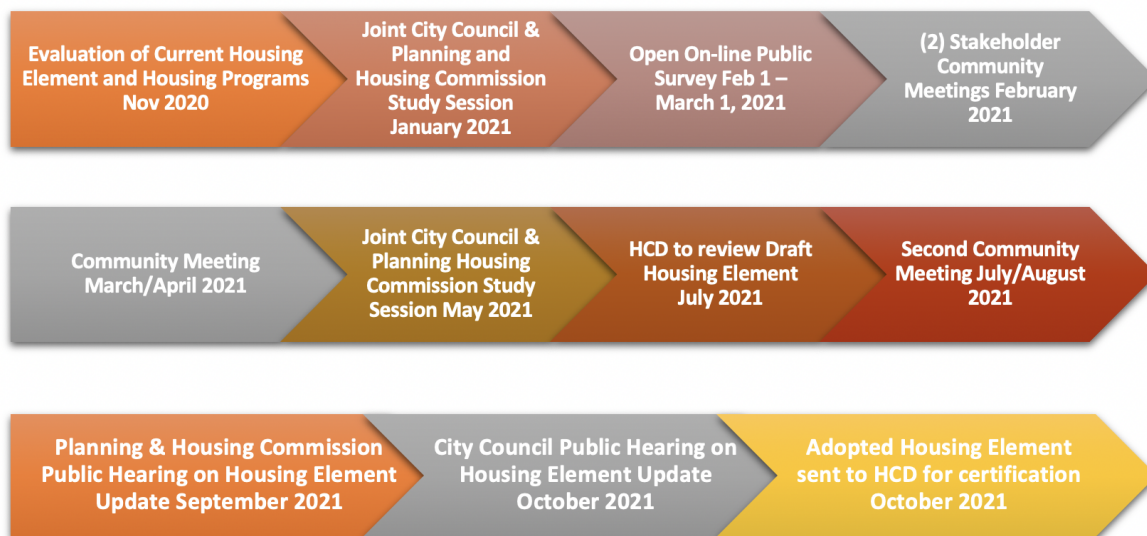
(AMI = Area Median Income)

HOUSING ELEMENT UPDATE PROCESS

The City is in the processing of preparing the Housing Element Update. The process will involve public outreach with community stakeholders and the City's general community. The public outreach process will include participation in the City's housing survey and community meetings. The outreach process will identify a sites inventory analysis of where housing units can be planned in the City for the income categories. The public will also have an opportunity to provide feedback on the inventory sites that may be required to be rezoned to accommodate the income categories.

The California Department of Housing and Community Development (HCD) is also required to review and certify the City's Housing Element to ensure its compliance with state law. The City is required to submit its City Council adopted Housing Element to HCD in October 2021.

HOUSING ELEMENT UPDATE TIMELINE



HOUSING ELEMENT

Ask Ally



[Joint City Council and Planning and Housing Commission Study Session Presentation \(January 27, 2021\)](#)

[Housing Element Update Survey Results](#)

For more information, please email CoronaHEUpdate@CoronaCA.gov.

[California Department of Housing Community Development website](#)

Ask Ally





HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

What is the Housing Element?

The Housing Element is part of the city's General Plan and is one of the mandatory elements. That means the city is required to have a Housing Element that is consistent with the State's general law. The Housing Element is governed by the California Government Code and is required to be updated every 8 years by the statutory deadline. The Housing Element is responsible for identifying a city's existing and projected housing need; goals, policies and quantified objectives on achieving housing for all economic segments of the population; available financial resources; scheduled programs for the preservation of housing and an identification of adequate housing sites for all economic segments of the community, persons with special needs and emergency shelters.

California Government Code Article 10.6, Sections 65580-65589.11

Why is the Housing Element periodically updated?

The planning period for the Housing Element is 8 years. The city's current Housing Element is for planning period 2013-2021. Pursuant to state law, the city is now updating its Housing Element for Planning Period 2021-2029. The Housing Element planning period aligns with the State's allocation of the Regional Housing Needs Assessment, commonly known as RHNA. The State Department of Housing and Community Development (HCD) assesses the RHNA every 8 years and distributes an allocation of the housing units to the various regions throughout the state. This allocation is eventually distributed across the counties and cities in California to be included in the Housing Element.

How does the city know how many residential units to plan for in the Housing Element?

The RHNA decides the number of residential units the city must plan for in the Housing Element. For the Housing Element Update covering planning period 2021-2029, the city must plan for 6,088 residential housing units.

Which housing income levels is the city required to plan for in the Housing Element Update?

The RHNA specifically identifies the number of residential units required for each economic income segment, which includes very-low, low, moderate and above-moderate incomes. The table below shows the residential units allocated to the City of Corona for each income category.

Income Category based on Area Median Income (AMI)	Number of Units to Accommodate	%
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81 and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

How does the city demonstrate to HCD that it has enough sites planned for housing?

Included in the city's Housing Element is an inventory of the sites that shows where housing units can be accommodated. The sites must be vacant or underutilized and have potential for development during the eight-year planning period. Some of the sites identified may be already zoned for housing that can accommodate a certain percentage of the RHNA income categories. However, where the city's available sites zoned for residential and mixed use purposes are not adequate to fully meet the city's RHNA, the city would need to rezone sites to plan for housing in accordance with the RHNA allocation. The city's rezoning can include: a) increasing the residential density on property already zoned residential to allow for additional housing units, b) rezoning property from nonresidential to residential; or c) establishing an *affordable housing overlay zone* on currently underutilized properties.

According to HCD's Housing Element Site Inventory Guidebook, an *affordable housing overlay zone* is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed in the future.

Does the city build the housing units on the sites that have been identified in the Housing Element?

No. The city does not build housing. New housing is constructed by developers that own property or plan on acquiring property for new housing.

Is the property owner required to build housing on the sites identified within the 8-year planning cycle of the Housing Element?

No. Although the Housing Element identifies enough sites are available in the city to plan for housing and to facilitate the development of affordable multiple family housing by allowing higher density residential in certain areas, it does not mean the property owner is required to build the housing within the next 8 years or any time in the future. The Housing Element is a planning document that enables the city in meeting its housing goals.

How did the city determine the housing opportunity sites?

Aside from the sites already zoned residential or mixed use, the city used the *best practices for selecting sites to accommodate the lower income RHNA* mentioned in HCD's Housing Element Site Inventory Guidebook. These sites are for higher density residential, which are intended to accommodate housing units for lower and moderate-income households. Additionally, the city used the survey results from the city's housing survey issued earlier this year in February 2021. The survey results are available on the city's website at www.CoronaCA.gov/GPUupdate.



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

Per the HCD Site Inventory Guidebook, sites best suited to accommodate the RHNA for lower income households should include factors such as:

- Proximity to transit.
- Access to high performing schools and jobs.
- Access to amenities, such as parks and services.
- Access to health care facilities and grocery stores.
- Locational criteria that meet Low-income Housing Tax Credit Program funding.
- Proximity to available infrastructure and utilities.
- Sites that do not require environmental mitigation.

The city's housing survey also asked, "Which areas of the city do you think would be better suited for high-density residential involving apartments and/or condominiums?" The survey results show 75.20% of the responses favor higher density in areas where public transportation is within walking distance and 42.80% of the responses favor higher density in areas near commercial centers.

When is the city required to rezone the sites identified for rezoning?

The city has 3 years and 120 days from the beginning of the Housing Element planning period to rezone sites to meet the city's shortfall of the RHNA. The planning period begins on October 15, 2021.

How does HCD know if the City has a state compliant Housing Element after it is adopted by the City Council?

The city is required to submit its draft Housing Element to HCD for review. Prior to adoption of the Housing Element, the city must seek HCD comments on the Draft Housing Element. The adopted Housing Element is also required to be submitted to HCD for review. If HCD determines the city's Housing Element was prepared in compliance with state law, HCD will issue a Finding of Substantial Compliance to the city. If HCD determines the city's Housing Element was not prepared in compliance with state law, the city will need to revise the Housing Element based on HCD's comments. The city would need to resubmit the revised Housing Element to HCD. The city would only need to repeat the latter process if the resubmitted Housing Element is not certified by HCD.

HCD has an Accountability and Enforcement Division that is specifically assigned to monitor the compliance of local jurisdictions' housing elements. This division also investigates complaints on local discretionary land use planning decisions that possibly would jeopardize a certified Housing Element. Additionally, cities are required to submit an annual housing progress report to HCD, which includes an inventory of properties that have been rezoned to meet the shortfall in the RHNA.

The Accountability and Enforcement Division was created due to the passage of Assembly Bill (AB) 72 and AB 101. These laws give additional enforcement tools to HCD and the California Attorney General to move forward with legal action against a local jurisdiction if the Housing Element is not compliant with state law. A city is a subdivision of the state and local laws may not conflict with general law. In this case, general law includes the State Planning and Zoning Law and the specific requirements of the Housing Element law. With the adoption of AB 101 (2019), the Attorney General can seek a court order directing a local jurisdiction to bring its Housing Element into compliance. The court can enforce this by imposing



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

finer, appoint a receiver to step in, take the process over from the local jurisdiction and bring the Housing Element into substantial compliance. Additionally, a jurisdiction would become ineligible for certain grants that require a jurisdiction to have a certified Housing Element.



¿Qué es el Elemento de Vivienda?

El Elemento de Vivienda forma parte del Plan General de la ciudad y es uno de los elementos obligatorios. Eso significa que la ciudad está obligada a tener un elemento de vivienda que sea consistente con las leyes general del Estado. El Elemento de Vivienda se rige por el Código del Gobierno de California y debe actualizarse cada 8 años antes de la fecha límite legal. El Elemento de Vivienda es responsable en identificar la necesidad de vivienda existente y proyectada de una ciudad; metas, pólizas y objetivos cuantificados en el logro de la vivienda para todos los segmentos económicos de la población; recursos financieros disponibles; programas programados para la preservación de la vivienda y una identificación de sitios de vivienda adecuados para todos los segmentos económicos de la comunidad, personas con necesidades especiales y refugios de emergencia.

Artículo 10.6 del Código del Gobierno de California, Secciones 65580-65589.11

¿Por qué se actualiza periódicamente el Elemento de Vivienda?

El período de planificación para el Elemento de Vivienda es de 8 años. El Elemento de Vivienda actual de la ciudad es para el período de planificación 2013-2021. En conformidad con la ley estatal, la ciudad está actualizando su Elemento de Vivienda para el Período de Planificación 2021-2029. El período de planificación del Elemento de Vivienda se alinea con la asignación del Estado de la Evaluación de Necesidades de Vivienda Regional, comúnmente conocida como RHNA. El Departamento de Vivienda y Desarrollo Comunitario del Estado (HCD) evalúa el RHNA cada 8 años y distribuye una asignación de las unidades de vivienda a las diversas regiones del estado. Esta asignación se distribuye finalmente entre los condados y ciudades de California para ser incluida en el Elemento de Vivienda.

¿Cómo sabe la ciudad cómo pueden planificar las unidades residenciales en el Elemento de Vivienda?

El RHNA decide el número de unidades residenciales que la ciudad debe planificar en el Elemento de Vivienda. Para la actualización del Elemento de Vivienda para el período de planificación 2021-2029, la ciudad debe planificar 6,088 unidades de viviendas residenciales.

¿Qué niveles de ingresos de vivienda se requiere la ciudad para planificar en la Actualización del Elemento de Vivienda?

El RHNA identifica específicamente el número de unidades residenciales requeridas para cada segmento de ingresos económicos, que incluye ingresos muy bajos, bajos, moderados y más de moderados. La siguiente tabla muestra las unidades residenciales asignadas a la Ciudad de Corona para cada categoría de ingresos.



ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA

HOJA INFORMATIVA

Abril de 2021

Categoría de ingresos basada en ingresos medios de área (AMI)	Número de unidades para acomodar	%
Ingresos muy bajos entre 31 y 50% AMI	1,752	28.8%
Bajos ingresos entre 51 y 80% AMI	1,040	17.1%
Ingreso moderado entre 81 y 120% AMI	1,096	18.0%
Ingresos más de moderados superiores al 120% AMI	2,200	36.1%
total	6,088	100.0%

¿Cómo demuestra la ciudad a HCD que tiene suficientes sitios planeados para vivienda?

El Elemento de Vivienda de la ciudad incluye un inventario de los sitios que muestran donde se pueden acomodar las unidades de vivienda. Los sitios deben estar vacíos o subutilizados y tener potencial de desarrollo durante el período de planificación de 8 años. Algunos de los sitios identificados tal vez pueden estar zonificados para viviendas que pueden acomodar un cierto porcentaje de las categorías de ingresos de RHNA. Sin embargo, cuando los sitios disponibles de la ciudad están ubicados en zonas para propósitos residenciales y de uso mixto y no sean adecuadas para cumplir plenamente con la RHNA de la ciudad, la ciudad necesitaría resinificar los sitios para planificar viviendas de acuerdo con la asignación de RHNA. La rezonificación de la ciudad puede incluir: a) aumentar la densidad residencial en las propiedades ya zonificados residencial para permitir unidades de vivienda adicionales, b) rezonificación de propiedades que actualmente no son residenciales a residenciales; o c) establecer una *zona de superposición de vivienda asequible* en propiedades actualmente infrautilizado.

De acuerdo con la guía de inventario del sitio del Elemento de Vivienda de HCD, una *zona de viviendas económicas* es una herramienta de zonificación que permite a una ciudad modificar las zonas existentes para permitir o requerir ciertos tipos de desarrollo residencial sin cambiar el distrito de zonificación subyacente. Esto significa que propiedades que actualmente se utilizan para usos no residenciales, como comerciales o industriales zonificados como tal, pueden seguir utilizándose de acuerdo con la zonificación subyacente. Sin embargo, si el propietario decide desarrollar el sitio con usos residenciales, se permitiría que el sitio tenga usos residenciales de acuerdo con las disposiciones establecidas por la superposición de vivienda asequible. La superposición de vivienda asequible demuestra dónde se pueden planificar viviendas adicionales si se reutiliza el uso actual de la propiedad en el futuro.

¿La ciudad construye las unidades de vivienda en los sitios que han sido identificados en el Elemento de Vivienda?

No. La ciudad no construye viviendas. Las viviendas nuevas son construidas por desarrolladores que tienen propiedades o planean adquirir propiedades para nuevas viviendas.

¿Se requiere que el dueño de la propiedad construya viviendas en los sitios identificados dentro del ciclo de planificación de 8 años del Elemento de Vivienda?



No. Aunque el Elemento de Vivienda identifica suficientes sitios disponibles en la ciudad para planificar viviendas y facilitar el desarrollo de viviendas multifamiliares asequibles al permitir una mayor densidad residencial en ciertas áreas, esto no significa que el dueño de la propiedad esté obligado a construir la vivienda en los próximos 8 años o en cualquier momento en el futuro. El Elemento de Vivienda es un documento de planificación que habilita la ciudad en el cumplimiento de sus objetivos de vivienda.

¿Cómo determinó la ciudad los sitios de oportunidades de viviendas?

Aparte de los sitios ya establecidos en zonas residenciales o de uso mixto, la ciudad utilizó las *mejores prácticas para seleccionar sitios para acomodar los ingresos más bajos RHNA* mencionados en la guía de inventario del sitio del Elemento de Vivienda de HCD. Estos sitios son para viviendas de mayor densidad, que están destinadas para acomodar unidades de vivienda para hogares de ingresos bajos y moderados. Además, la ciudad utilizó los resultados de la encuesta de vivienda de la ciudad, realizado a principios de este año en Febrero del 2021. Los resultados de la encuesta están disponibles en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate.

Identificado en la guía de inventario del sitio de HCD, los sitios más adecuados para acomodar el RHNA para los hogares de menores ingresos deben incluir factores como:

- Proximidad al tránsito.
- Acceso a escuelas y trabajos de alto rendimiento.
- Acceso a comodidades, como parques y servicios.
- Acceso a centros de salud y supermercados.
- Criterios de ubicación que cumplen con los fondos del Programa de Crédito Tributario de Vivienda de Bajos Ingresos.
- Proximidad a la infraestructura y los servicios públicos disponibles.
- Sitios que no requieren mitigación ambiental.

La encuesta de vivienda de la ciudad también preguntó: "¿Qué áreas de la ciudad crees que serían más adecuadas para residenciales de alta densidad que involucran apartamentos y/o condominios?" Los resultados de la encuesta muestran que el 75.20% de las respuestas favorecen una mayor densidad en las zonas donde el transporte público está a poca distancia y el 42.80% de las respuestas favorece una mayor densidad en áreas cercanas a los centros comerciales.

¿Cuándo se requiere que la ciudad rezonifique los sitios identificados para la rezonificación?

La ciudad tiene 3 años y 120 días desde el comienzo del período de planificación del Elemento de Vivienda para rezonificar los sitios para satisfacer el déficit de la ciudad del RHNA. El período de planificación comienza el 15 de Octubre de 2021.

¿Cómo sabe HCD si la ciudad tiene un Elemento de Vivienda que cumple con el Estado después de que sea adoptado por el Ayuntamiento?

La ciudad está obligada a presentar su proyecto de Elemento de Vivienda a HCD para su revisión. Antes de la adopción del Elemento de Vivienda, la ciudad debe buscar comentarios de HCD sobre el proyecto de



ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA

HOJA INFORMATIVA

Abril de 2021

Elemento de Vivienda. El elemento de vivienda adoptado también está obligado a ser presentado al HCD para su revisión. Si el HCD determina que el Elemento de Vivienda de la ciudad fue preparado de acuerdo con las leyes estatales, HDC emitirá una Constatación de Cumplimiento Sustancial a la ciudad. Si el HCD determina que el Elemento de Vivienda de la ciudad no fue preparado de acuerdo con la ley estatal, la ciudad tendrá que revisar el Elemento de Vivienda basado en los comentarios de HCD. La ciudad tendría que volver a enviar el Elemento de Vivienda revisado a HCD. La ciudad sólo necesitaría repetir este último proceso si el Elemento de Vivienda reenviado no está certificado por HCD.

HCD tiene una División de Rendición de Cuentas y Cumplimiento que se asigna específicamente para supervisar el cumplimiento de los elementos de vivienda de las jurisdicciones locales. Esta división también investiga las quejas sobre las decisiones locales discrecionales de planificación del uso del suelo que posiblemente pondrían en peligro un elemento de vivienda certificado. Además, las ciudades están obligadas a presentar un informe anual sobre el progreso de la vivienda a HCD, que incluye un inventario de las propiedades que se han rezonificado para cubrir el déficit en el RHNA.

La División de Responsabilidad y Cumplimiento se creó debido al paso de proyecto de ley (AB) 72 y AB 101. Estas leyes dan herramientas de aplicación adicionales a HCD y al Fiscal General de California para avanzar en acciones legales contra una jurisdicción local si el Elemento de Vivienda no cumple con la ley estatal. Una ciudad es una subdivisión del estado y las leyes locales no pueden entrar en conflicto con la Ley general. En este caso, la ley general incluye la Ley de Planificación y Zonificación del Estado y los requisitos específicos de la Ley de Elemento de Vivienda. Con la adopción de AB 101 (2019), el Fiscal General puede solicitar una orden judicial que ordene a una jurisdicción local que cumpla con su Elemento de Vivienda. El tribunal puede hacer cumplir esto imponiendo multas, nombrar un receptor para intervenir, tomar el proceso de la jurisdicción local y poner el Elemento de Vivienda en cumplimiento sustancial. Además, una jurisdicción pasaría a ser inelegible para ciertas subvenciones que requieren una jurisdicción que tenga un Elemento de Vivienda certificado.

Appendix B

SITES INVENTORY

Vacant and Underutilized Sites

Table A: Housing Element Sites Inventory, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
																			Improvement-To-Land Ratio	Structure Age	
CORONA	Prairie Cir.	92881	11605009 CA		RR Z	R1A	0.5	1	10.11 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Crown Ranch Rd	92881	11605003 RR		RR Z	R1A/HU	0.5	1	2.94 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Hidden Springs Dr	92881	11605006		RR Z	R1A/HU	0.5	1	0.77 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	S Main St	92882	11620002 X		RR Z	A/HU	1	1	59.72 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	44	44	0.00	N/A		
CORONA	Jameson Dr	92881	11620008 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.81 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.82 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11620009 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element								

Jurisdiction Name	Site Address/Inter- section	5 Digit ZIP	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly- Owned	Site Status	Identified in Last/Last Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
CORONA	Casper Cir.	92881	1163100/8 BL	ER	R1A	RI-1	1	3	1.14	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1151 Casper Cir.	92881	1163100/38	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/72 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/73 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/74 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/75 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/76 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/77 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/83 CB	ER	R1A	RI-1	1	3	0.94	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1258 Arroyo Cir.	92881	1163300/09	ER	R1A	RI-1	1	3	0.85	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Chase Dr.	92882	1172400/01	LDR	R1-1	RI-1	1	3	0.5	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	W Chase Dr.	92882	1172500/04	LDR	R1-1	RI-1	1	3	0.68	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	San Jacinto Dr.	92879	1150400/01 Y	LDR	A-14.4	RI-1	1	3	1.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	San Jacinto Dr.	92879	1150400/01 Y	LDR	A-14.4	RI-1	1	3	0.67	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1416 Pleasant View Ave.	92882	118113011 AM	LDR	RI-1/2	RI-1/2	1	3	0.09	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Pleasant View Ave.	92882	118113012 AM	LDR	RI-1/2	RI-1/2	1	3	0.47	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Mesa Dr.	92879	1221800/07 AQ	LDR	A-14.4	RI-1	1	3	2.07	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	Mesa Dr.	92879	1221800/15 AQ	LDR	A-14.4	RI-1	1	3	0.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Corona Ave.	92879	1221800/31 AS	LDR	RI-8.4	RI-8.4	1	3	2.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	6	6	0.00	N/A		
CORONA	Corona Ave.	92879	1221800/32 AS	LDR	A-14.4	RI-1	1	3	1.47	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	W Football Pkwy.	92882	1172400/06	LDR	RI-9.6	RI-9.6	1	4	1.57	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	2217 S Lincoln Ave.	92882	1131400/16 W	LDR	RI-9.6	RI-9.6	3	4.5	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Lincoln Ave.	92882	1131400/18 W	LDR	RI-9.6	RI-9.6	3	4.5	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Burder Ave.	92882	1122010/11 V	LDR	RI-8.4	RI-8.4	3	5	4.51	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	12	12	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152510/14 C	LDR	SP-6	SP-6	3	6	0.32	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	E Parkside Ave.	92879	1150400/39 C	LDR	A	A	3	6	11.4	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	51	51	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152000/04 C	LDR	A	A	3	6	1.6	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	755 John Cir.	92882	1122110/04	LDR	RI-8	RI-8	3	6	3.36	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	W Football Pkwy.	92882	1132220/20	LDR	WF	WF	3	6	0.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1194010/20	LDR	SP-6	SP-6	3	6	0.94	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1171010/02	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1171130/07	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Victoria Ave.	92879	1171120/02	LDR	SP-6	SP-6	3	6	0.18	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	310 S Victoria Ave.	92879	1171130/10	LDR	SP-6	SP-6	3	6	0.16	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	401 S Victoria Ave.	92879	1171130/05	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	507 E 5th St.	92879	1171620/05	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1050 W 5th St.	92879	1171280/15	LDR	SP-6	SP-6	3	6	0.16	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Quarry St.	92879	1172810/09	LDR	SP-6	SP-6	3	6	0.24	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Quarry St.	92879	1172810/11	LDR	SP-6	SP-6	3	6	0.23	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152010/05	LDR	SP-6	SP-6	3	6	1.44	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Skilling Dr.	92882	1172300/10	LDR	RI-1	RI-1	3	6	0.69	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Skilling Dr.	92882	1172300/11	LDR	RI-1/2	RI-1/2	3	6	0.69	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1263 S Lincoln Ave.	92882	1101500/42	LDR	RI-1/2	RI-1/2	3	6	0.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	945 W Kendall St.	92882	1102310/16	LDR	RI-1/2	RI-1/2	3	6	0.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Citron St.	92882	1101500/31	LDR	RI-1/2	RI-1/2	3	6	4.72	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	16	16	0.00	N/A		
CORONA	Behadady St.	92879	1083610/47	LDR	SP-6	SP-6	3	6	0.57	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Rainbow St.	92882	1171020/01	LDR	RI-1/2	RI-1/2	3	6	0.49	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	142 N Victoria Ave	92882	1182900/43	MOR	K3	K3	6	15	0.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	5	5	0.00	N/A		
CORONA	S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	1.51	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	33	33	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	449 River Rd.	92880	1190810/12	HDR	K3	K3	15	36	0.42	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	11	11	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	124 S Sherman Ave.	92882																			

Appendix B-2 Sites to be Rezoned

Table B: Candidate Sites Identified to be Rezoned to Accommodate Shortfall Housing Need, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Optional Information 2	Optional Information 22	Optional Information 3
																			Consolidated S	Improve nt-To-Land Ratio	Year Built
COROI	2550 S Main St.	92882	113310005	0	0	45	0	Shortfall of Sit	4.00	MDR	A	MDR	R2	6	15	45	Non-Vacant	Industrial (FAR: 0.2) - Church complex, very large parking lot, and industrial		0.00	1979
COROI	777 S Temescal St.	92879	107050034	0	0	20	0	Shortfall of Sit	1.80	GC	C2	HDR	MP	6	15	20	Vacant	Vacant		0.00	N/A
COROI	820 S Victoria Ave.	92879	117232002	0	0	1	0	Shortfall of Sit	0.17	LDR	SF	MDR	MFR	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CX	2.21	1936
COROI	822 S Victoria Ave.	92879	117232001	0	0	1	0	Shortfall of Sit	0.18	LDR	SF	MDR	MFR	6	15	1	Non-Vacant	Residential (1) - Home adjacent to large empty grass area, Occupied	CX	0.00	1948
COROI	801 S Victoria Ave.	92879	117233008	0	0	2	0	Shortfall of Sit	0.17	LDR	SF	MDR	MFR	6	15	2	Non-Vacant	Residential (1) - Occupied, Existing utilities available		1.44	1900
COROI	724 Barth St.	92879	111042031	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.58	1932
COROI	730 Barth St.	92879	111042024	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.63	1934
COROI	802 Barth St.	92879	111042025	0	0	4	0	Shortfall of Sit	0.51	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.65	1920
COROI	808 Barth St.	92879	111042026	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	4.00	1927
COROI	814 Barth St.	92879	111042027	0	0	4	0	Shortfall of Sit	0.52	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	3.60	1926
COROI	813 Ford St.	92879	111042013	0	0	4	0	Shortfall of Sit	0.51	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	1.82	1927
COROI	807 Ford St.	92879	111042014	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.00	1928
COROI	801 Ford St.	92879	111042015	0	0	5	0	Shortfall of Sit	0.51	LDR	R1-7.2	MDR	R2	6	15	5	Non-Vacant	Residential (1) - Home, Occupied, back lot house with large yard	CY	3.92	1981
COROI	779 Ford St.	92879	111042016	0	0	5	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	5	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	3.31	N/A
COROI	716 Barth St.	92879	111042021	0	0	2	0	Shortfall of Sit	0.32	LDR	R1-7.2	MDR	R2	6	15	2	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	0.00	1941
COROI	801 Quarry St.	92879	117281007	0	0	1	0	Shortfall of Sit	0.25	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Large front and back lot, Existing utilities available	CE	1.65	2004
COROI	805 Quarry St.	92879	117281008	0	0	1	0	Shortfall of Sit	0.24	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	0.00	1973
COROI	901 Quarry St.	92879	117281010	0	0	1	0	Shortfall of Sit	0.23	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	4.70	1957
COROI	907 Quarry St.	92879	117281012	0	0	1	0	Shortfall of Sit	0.21	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	0.82	1944
COROI	911 Quarry St.	92879	117281013	0	0	1	0	Shortfall of Sit	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	3.92	1960
COROI	915 Quarry St.	92879	117281014	0	0	1	0	Shortfall of Sit	0.23	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	2.09	1942
COROI	919 Quarry St.	92879	117281015	0	0	1	0	Shortfall of Sit	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	1.40	1958
COROI	923 Quarry St.	92879	117281016	0	0	1	0	Shortfall of Sit	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	1.70	1962
COROI	1001 Quarry St.	92879	117282005	0	0	9	0	Shortfall of Sit	0.84	LDR	SF	MDR	R2	6	15	9	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	0.10	1940
COROI	1019 Quarry St.	92879	117290019	0	0	1	0	Shortfall of Sit	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	3.25	1943
COROI	1023 Quarry St.	92879	117290020	0	0	1	0	Shortfall of Sit	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	3.20	1958
COROI	1025 Quarry St.	92879	117290021	0	0	1	0	Shortfall of Sit	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	2.66	1945
COROI	S Merrill St.	92882	117133004	0	0	5	0	Shortfall of Sit	0.51	LDR	SF	MDR	MFR	6	15	5	Non-Vacant	Recreational		0.18	N/A
COROI	Ford St.	92879	111042019	0	0	2	0	Shortfall of Sit	0.29	LDR	R1-7.2	MDR	R2	6	15	2	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	0.20	N/A
COROI	Quarry St.	92879	117281009	0	0	2	0	Shortfall of Sit	0.24	LDR	SF	MDR	R2	6	15	2	Non-Vacant	Vacant	CE	0.00	N/A
COROI	Quarry St.	92879	117281011	0	0	2	0	Shortfall of Sit	0.23	LDR	SF	MDR	R2	6	15	2	Vacant	Vacant	CE	0.00	N/A
COROI	6th St.	92882	118283033	0	0	11	0	Shortfall of Sit	0.42	MDR	MF1	HDR	MR	15	36	11	Non-Vacant	Parking lot		0.00	N/A
COROI	6th St.	92879	115080001	0	0	7	0	Shortfall of Sit	0.27	MU 2	BP	HDR	MF	15	36	7	Vacant	Vacant		0.00	N/A
COROI	44 E Grand Blvd.	92882	117080003	0	0	3	0	Shortfall of Sit	0.18	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	1.11	1907
COROI	116 N Victoria Ave.	92882	117080004	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	3.05	1910
COROI	110 N Victoria Ave.	92882	117080005	0	0	3	0	Shortfall of Sit	0.18	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	1.73	1981
COROI	108 N Victoria Ave.	92882	117080018	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	2.17	1951
COROI	115 N Victoria Ave.	92882	117080009	0	0	4	0	Shortfall of Sit	0.21	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CN	1.22	1895
COROI	111 NVictoria Ave.	92882	117080022	0	0	3	0	Shortfall of Sit	0.16	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CN	0.94	1928
COROI	101 S Sheridan St.	92882	117070004	0	0	4	0	Shortfall of Sit	0.24	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (2) - Occupied, Existing utilities available	CO	4.71	1925
COROI	103 N Sheridan St.	92882	117070003	0	0	4	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	4	Non-Vacant	Vacant	CO	0.00	N/A
COROI	114 N Belle Ave.	92882	117070006	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CP	2.29	1961
COROI	110 N Belle Ave.	92882	117070007	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied home, potentially vacant plot separated by fence	CP	1.57	1912
COROI	49 W Grand Blvd.	92882	117070013	0	0	4	0	Shortfall of Sit	0.21	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CQ	3.57	1947
COROI	45 W Grand Blvd.	92882	117070014	0	0	2	0	Shortfall of Sit	0.14	GC	GB	HDR	MF	15	36	2	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CQ	1.64	1954
COROI	E 8th St.	92882	117232006	0	0	4	0	Shortfall of Sit	0.16	LDR	SF	HDR	MF	15	36	4	Vacant	Vacant	DE	0.00	N/A
COROI	E 8th St.	92882	117232005	0	0	4	0	Shortfall of Sit	0.18	LDR	SF	HDR	MF	15	36	4	Vacant	Vacant	DE	0.00	N/A
COROI	312 S Merrill St.	92882	117092007	0	0	14	0	Shortfall of Sit	0.52	LDR	SF	HDR	MF	15	36	14	Non-Vacant	Commercial (FAR: 0.4) - Youth Organization (YMCA Youth Center at Merrill St.)		3.00	N/A
COROI	1220 W Ontario Av	92880	113020015	27	27	0	0	Shortfall of Sit	2.00	LDR	R1-9.6	HDR	R3	15	36	54	Non-Vacant	Institutional (FAR: 0.1) - Church building with large parking lot, adjacent to freeway		1.36	2002
COROI	551 S Joy St.	91719	117165020	7	7	0	0	Shortfall of Sit	0.52	MU1	RO	MU1	MFR	15	36	14	Non-Vacant	Commercial (FAR: 0.5) - Strip mall with parking lot, Existing utilities available		0.00	N/A
COROI	1410 E 6th St	92879	107020002	26	27	0	0	Shortfall of Sit	3.82	BP	MU2	HDR	HDR	15	36	53	Non-Vacant	Mobile home park		3.77	N/A
COROI	1108 E 5th St	92879	117332005	1	2	0	0	Shortfall of Sit	0.50	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.91	N/A
COROI	6th St	92879	117332006	4	4	0	0	Shortfall of Sit	0.50	GC	MU2	HDR	MFR	15	36	8	Non-Vacant	Mobile home park	DG	0.23	N/A
COROI	1111 E 6th St	92879	117332004	4	4	0	0	Shortfall of Sit	0.67	GC	MU2	HDR	MFR	15	36	8	Non-Vacant	Mobile home park	DG	0.55	N/A
COROI	5th Street	92879	117332003	2	1	0	0	Shortfall of Sit	0.32	GC	MU2	HDR	MFR	15							

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Optional Information 2	Optional Information 22	Optional Information 3
CORONA	844 W 6th St.	92882	110101011	4	5	0	0	Shortfall of Sit	0.20	MU1	GC	MU1	GC (AHO)	30	60	9	Non-Vacant	Commercial (FAR: 0.2) - Retail (Flower Shop with small parking lot)	CJ	0.54	1928
CORONA	836 W 6th St.	92882	110101010	8	9	0	0	Shortfall of Sit	0.38	MU1	GC	MU1	GC (AHO)	30	60	17	Non-Vacant	Commercial (FAR: 0.4) - Retail (Tire shop and parking lot) Existing	CJ	1.50	1967
CORONA	832 W 6th St.	92882	110101009	3	3	0	0	Shortfall of Sit	0.15	MU1	GC	MU1	GC (AHO)	30	60	6	Non-Vacant	Commercial (FAR: 0.2) - Dentist Offices, two separate structures	CJ	0.88	N/A
CORONA	828 W 6th St.	92882	110101027	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Non-Vacant	Commercial (FAR: 0.4) - Retail (Cosmetic Implants and Dental)	CJ	1.21	1922
CORONA	826 W 6th St.	92882	110101007	2	3	0	0	Shortfall of Sit	0.11	MU1	GC	MU1	GC (AHO)	30	60	5	Non-Vacant	Commercial (FAR: 0.6) - Barber Shop Existing utilities available	CJ	1.06	N/A
CORONA	820 W 6th St.	92882	110101006	3	4	0	0	Shortfall of Sit	0.21	MU1	GC	MU1	GC (AHO)	30	60	7	Non-Vacant	Commercial (FAR: 0.4) - Residential home adjacent to empty lot	CJ	1.85	N/A
CORONA	816 W 6th St.	92882	110101005	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Non-Vacant	Commercial (FAR: 0.5) - Retail (Mower shop building and small lot)	CJ	1.85	1971
CORONA	812 W 6th St.	92882	110101004	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Vacant	Vacant	CJ	0.00	N/A
CORONA	808 W 6th St.	92882	110101003	3	3	0	0	Shortfall of Sit	0.15	MU1	GC	MU1	GC (AHO)	30	60	6	Non-Vacant	Commercial (FAR: 0.25) - Building and parking spot, Existing utilities	CJ	0.51	N/A
CORONA	802 W 6th St.	92882	110101001	2	2	0	0	Shortfall of Sit	0.10	MU1	GC	MU1	GC (AHO)	30	60	4	Non-Vacant	Commercial (FAR: 0.7) - Retail (Insurance agencies, one building)	CJ	3.00	1958
CORONA	612 S Vicentia	92882	110101002	2	2	0	0	Shortfall of Sit	0.10	MU1	GC	MU1	GC (AHO)	30	60	4	Non-Vacant	Commercial (FAR: 0.6) - Residential home, Existing utilities available	CJ	2.33	1920
CORONA	229 Grand Blvd.	92882	117091022	24	25	0	0	Shortfall of Sit	1.10	GC	CS	MU1	CS (AHO)	30	60	49	Non-Vacant	Commercial (FAR: 0.25) - Residential, Existing utilities available	CJ	0.64	1915
CORONA	1341 W 6th St.	92882	118130013	20	21	0	0	Shortfall of Sit	0.92	GC	C3	MU1	C3 (AHO)	30	60	41	Vacant	Vacant	AM	0.00	N/A
CORONA	1335 W 6th St.	92882	118130014	22	23	0	0	Shortfall of Sit	1.02	GC	C3	MU1	C3 (AHO)	30	60	45	Vacant	Vacant	AM	0.00	N/A
CORONA	1338 W 6th St.	92882	110030004	5	5	0	0	Shortfall of Sit	0.24	GC	C3	MU1	C3 (AHO)	30	60	10	Non-Vacant	Commercial (FAR: 0.4) - Retail (Firearm shop, two structures)	CR	0.57	1952
CORONA	1334 W 6th St.	92882	110030003	10	11	0	0	Shortfall of Sit	0.48	GC	C3	MU1	C3 (AHO)	30	60	21	Non-Vacant	Commercial (FAR: 0.5) - Large parking lot, Existing utilities available	CR	2.46	N/A
CORONA	1330 W 6th St.	92882	110030008	6	6	0	0	Shortfall of Sit	0.28	GC	C3	MU1	C3 (AHO)	30	60	12	Non-Vacant	Commercial (FAR: 0.2) - Retail (Bar, small building) Existing	CR	0.37	1951
CORONA	1865 W 6th St.	92882	102270015	17	17	0	0	Shortfall of Sit	0.77	GC	C3	MU1	C3 (AHO)	30	60	34	Non-Vacant	Commercial (FAR: 0.25) - Retail (Restaurant, large underutilized lot)	CS	1.62	1975
CORONA	1180 W 6th St.	92882	110040039	15	16	0	0	Shortfall of Sit	0.69	GC	C	MU1	C (AHO)	30	60	31	Non-Vacant	Commercial (FAR: 0.5) - Strip mall, partially unoccupied with lot	CU	2.03	1991
CORONA	1210 W 6th St.	92882	110040042	32	33	0	0	Shortfall of Sit	1.46	GC	C	MU1	C (AHO)	30	60	65	Non-Vacant	Commercial (FAR: 0.5) - Retail (Strip mall and parking lot), Existing	CU	1.67	1991
CORONA	1201 E 6th St.	92882	115690013	66	67	0	0	Shortfall of Sit	2.96	MU2	BP	MU1	BP (AHO)	30	60	133	Non-Vacant	Commercial (FAR: 0.25) - Retail, Existing utilities available	DA	1.86	N/A
CORONA	1354 E 6th St.	92882	115090003	67	68	0	0	Shortfall of Sit	3.00	MU2	M1	MU1	M1 (AHO)	30	60	135	Non-Vacant	Commercial (FAR: 0.1) - Industrial (Warehouse/Office) Existing	DC	2.04	N/A
CORONA	Circle City Dr.	92879	111290040	9	10	0	0	Shortfall of Sit	0.44	MU2	M1	MU2	M1 (AHO)	30	60	19	Non-Vacant	Industrial (FAR: 0.1), No built structures, industrial storage (i.e. no	DA	0.00	N/A
CORONA	Circle City Dr.	92879	111290039	38	38	0	0	Shortfall of Sit	1.71	MU2	M1	MU2	M1 (AHO)	30	60	76	Non-Vacant	Industrial (FAR: 0.1), No built structures, industrial storage (i.e. no	DA	0.00	N/A
CORONA	Circle City Dr.	92879	111290021	24	24	0	0	Shortfall of Sit	1.08	MU2	M1	MU2	M1 (AHO)	30	60	48	Vacant	Vacant	CZ	0.00	N/A
CORONA	Circle City Dr.	92879	111290022	17	17	0	0	Shortfall of Sit	0.77	MU2	M1	MU2	M1 (AHO)	30	60	34	Vacant	Vacant	CZ	0.00	N/A
CORONA	Circle City Dr.	92879	111290023	10	11	0	0	Shortfall of Sit	0.47	MU2	M1	MU2	M1 (AHO)	30	60	21	Vacant	Vacant	CZ	0.00	N/A
CORONA	E 6th St.	92879	115090024	59	60	0	0	Shortfall of Sit	2.66	MU2	M1	MU2	M1 (AHO)	30	60	119	Non-Vacant	Industrial (FAR 0.0) No built structures, industrial storage (i.e. no	DC	0.00	N/A
CORONA	E 6th St.	92879	115090021	26	26	0	0	Shortfall of Sit	1.17	MU2	M1	MU2	M1 (AHO)	30	60	52	Non-Vacant	Industrial (FAR 0.0) No built structures, industrial storage (i.e. no	DC	0.00	N/A
CORONA	E 5th St.	92879	117331006	16	17	0	0	Shortfall of Sit	0.74	MU2	BP	MU1	BP (AHO)	30	60	33	Non-Vacant	Industrial (FAR 0.1), one structure and large parking spaces	DC	0.02	N/A
CORONA	Peasant View Ave.	92882	118130031	11	11	0	0	Shortfall of Sit	0.49	GC	C3	MU1	C3 (AHO)	30	60	22	Vacant	Vacant	AM	0.00	N/A
CORONA	W 6th St.	92882	110030030	9	10	0	0	Shortfall of Sit	0.43	GC	C3	MU1	C3 (AHO)	30	60	19	Vacant	Vacant	CR	0.00	N/A
CORONA	Yorba St.	92882	102290010	3	4	0	0	Shortfall of Sit	0.17	GC	C3	MU1	C3 (AHO)	30	60	7	Non-Vacant	Industrial (FAR 0.0) - parking lot space adjacent to used car dealership	CR	0.00	N/A
CORONA	W 6th St.	92879	110040041	26	26	0	0	Shortfall of Sit	1.16	GC	C	MU1	C3 (AHO)	30	60	52	Non-Vacant	Commercial (FAR: 0.25) - Retail (parking lot adjacent to strip mall)	CU	0.03	N/A
CORONA	6th St.	92882	110020008	13	14	0	0	Shortfall of Sit	0.61	GC	C3	MU1	C3 (AHO)	30	60	27	Vacant	Vacant	CK	0.00	N/A
CORONA	E 6th St.	92879	117332015	6	6	0	0	Shortfall of Sit	0.27	MU 2	GC	MU1	GC (AHO)	30	60	12	Vacant	Vacant	O	0.00	N/A
CORONA	E 6th St.	92879	117332016	7	7	0	0	Shortfall of Sit	0.33	MU 2	GC	MU1	GC (AHO)	30	60	14	Vacant	Vacant	O	0.00	N/A
CORONA	E Blaine St.	92879	119311019	6	6	0	0	Shortfall of Sit	0.27	MU 1	MU	MU1	MU (AHO)	30	60	12	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311018	3	4	0	0	Shortfall of Sit	0.17	MU 1	MU	MU1	MU (AHO)	30	60	7	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311017	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311016	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311043	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311042	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311041	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORONA	100 E Harrison St.	92879	119311025	20	21	7	0	Shortfall of Sit	1.09	MU 1	MU	MU1	MU (AHO)	30	60	48	Non-Vacant	Commercial (FAR: 0.2) - Retail (Bar/Pub) Existing utilities available	BQ	1.08	1979
CORONA	E Blaine St.	92879	119311015	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Non-Vacant	Commercial (FAR: 0.9) - Industrial (Warehouse/Office) Existing	BQ	6.31	N/A
CORONA	E Blaine St.	92879	119311014	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311013	1	1	0	0	Shortfall of Sit	0.04	MU 1	MU	MU1	MU (AHO)	30	60	2	Non-Vacant	Commercial (FAR: 0.2) - Industrial/Vacant Existing utilities available	BQ	0.00	N/A
CORONA	320 E Harrison St.	92879	119311005	5	6	10	0	Shortfall of Sit	0.53	MU 1	MU	MU1	MU (AHO)	30	60	21	Non-Vacant	Commercial (FAR: 0.3) - Retail (Auto Shop) Existing utilities available	BQ	0.41	N/A
CORONA	280 E Harrison St.	92879	119311004	5	6	5	0	Shortfall of Sit	0.35	MU 1	MU	MU1	MU (AHO)	30	60	16	Non-Vacant	Commercial (FAR: 0.4) - Industrial (Warehouse/Office) Existing	BQ	4.05	1973
CORONA	240 E Harrison St.	92879	119311003	4	5	3	0	Shortfall of Sit	0.27	MU 1	MU	MU1	MU (AHO)	30	60	12	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing	BQ	4.13	1973
CORONA	122 E Harrison St.	92879	119311002	14	14	16	0	Shortfall of Sit	0.97	MU 1	MU	MU1	MU (AHO)	30	60	44	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing	BQ	1.93	1973
CORONA	E Blaine St.	92879	119311040	4	5	0	0	Shortfall of Sit	0.20	MU 1	MU	MU1	MU (AHO)	30	60	9	Non-Vacant	Commercial (FAR: 0.1)	BQ	0.00	N/A
CORONA	S Smith Ave.	92882	110020012	11	12	0	0	Shortfall of Sit	0.50	HDR	R3	UDR	R3 (AHO)	30	60	23	Non-Vacant	RV Storage, parking spots adjacent to structure	BR	0.00	N/A
CORONA	1362 W 6th St.	92882	110030015	81	81	0	0	Shortfall of Sit	3.60	HDR	R3	UDR	R3 (AHO)	30	60	162	Non-Vacant	RV Storage with large parking lot	BR	0.14	1950
CORONA	1553 Yorba St.	92882	118050020	14	15	0	0	Shortfall of Sit	0.64	GC	C3	MU1	C3 (AHO)	30	60	29	Non-Vacant	Storage	CL	0.21	N/A
CORONA	1549 Yorba St.	92882	118050019	9	10	0	0	Shortfall of Sit	0.43	GC	C3	MU1	C3 (AHO)	30	60	19	Non-Vacant	Commercial (FAR: 0.5) - Retail (Painting and Wallcovering), Existing	CL	3.79	1990
CORONA	1545 Yorba St.	92882	118050018	14	15	0	0	Shortfall of Sit	0.65	GC	C3	MU1	C3 (AHO)	30	60	29	Non-Vacant	Commercial (FAR: 0.4) - Retail (Auto Repair Shop) Existing utilities	CL	1.41	1964
CORONA	1539 Yorba St.	92882	118050017	21	22	0	0	Shortfall of Sit	0.95	GC	C3	MU1	C3 (AHO)	30	60	43	Non-Vacant	Commercial (FAR: 0.1) - Retail (Used Auto Sale) Existing utilities	CL	0.21	1928
CORONA	1535 W 6th St.	92882	118050016	22	23	0	0	Shortfall of Sit	0.99	GC	C3	MU1	C3 (AHO)	30	60	45	Non-Vacant	Commercial (FAR: 0.1) - Retail (Alex Furniture, building with parking lot)	CL	0.32	1964
CORONA	W. 6th Street	92882	102290020	47	47	79	0	Shortfall of Sit	4.56	GC	C3	MU1	C3 (AHO)	30	60	173	Non-Vacant	Commercial (FAR: 0.5) - Retail (Truck and Van Repair, building with parking lot)	CT	0.22	1966
CORONA	1625 W. 6th Street	92882	102290017	20	21	32	0	Shortfall of Sit	1.62	GC	C3	MU1	C3 (AHO)	30	60	73	Non-Vacant	Commercial (FAR: 0.2) - Retail (Used Car Dealership, large parking lot)	CT	0.09	1964
CORONA	1541 W. 6th Street	92882	103280001	14	14	17	0	Shortfall of Sit	0.99	GC	C3	MU1	C3 (AHO)	30	60	45	Non-Vacant	Commercial (FAR: 0.4) - Retail (Auto Repair Shop building, large parking lot)	CT	0.34	1959
CORONA	1210 E 6th Street	92879	115080002	6	6	5	0	Shortfall of Sit	0.38	MU 2	BP	MU1	BP (AHO)	30	60	17	Non-Vacant	Parking lot	DB	0.00	N/A
CORONA	1210 E 6th Street	92879	115080041	12	12	4	0	Shortfall of Sit	0.62	MU2											

Table C: Land Use, Table Starts in A2

Zoning Designation (From Table A, Column G)	General Land Uses Allowed
A	RR 2, ER, LDR
A/HD	RR 2
A-14.4	RR 2, LDR
BP	MU 2
C	GC
C2	GC
C3	GC
CS	MU 1, OP
D	MUD
ER1	ER
GB	GC
GC	GC
LDR	LDR
MDR	MDR
MF1	MDR
MP	HDR
MU	MU 1, MU 2
M1	LI, MU 2
PCD	LDR
RE	ER, LDR
RE-35	RR 2, ER
RO	MU 1
R1A	RR 2, ER, LDR
R1A/HD	RR 2
R1-7.2	LDR, MDR
R1-8.4	LDR
R1-9.6	LDR
R1-14.4	ER
R1-14.5	ER
R1-20	ER
R2	MDR
R3	HDR
SF	LDR
SFR	LDR
SFR-6	LDR
TC	MU 1
UDR	UDR
WF	LDR

Appendix C

AFFIRMATIVELY FURTHERING FAIR HOUSING (AFFH)

Appendix C: Affirmatively Furthering Fair Housing (AFFH)

INTRODUCTION AND OVERVIEW OF AB 686

In January 2017, Assembly Bill 686 (AB 686) introduced an obligation to AFFH into California state law. AB 686 defined “affirmatively further fair housing” to mean “taking meaningful actions, in addition to combat discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity” for persons of color, persons with disabilities, and other protected classes. The Bill added an assessment of fair housing to the Housing Element which includes the following components: a summary of fair housing issues and assessment of the City’s fair housing enforcement and outreach capacity; an analysis of segregation patterns and disparities in access to opportunities, an assessment of contributing factors, and an identification of fair housing goals and actions.

COMMUNITY OUTREACH

As part of the Housing Element Update, the City implemented a community engagement program, soliciting input from the general public, housing stakeholders, and City decision makers. On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update, which included a discussion on the challenges and opportunities regarding housing needs, special populations, and policies and programs that could be incorporated into the Housing Element Update. The workshops were attended by a total of 16 individuals representing 15 separate non-profit, government, and for-profit agencies (information on the stakeholder meetings is included in Appendix A). Results and feedback obtained during the community engagement program have been incorporated into this section on affirmatively furthering fair housing practices. Please see Chapter 1 for more details on the City’s outreach efforts.

HISTORICAL DEVELOPMENT AND INVESTMENT

Like many California cities, Corona experienced a post-war building boom in the 1950s and in the decades to follow, that set the stage for auto-centric suburban neighborhood development beyond the outskirts of Downtown. Specific plans were used by the City and county to guide the development of large areas, typically referred to as master-planned developments. Typical of southern California suburban subdivisions, most of Corona’s suburban neighborhoods expanded residential development outward from the city’s commercial center and focused mainly on the construction of single-family detached units, with some clusters of duplexes, townhomes, condominiums, and apartments. Suburban neighborhoods are generally located to the periphery of the City’s historic core, south of Ontario Avenue, west of Lincoln Avenue, and in the northeast and northwest corners of the City. Commercial areas became heavily auto-centric. Currently, many older commercial strip centers that lead to the City’s historic center are outdated and inconsistent in terms of function and design. As shown in Figure 3 and Figure 4, the effects of historic segregation patterns are still visible today: areas of minority concentration exist predominantly in the City’s center and historic corridors, while suburban areas south of the City’s center are predominantly White.

As citrus farming gave way to urban development in the 1980s, the population of Corona boomed during this decade and the population also diversified. According to the 1990 census, Corona's Black and African-American population grew by 549 percent between 1980 and 1990. Similarly, the Asian-American population expanded by nearly 2,000 percent. The Hispanic population also increased during this time, adding new immigrants from El Salvador and Colombia, as well as from other parts of California. The same decade brought a 70 percent growth rate in the Native American population.¹

During the last two decades, the City has reinvested in its central corridor in the downtown area and along 6th Street. With the adoption of the 2004 General Plan, the City created a mixed-use land use designation that allowed for and encouraged mixed uses and pedestrian-oriented design. While certain areas of the City have proven difficult to build mixed use projects, other areas have seen significant success. Newer developments such as Dos Lagos and North Main have placed more emphasis on mixing residential and commercial/office developments into larger horizontally mixed-use projects. Both projects have emphasized public spaces and the pedestrian environment.²

SUMMARY OF FAIR HOUSING ISSUES

COUNTY OF RIVERSIDE TRENDS

As part of the Community Development Block Grant (CDBG) program certification process, participating jurisdictions must prepare an analysis of impediments to fair housing choice every five years. The Riverside Regional Analysis of Impediments to Fair Housing Choice (County of Riverside AI), is an assessment of the Riverside County regional laws, ordinances, statutes, and administrative policies, as well as local conditions that affect the location, availability, and accessibility of housing. It also analyzes the conditions in the private market and public sector that may limit the range of housing choices or impede a person's access to housing, and provides solutions and measures that will be pursued to mitigate or remove identified impediments. To focus efforts in the City of Corona, the City conducted its own analysis of impediments to fair housing choice certified by the Corona City Council (Corona AI). The Corona AI covers the City of Corona and provides a comparative demographic profile of the City and Riverside County; assesses the extent of housing needs among specific income groups; and evaluates the availability of a range of housing choices for residents. Regionally, the County of Riverside AI identifies the following impediments to fair housing:

- Hispanic and Black residents continue to be underrepresented in the homebuyer market and have experienced large disparities in loan approval rates
- Concentrations of housing choice voucher use have occurred due to the geographic disparity of rental prices
- Housing choices for special needs groups, especially persons with disabilities, are limited
- Fair housing enforcement activities are limited – despite laws prohibiting discrimination, residents can experience housing bias on the basis of physical disability, race, and ethnicity

¹ City of Corona website: <https://www.coronaca.gov/government/departments-divisions/library-recreation-services/library/heritage-room/history-of-corona>

² Corona General Plan:
<https://www.coronaca.gov/home/showpublisheddocument/17294/637239353780370000>

- Nearly 63 percent of all fair housing complaints in Riverside County over the last five years were on the basis of disability
- Today, people obtain information on housing options and availability through many media forms, not limited to traditional newspaper noticing or other print forms

CITY OF CORONA TRENDS

The Corona AI identified jurisdiction-specific impediments. Contributing factors identified as impediments to fair housing in Corona are discussed in detail below, as well as descriptions of how each impediment is addressed in this Housing Element.

Concentrations of Lower- and Moderate-Income Populations

The U.S. Department of Housing and Urban Development (HUD) defines a Lower- and Moderate-Income (LMI) area as a Census tract or block group where over 51 percent of the population is LMI. Corona has extensive areas where a majority of residents are LMI populations throughout its downtown areas starting in the northwest and spanning across toward the southeast. This impediment is addressed in the Housing Element Update through Housing Policies HE-1.1 through HE-1.5, which direct the City to maintain an ongoing inventory of sites that may be suitable for residential development affordable for LMI residents, support the production of LMI housing development, and seek additional funding sources to expand housing resources in the City.

Language barriers

Language barriers can be an impediment to accessing housing. Those with limited English may face discrimination in obtaining housing, communication challenges while trying to obtain housing, and barriers to accessing housing services and information. According to the Corona AI, 19.1 percent of the City's population speaks English less than "very well." This impediment is addressed in the Housing Element Update through Policies H-4.1 and H-4.2 and Programs 20 and 27 which direct the City to provide counseling for property owners and tenants on fair housing related issues, facilitate housing opportunities, and provide materials on housing related materials in multiple languages.

Lending by Race/Ethnicity

The Fair Housing Act prohibits discrimination when obtaining a mortgage. However, in some communities the lending pool is not representative of the demographics of a community and lending practices can be an impediment to fair housing. The Corona AI notes that this is the case in Corona, where African American and Hispanic households have limited access to conventional home purchase loans due to disproportionate denial rates compared to households of other racial groups. This impediment is addressed in the fair housing and enforcement policy section in Chapter 6 of the Housing Element, specifically Programs 20 and 21, which direct the City to remove impediments to fair housing, provide and expand counseling residents on fair housing related issues, explore grant opportunities for fair housing support, conduct fair housing testing, and participate in regional efforts to reduce discriminatory housing practices.

Overcrowded Conditions

Large households are those defined with five or more individuals and can sometimes include multiple families living together. Due to the high cost of housing in Corona, large households are often forced to obtain housing that is not of sufficient size, leading to overcrowding issues. According to the 2014-2018 ACS, overcrowding affected 5.9 percent of households in Corona. Overcrowding decreased from 2010, when approximately 8.2 percent of households were overcrowded. This impediment is addressed in Housing Element programs that direct the City to monitor and support affordable housing development with a mix of housing opportunities, particularly for special needs populations.

Housing for Farmworkers

Due to the high cost of housing and low wages, migrant farm workers may have difficulty finding affordable, safe, and sanitary housing. According to the State Employment Development Department, the average farm worker earned a mean annual income of \$32,000 in 2020. This limited income is exacerbated by a tenuous and/or seasonal employment status. Determining the true size of the agricultural labor force is difficult. For instance, the government agencies that track farm labor do not consistently define farmworkers (e.g. field laborers versus workers in processing plants), length of employment (e.g. permanent or seasonal), or place of work (e.g. the location of the business or field). According to SCAG, it is estimated that 152 City residents were considered farmworkers (employed in farming, fishing, and forestry occupations).

The City can accommodate the development of farmworker housing in any zone that permits the type of housing being built (i.e., agricultural zones) without special conditions. Since the City does not have a large farmworker population, the housing needs of this group are addressed through the City's standard affordable housing programs for lower-income households.

Limiting Local Land Use Policies

The Fair Housing Act prohibits jurisdictions from making land use decisions or implementing land use policies that exclude or can otherwise be seen as discriminatory. The Housing Element directs the City to update its land use policies to be consistent with State laws and AFFH goals. For example, recent changes to the density bonus makes it more difficult to meet housing goals, and a lack of inclusionary housing requirements. These impediments are addressed in Program 14 of the Housing Element which directs the City to revisit its supportive/transitional parking requirements and emergency shelter regulations.

FAIR HOUSING OUTREACH AND ENFORCEMENT

Fair housing enforcement and outreach capacity relates to the ability of a local jurisdiction and fair housing entities to disseminate information related to fair housing and provide outreach and education to assure community members are informed of fair housing laws and tenants' rights. In addition, enforcement and outreach capacity includes the ability to address compliance with fair housing laws, such as investigating complaints, obtaining remedies, and engaging in fair housing testing.

Fair Housing Outreach

The County of Riverside contracts with the non-profit organization Fair Housing Council of Riverside County, Inc. (FHCRC) to address fair housing complaints and engage the community around fair and affordable housing issues. These organizations help coordinate the development of the County of Riverside AI, including the outreach process. Table 1 shows the local housing and social service organizations that are active in the County as part of the FHCRC.

Table 1: Fair Housing Organizations Active in Riverside County

Organization	Focus
County of Riverside Department of Public Social Services	Homeless services
Workforce Development	Employment Services
Housing Authority Riverside	Public housing services
Fair Housing Council of Riverside County (FHCRC)	Fair housing services
National Alliance on Mental Illness	Mental health services
Regional Task Force on the Homeless	Services for individuals experiencing homelessness
Southern California Rental Housing Association	Rental assistance
Source: Riverside County 2020	

Table 2 lists organizations active in the City of Corona that offer fair housing support and services.

Table 2: Fair Housing Organizations Active in City of Corona

Organization	Focus
California Department of Fair Employment and Housing	State Resource for fair employment and housing
Housing and Economic Rights Advocates	Fair Housing advocacy
Jamboree Housing	Developer of affordable housing
Riverside Housing Development Corporation	Developer of affordable housing
Southern California Association of Nonprofit Housing	Fair housing advocacy

COUNTY OF RIVERSIDE FAIR HOUSING ENFORCEMENT

From 2015-2020, FHCRC assisted County residents with fair housing discrimination complaints, addressing 3,108 complaints in total, with 95 percent of those from in-place tenants, three percent from landlords or managers, and the balance from other types of complainants. Complaints originating from the City of Corona accounted for just under 4 percent of total fair housing complaints in the County. Consistent with state and national trends, the leading bases of complaints in the County included physical disability (51 percent), mental disability (12 percent), race (10 percent), familial status (8 percent), national origin (7 percent), and sex (3 percent). Taken together, complaints based on disability status accounted for 63 percent of all cases in Riverside County.

CITY OF CORONA FAIR HOUSING ENFORCEMENT

During the 2015-2020 study period, FHCRC assisted Corona residents with fair housing discrimination complaints, addressing 182 filed complaints. Consistent with state and national trends, the leading bases of complaints included physical disability (44 percent), familial status (16 percent), mental disability (13 percent), race (8 percent), national origin (4 percent), source of income (4 percent) and age (3 percent). Taken together, complaints based on disability status accounted for 57 percent of all cases in Corona, nearly 7 percentage points lower than the proportion of disability-related complaints reported countywide during the same time. According to the Corona AI, the Annual Report FY 2017 by the Office for Fair Housing and Employment Opportunity (OFHE) found a similar percentage of complaints were made based on disability across the nation as was reported in the City of Corona. While the total number of discrimination complaints remained relatively flat from 2014-2017, the percentage of complaints based on discrimination due to disability trended upward. Programs 20 and 21 of the Housing Element direct the City to take actions to overcome patterns of segregation, address disparities in housing needs, and increase access to housing opportunities.

FAIR HOUSING ANALYSIS

The California Government Code Section 65583 (10)(A)(ii) requires jurisdictions to analyze areas of segregation, racially or ethnically concentrated areas of poverty, disparities in access to opportunity, and disproportionate housing needs, including displacement risk.

Data on regional and local disparities and trends was gathered from a variety of sources, including HCD's AFFH Viewer, the Healthy Places Index (HPI) and the Urban Displacement Project (UDP). The HPI is a tool that was developed by the Public Health Alliance of Southern California in partnership with the Virginia Commonwealth University's Center on Society and Health in order to predict life expectancy. Community conditions, also called the "social determinants of health," can be used to predict life expectancy. These conditions include economic stability, neighborhood and built environment, health and access to health care, education, social and community context. The HPI combines 25 community characteristics into a single indexed HPI Score. HPI scores for each census tract can be compared to paint an overall picture of health and well-being.

The UDP was developed as a research initiative by the University of California, Berkeley in partnership with the University of California, Los Angeles. The tool was developed with the intention of tracking

neighborhood change and identifying areas that are vulnerable to gentrification and displacement in California. Indicators of gentrification and displacement are measured at the census tract level are based on data from the 2015 ACS.

SEGREGATION AND INTEGRATION PATTERNS AND TRENDS

To inform priorities, policies, and actions, the housing element must include an analysis of integration and segregation, including patterns and trends, related to people with protected characteristics. Integration generally means a condition in which there is not a high concentration of persons of a particular race, color, religion, sex, familial status, national origin, or having a disability or a particular type of disability when compared to a broader geographic area. Segregation generally means a condition in which there is a high concentration of persons of a particular race, color, religion, sex, familial status, national origin, or having a disability or a type of disability in a particular geographic area when compared to a broader geographic area.

Race and Poverty Concentration

The ethnic and racial composition of a jurisdiction is useful in analyzing housing demand and any related fair housing concerns as it tends to demonstrate a relationship with other characteristics such as household size, income level, locational preferences, and mobility. To assist in this analysis of integration and segregation, HCD and the California Tax Credit Allocation Committee (CTCAC) directed the California Fair Housing Task Force to “provide research, evidence-based policy recommendations, and other strategic recommendations to HCD and other related state agencies/departments to further the fair housing goals (as defined by HCD).” The Task Force created Opportunity Maps to identify resources levels across the state “to accompany new policies aimed at increasing access to high opportunity areas for families with children in housing financed with 9 percent Low Income Housing Tax Credits (LIHTCs).” These opportunity maps are made from composite scores of three different domains made up of a set of indicators, as shown in Table 3. The opportunity maps include a measure or “filter” to identify areas with poverty and racial segregation. To identify these areas, census tracts were first filtered by poverty and then by a measure of racial segregation. The criteria for these filters were:

- Poverty: Tracts with at least 30 percent of population under federal poverty line
- Racial Segregation: Tracts with location quotient higher than 1.25 for Black, Hispanic, Asian, or all non-White residents in comparison to the County

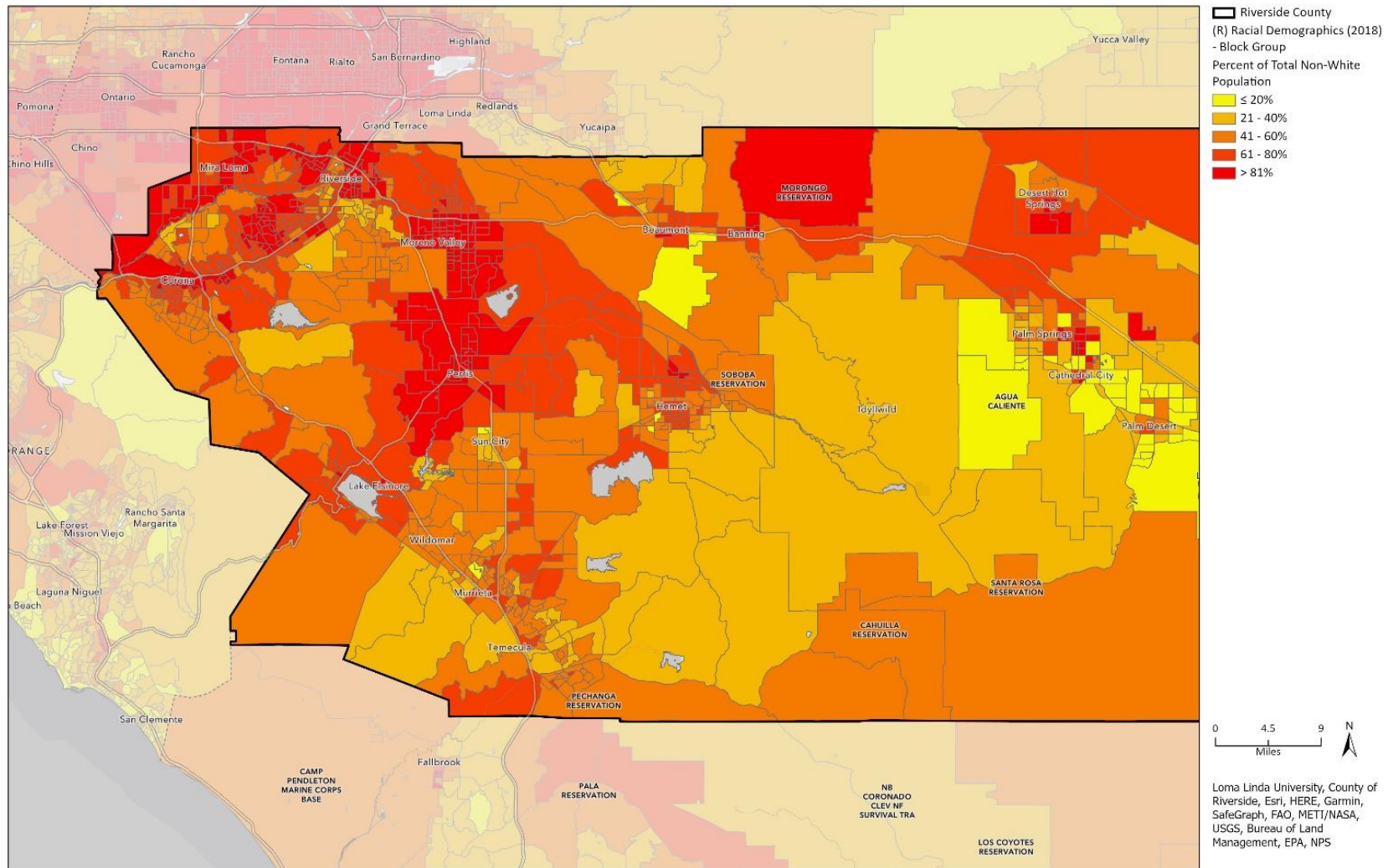
Table 3: Domains and List of Indicators for Opportunity Maps

Domain	Indicator
Economic	Poverty, Adult Education, Employment, Job Proximity, Median Home Value
Environmental	CalEnviroScreen 3.0 pollution Indicators and Values
Education	Math proficiency, Reading proficiency, High school Graduation Rates, Student Poverty Rates

County of Riverside Minority Concentrated Areas

According to the California Fair Housing Task Force, areas with high segregation are primarily located in the western, urban areas of the County and the Native American reservations in the northern and southern portions of the County, as shown on Figure 1. Hispanic residents make up the highest percentage of racial composition in the County at 45.45 percent of the population.

Figure 1: Minority Concentrated Areas: Riverside County



Source: AFFH Data Viewer, 2021

CITY OF CORONA MINORITY CONCENTRATED AREAS

As discussed in Chapter 2 of the Housing Element, the City of Corona has a slightly higher percentage of White, Non-Hispanic residents than Riverside County as a whole. Corona's population of white, non-Hispanic residents is 38.13 percent, compared to the County's 36.61 percent of residents who identify as white, non-Hispanic residents. The City has a slightly lower share of Hispanic residents than the County at 43.67 percent, compared to 47.25 percent. In addition, the City has a higher percentage of Asian/Pacific Islander residents than the County (9.89 percent vs. 7.14 percent). According to the Corona AI, non-white populations have grown significantly since 1990, with a greater than 175 percent population increase among Hispanics within the City of Corona. Discrimination based on race and ethnicity is a historic and known contributor to unfair housing practices. The existence of concentrations of minorities living in one location may be an indicator that some minority groups in Corona do not have as many housing choices as non-minority residents. This disparity can be an indicator of language barriers, unfair lending practices, and/or lack of mobility access.

HUD created seven opportunity indices to allow jurisdictions to measure exposure to opportunity in their neighborhoods. Table 4 provides index scores or values (ranging from 0 to 100 with 100 being the highest) for Corona for each race/ethnicity. Black, Hispanic, and Native American residents generally had lower opportunity scores than white and Asian or Pacific Islander residents for income, school proficiency, labor market access, and environmental health.

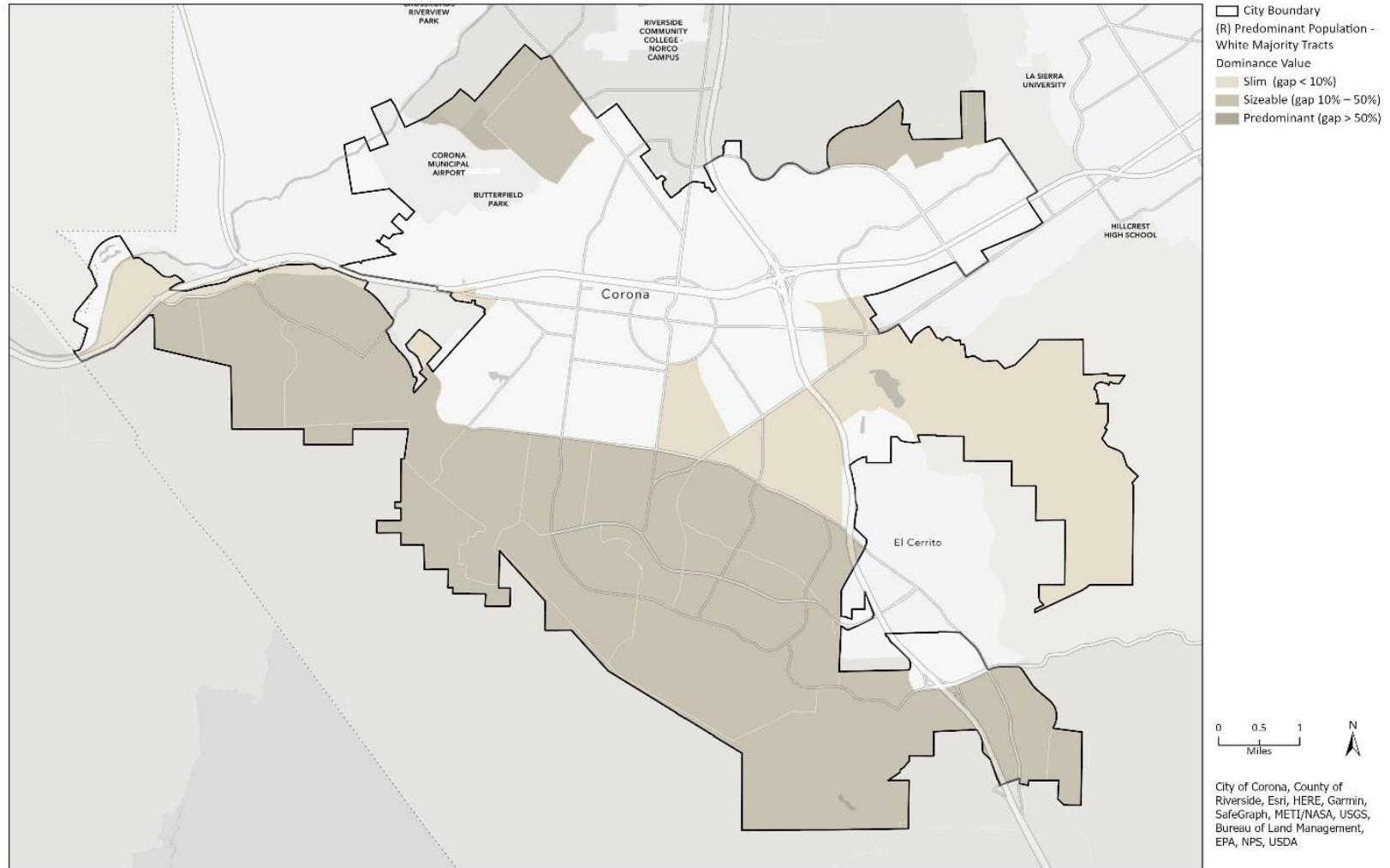
Table 4: Opportunity Indicators by Race/Ethnicity (Corona)

Index/ Indicator	Low Poverty	School Proficiency	Labor Market	Transit	Low Transportation Cost	Jobs Proximity	Environmental Health
Total Population							
White, Non- Hispanic	72.08	63.44	51.76	45.59	29.52	42.79	49.48
Black, Non- Hispanic	68.83	60.98	49.08	48.29	36.13	47.20	45.25
Hispanic	52.51	52.86	38.55	50.75	41.06	49.51	41.67
Asian or Pacific Islander, Non- Hispanic	74.61	64.80	54.03	45.93	30.21	47.34	48.70
Native American, Non- Hispanic	59.85	57.46	42.61	49.02	36.64	44.30	43.16

Population Below Federal Poverty Level							
White, Non-Hispanic	52.94	50.83	42.53	54.85	47.87	41.14	39.85
Black, Non-Hispanic	69.62	63.99	46.36	50.67	37.41	51.88	43.92
Asian or Pacific Islander, Non-Hispanic	30.63	41.48	27.05	55.59	51.84	54.88	35.70
Native American, Non-Hispanic	60.87	59.39	42.75	49.00	38.28	50.49	45.16
White, Non-Hispanic	10.00	30.86	13.0	65.00	69.00	75.81	27.00
Source: Corona AI							

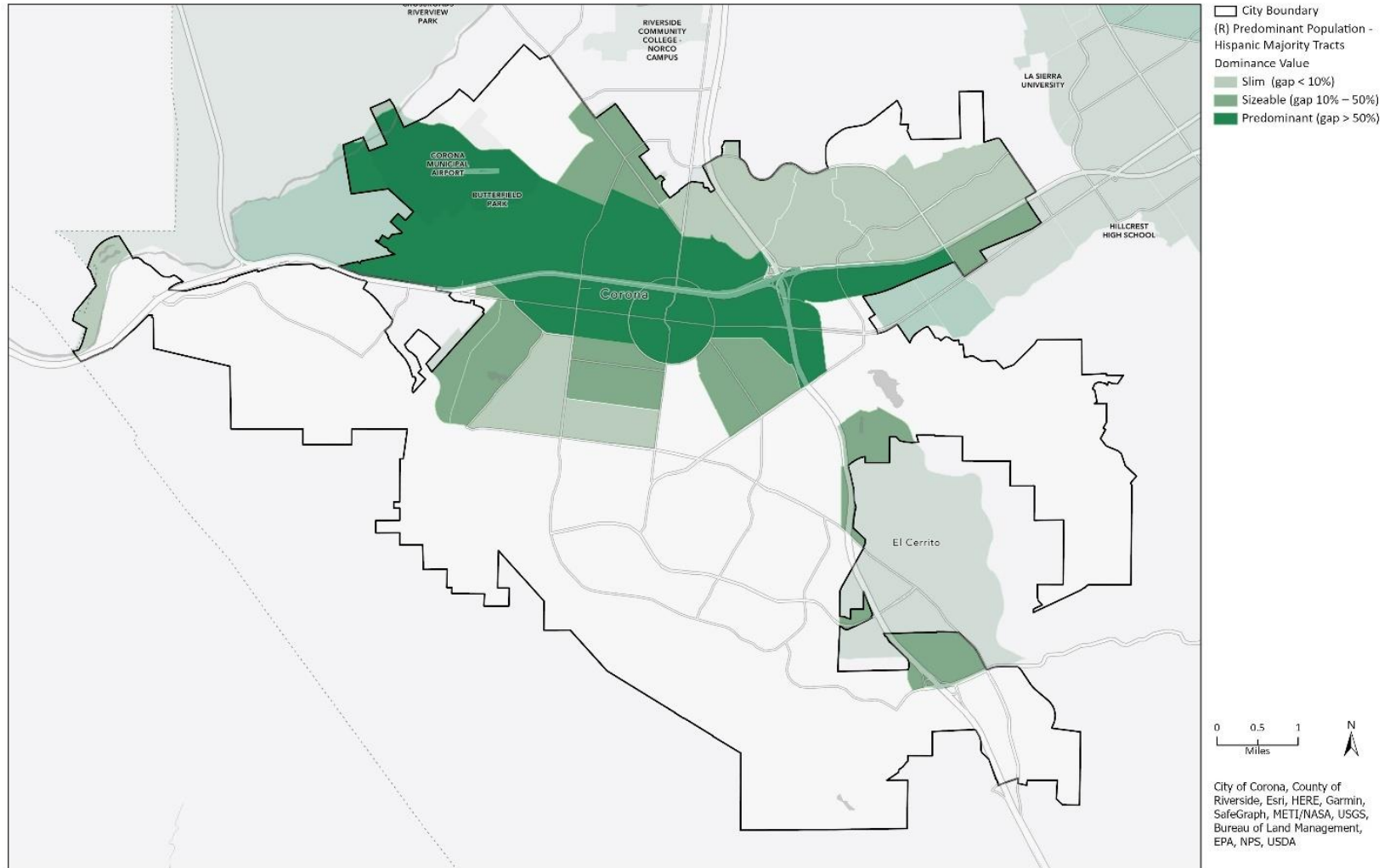
Figure 2 and Figure 3 show the predominant populations of white, non-Hispanic and Hispanic populations within each census tract and Figure 4 shows the percent of non-white residents within each block group. Corona has higher concentrations of Hispanic residents in the historic Corona downtown between SR-91 and River Road, and south of State Route 91 (SR-91) and east of Interstate 15 (I-15). The area with the highest percent of non-white population is south of SR-91 and east of I-15.

Figure 2: Predominant Population - White Non-Hispanic: Corona



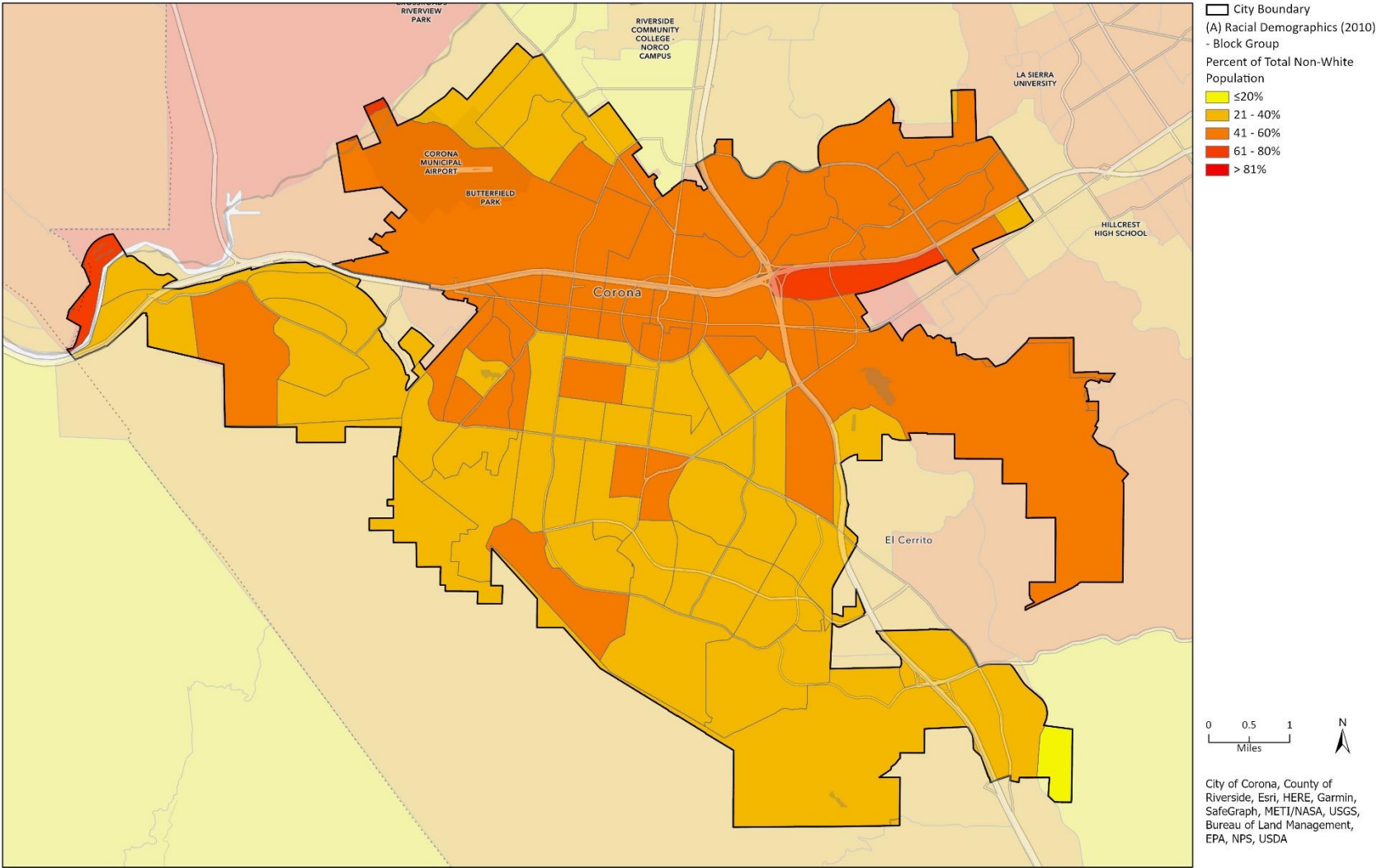
Source: AFFH Data Viewer, 2021

Figure 3: Predominant Population- Hispanic: Corona



Source: AFFH Data Viewer, 2021

Figure 4: Racial Demographics: Corona



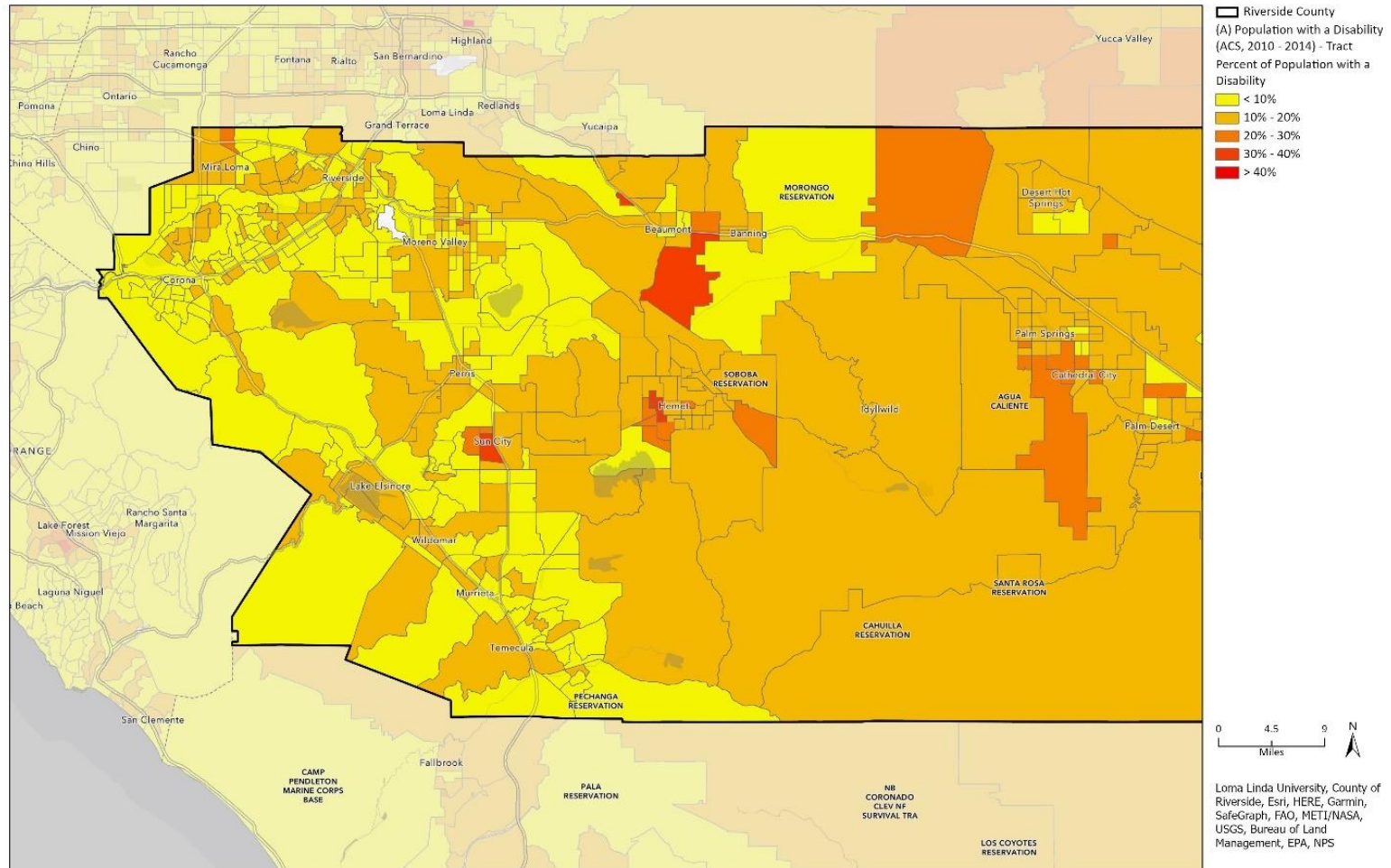
Source: AFFH Data Viewer, 2021

PERSONS WITH DISABILITIES

County of Riverside Trends

Housing choices for special needs groups, specifically for persons with disabilities, are limited in the region. According to the County of Riverside AI (using 2013-2017 ACS data), 11.5 percent of County residents had a physical disability. Many persons with disabilities also face cost burden problems due to their relatively fixed incomes. Figure 5 shows areas in Riverside County with concentrations of persons with a disability. Corona is not an area of the County with a high concentration of persons with a disability. The areas with a high concentration of persons with a disability are south of Beaumont, parts of Hemet, and in Sun City.

Figure 5: Population with a Disability: Riverside County



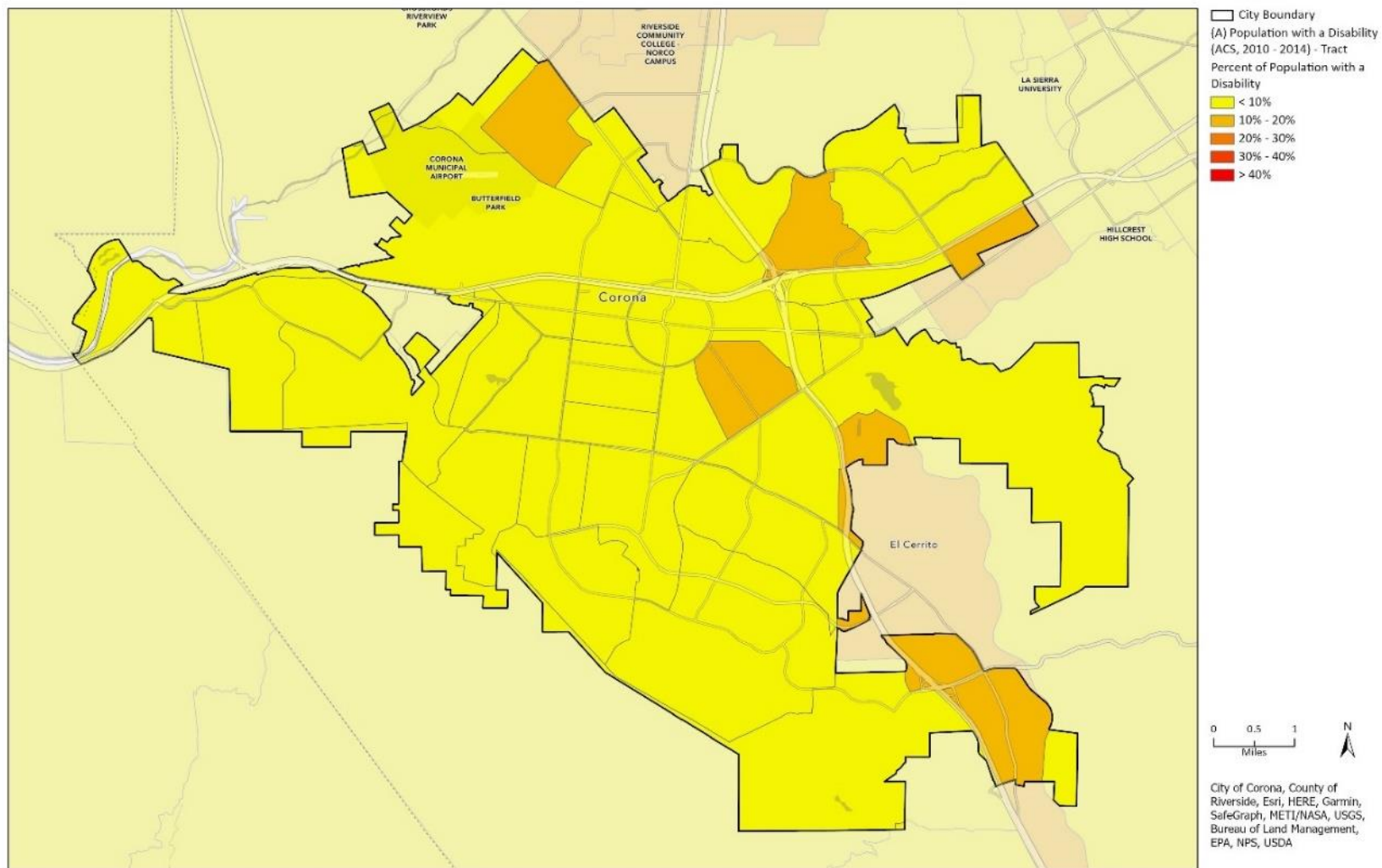
Source: AFFH Data Viewer, 2021

City of Corona Trends

As discussed in the Housing Element, approximately eight percent of Corona residents had a disability according to 2014-2018 ACS data. The ACS also tallied the number of disabilities by type for residents with one or more disabilities. Among the disabilities tallied, ambulatory difficulties were most prevalent, while cognitive and independent living difficulties were also highly prevalent. Ambulatory and independent living difficulties were most prevalent in among the senior population. Figure 6 depicts the percentage of population with disabilities throughout the City. The percentage of the City's population with a disability ranges between 10 and 20 percent, with areas of higher concentrations scattered throughout the City near Fullerton Avenue, north of W. Rincon Street, north of SR-91 and east of I-15, between SR-91 and Magnolia Avenue, and in the southeastern portion of the City.

During the stakeholder workshops conducted by the City on February 16th and 18th, a representative of the Inland Regional Center Affordable Housing Specialist, provided local knowledge and insights for persons with disabilities in finding adequate housing that suites their needs including access to low-income housing, proximity to transportation, and non-ADA compliant development (not inclusive to someone who utilizes a wheelchair). Additionally, it was stated that more housing should be located near medical facilities and suggests working with developers to allocate a portion of these units to low-income households.

Figure 6: Population with a Disability: Corona



Source: AFFH Data Viewer, 2021

FAMILIAL STATUS

Familial status refers to the presence of children under the age of 18, whether the child is biologically related to the head of household, and the marital status of the head of households. The Fair Housing Act makes it unlawful to discriminate against a person whose household includes one or more children who are under 18 years of age. Familial status protection covers households in which one or more minor children live with: a parent, a person who has legal custody (including guardianship) of a minor child or children, or the designee of a parent or legal custodian, with the written permission of the parent or legal custodian.³

However, HUD data shows that familial status discrimination ranks third in discrimination of protected classes, behind discrimination due to disability and race. While the language in federal law about familial status discrimination is clear, the guidelines landlords can use to establish occupancy can be very vague. Although landlords can create occupancy guidelines based on the physical limitations of the housing unit, landlords often impose occupancy limitations that can preclude large families with children. Differential treatments such as limiting the number of children in a complex, or confining children to a specific location, are also fair housing concerns. Single-parent, female-headed households with children require special consideration and assistance because of their greater need for affordable housing and accessible day care, health care, and other supportive services.

County of Riverside Trends

Certain jurisdictions in the County have a higher-than-average proportion of family households with children and, therefore, may be more vulnerable to this type of discrimination. Table 5 shows a comparison of household types in the County and jurisdictions near Corona.

³ Fair Housing: Equal Opportunity for All: https://www.hud.gov/sites/documents/FHEO_BOOKLET_ENG.PDF

Table 5: Household Type (Riverside County)

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786
Chino Hills	2,892 (14.3)	3,820 (18.9)	8,726 (43.2)	1,533 (7.6)	3,225 (16.0)	20,196
Moreno Valley	6,166 (11.1)	7,125 (12.8)	21,106 (37.9)	7,022 (12.6)	14,231 (25.6)	55,650
Norco	1,471 (20.9)	1,828 (26.0)	2,106 (30.0)	382 (5.4)	1,241 (17.7)	7,028
City of Riverside	18,050 (19.1)	18,985 (20.1)	30,617 (32.4)	9,523 (10.1)	17,209 (18.2)	94,384
Riverside County	156,113 (23.8)	69,255 (9.3)	238,702 (30.6)	67,737 (8.9)	143,669 (20.0) ¹	718,349
Source: American Community Survey, 2014-2018. SCAG Corona Local Data. ¹ SCAG Profile of Riverside County.						

City of Corona Trends

As shown in Table 6, 36.7 percent of Corona households in 2018 were families; a decrease of 8.5 percent since 2010. The number of single households grew 61.8 percent between 2010 and 2018. Additionally, within the single households, the number of senior headed households increased by 32.8 percent during that time. The number of large households decreased by more than 14 percent, and the average household size decreased from 3.4 to 3.3 persons per household.

Table 6: Household Characteristics, City of Corona (2010-2018)

Household Type	2010		2018		Percent Change (2010-2018)
	Number	Percent of Population	Number	Percent of Population	

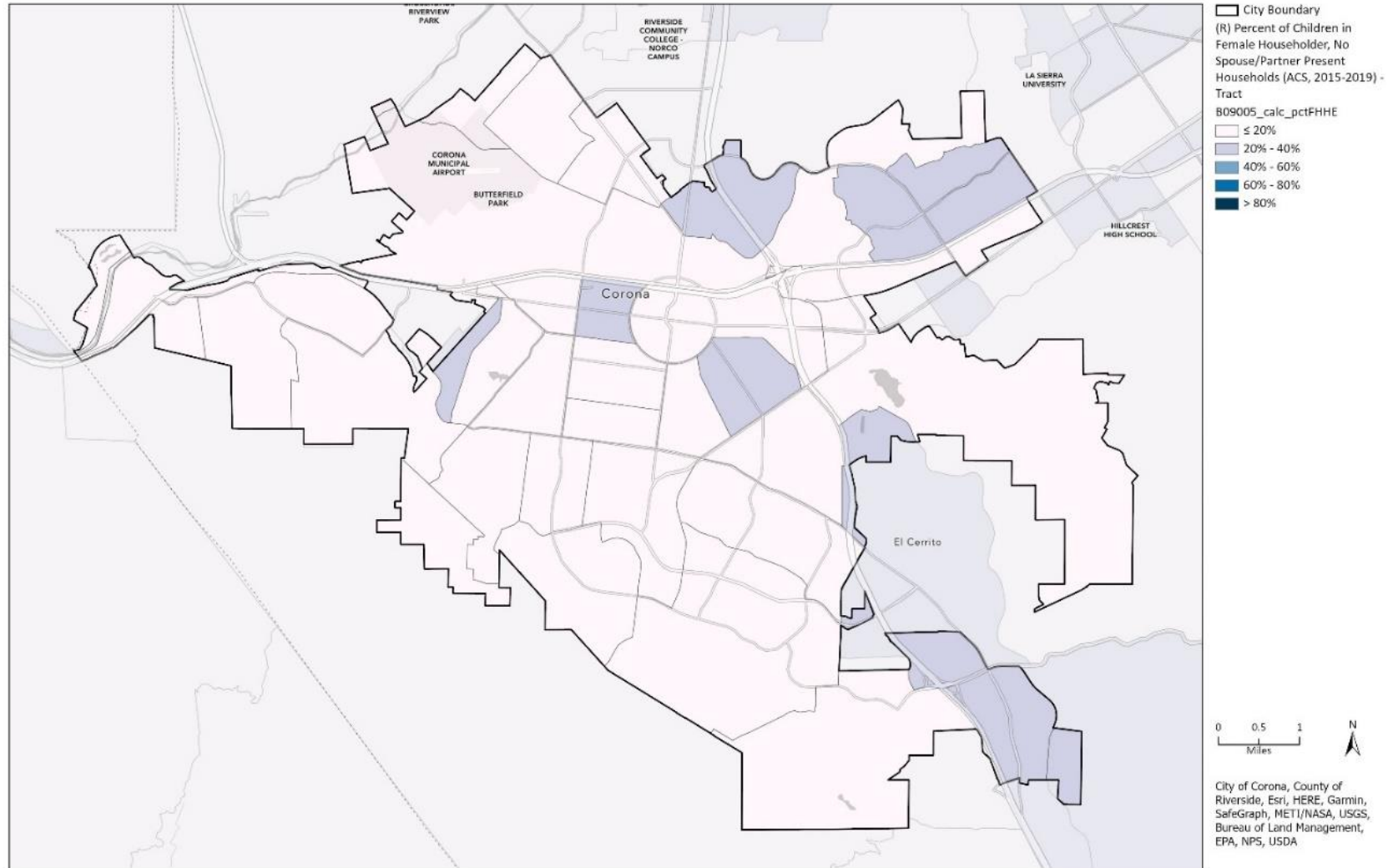
Single Person	6,372	14.4	10,309	20.7	61.8
Senior Headed Households	6,113	13.6	8,115	16.3	32.8
Families with Children	20,317	45.2	18,219	36.7	-10.3
Single-Parent Households	4,765	10.6	4,167	8.4	-12.5
Large Households	10,504	23.4	8,976	18.1	-14.5
Total Households	44,950	100	49,786	100	10.8
Average Household Size	3.4	-	3.3	-	-

Source: American Community Survey, 2014-2018.

Families, particularly female-headed families, are disproportionately affected by poverty. The 2014-2018 ACS reported 5,446 female-headed households in Corona, of which 3,257 had children. The 2014-2018 ACS estimated that approximately 8.4 percent of Corona households were headed by a single-parent. Female-headed households accounted for approximately 11.1 percent of total Corona households. Of total Corona households, 2.4 percent were both female-headed households and had incomes below the poverty level, and 39.0 percent of the City's households with incomes below the poverty level were female-headed. Figure 7 shows areas of the City with concentrations of single-parent, female-headed households. Areas of higher concentrations (between 20 and 40 percent of families with children) are scattered throughout the City near Fullerton Avenue, around McKinley Street and S. Promenade Avenue, north and south of SR-91 east of the Circle, between SR-91 and Magnolia Avenue, north of E. Parkridge Avenue, and in the southeastern portion of the City.

During a stakeholder workshop, the representative from Corona Norco United Way emphasized a need for more affordable housing near schools, work/live housing, and proximity to transportation. It was mentioned that there was a particular need for this type of housing in order to improve rehousing efforts for single, female-headed households, particularly for those leaving domestic abuse situations. Additionally, partnerships with developers should be developed on identifying funding opportunities to provide additional housing units that fit the needs of low-income individuals. For more information from the workshops refer to Appendix A (notes from stakeholder workshops are provided in Appendix A).

Figure 7: Single-Parent, Female-Headed Households with Children: Corona



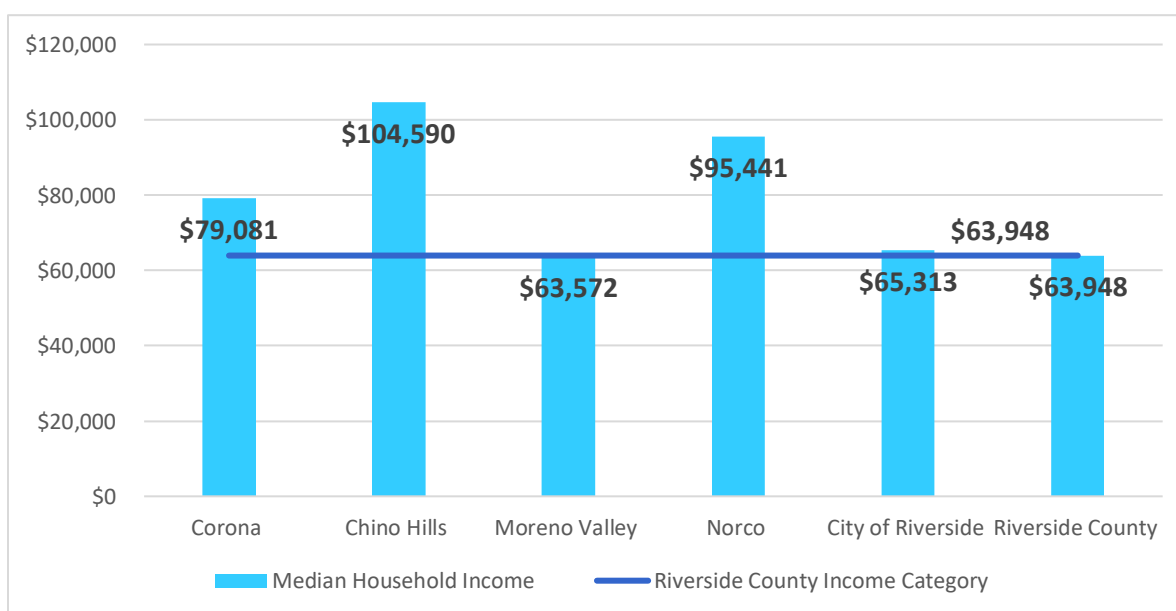
Source: AFFH Data Viewer, 2021

INCOME

Identifying LMI geographies and individuals is important to overcome patterns of segregation. HUD defines a LMI area as a Census tract or block group where over 51 percent of the population is LMI (based on HUD income definition of up to 80 percent of the AMI). Household income is directly connected to the ability to afford housing. Higher income households are more likely to own rather than rent housing. As household income decreases, households tend to pay a disproportionate amount of income for housing and the likelihood of residing in overcrowded or substandard housing increases. Households with incomes below the poverty level, which are typically households classified as extremely low and very low incomes, may require special programs to assist them in meeting their rent and mortgage obligations.

Household incomes in Corona tend to be higher than the County as a whole. The ACS estimates the median household income in Corona at \$73,594, compared to \$60,807 in the County. Figure 8 compares household incomes in Corona, surrounding cities, and the Riverside region.

Figure 8: Median Household Income



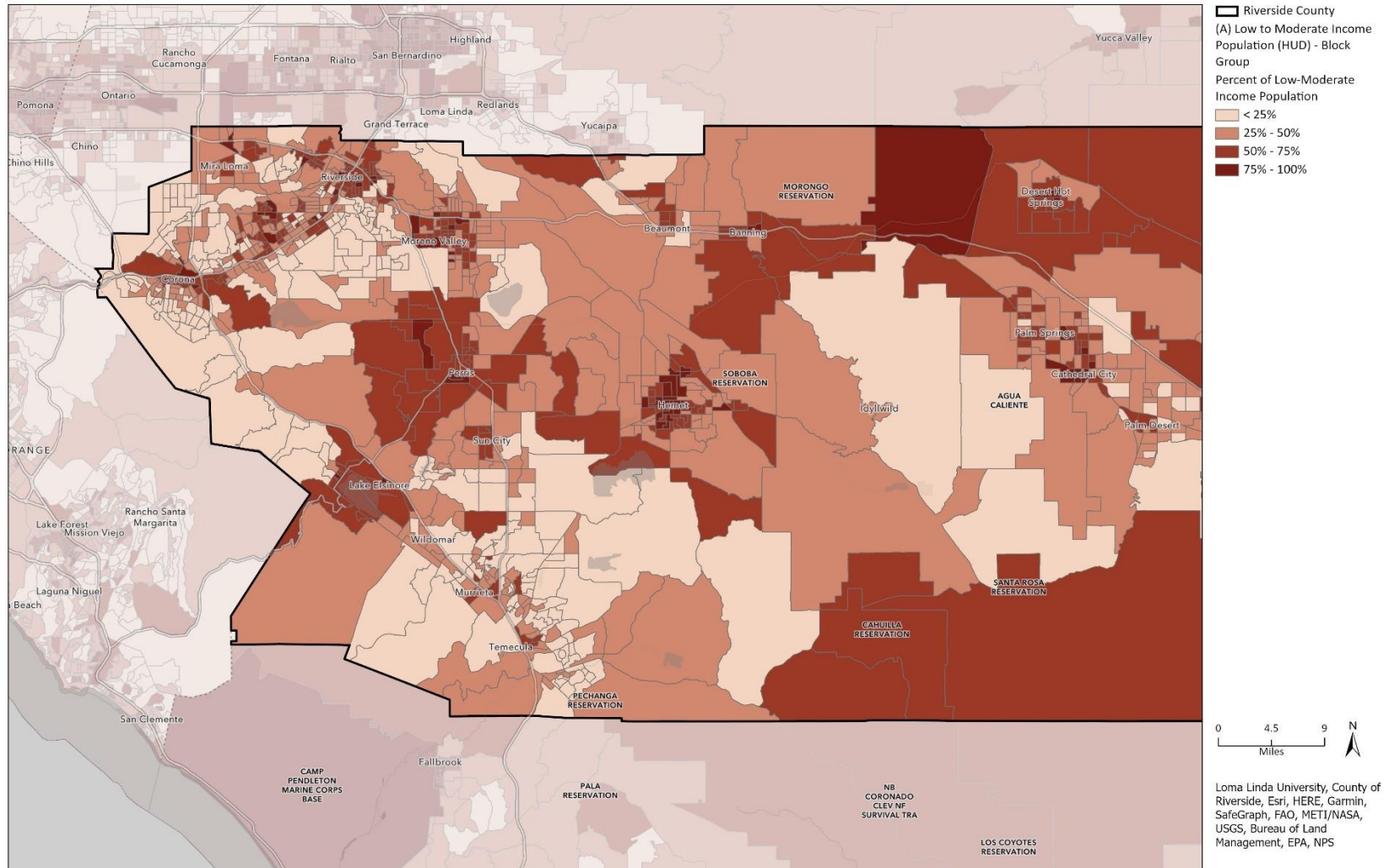
Source: Bureau of the Census, American Community Survey American Community Survey, 2014-2018.

Less than 14 percent of Corona households earned less than \$25,000 (2014-2018 ACS data). In contrast, about 39 percent of Corona households earned \$100,000 or more. Corona had a higher percentage of moderate to higher income households than Riverside County as a whole.

County of Riverside Trends

Figure 9 shows the LMI areas in the County by census block group. LMI areas are in the urban centers such as the City of Riverside and Perris and in the eastern rural areas of the County near Desert Hot Springs and the Cahuilla and Santa Rosa Reservations.

Figure 9: LMI Areas: Riverside County



Source: AFFH Data Viewer, 2021

City of Corona Trends

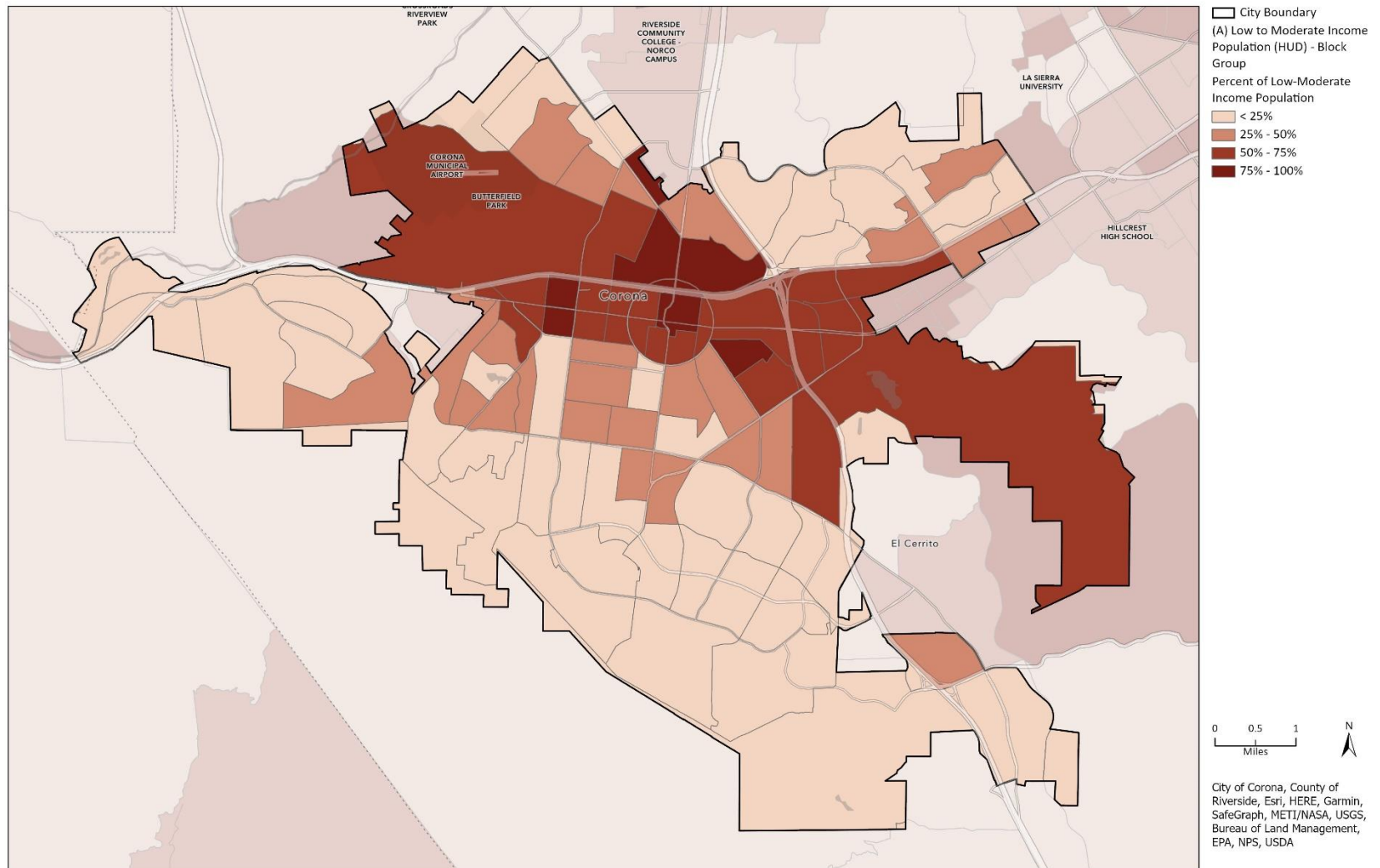
The 2014-2018 ACS identified 10.5 percent of all Corona residents as living in households with incomes below the poverty level, including 12.9 percent of all people under 18 years of age, and 11.1 percent of all people 65 years of age and over. As shown below in Table 7, approximately 60.1 percent of Corona households earned moderate or above moderate-incomes, while 39.8 percent of households were classified as lower-income.

Table 7: City of Corona Households by Income Category

Income Category (Percent of County AMI)	Households	Percent
Extremely Low (30% or less)	3,159	8.8%
Very-Low Income (<50% of AMI)	5,610	15.6%
Low Income (50-80% of AMI)	5,403	15.0%
Moderate Income (80-120% of AMI)	4,320	12.0%
Above Moderate Income (> 120%)	17,424	48.5%
Total	35,916	100.0%
Source: ACS 2014-2018		

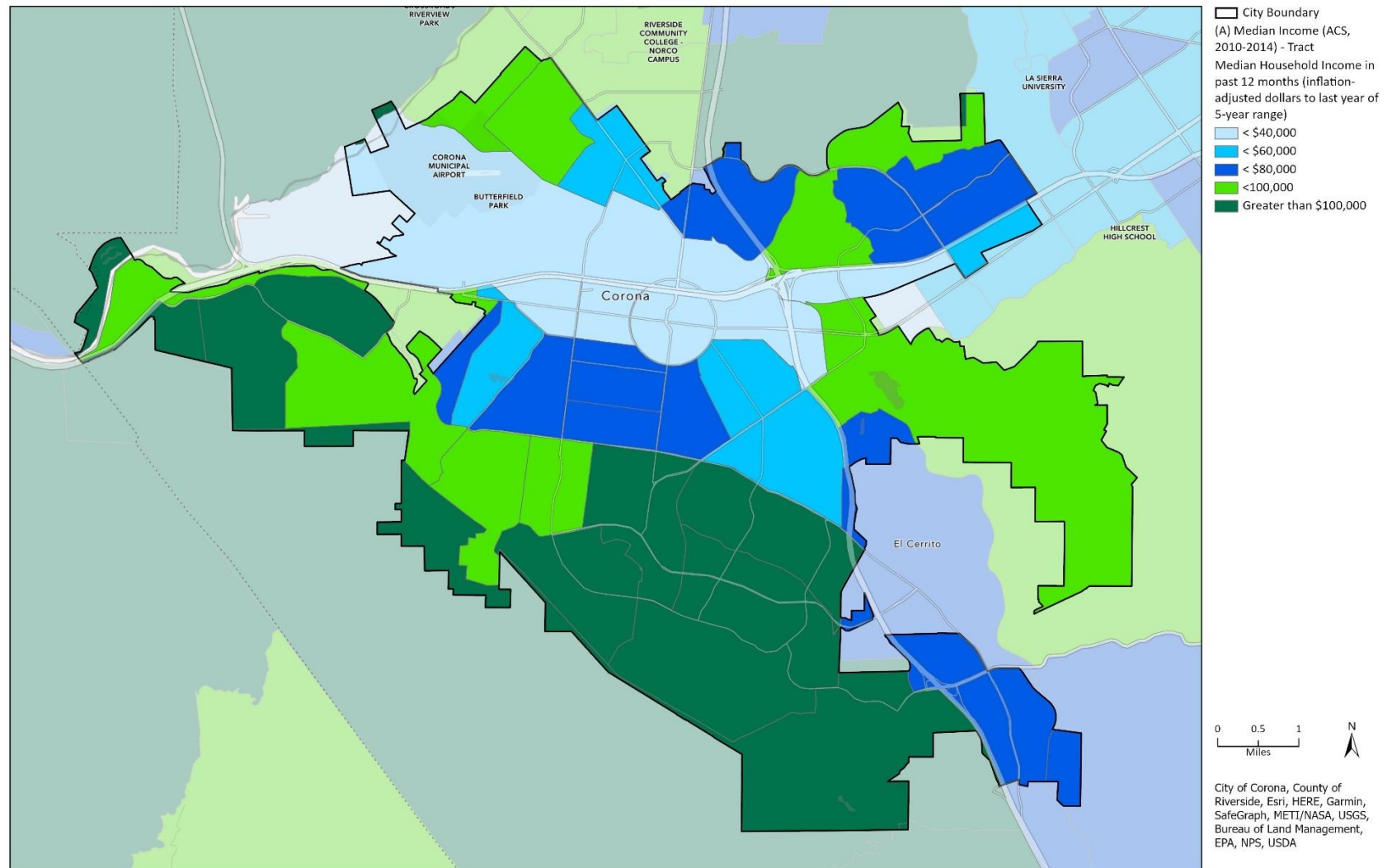
Figure 10 shows the LMI areas in Corona by census block group. LMI areas are concentrated east-west in the central part of the city, including the downtown area and north and south of SR-91, surrounding the Corona municipal airport, and east of Magnolia Avenue. Figure 11 shows the median income by census tract in the City. Correspondingly, areas of lower median income are located in the central portion of the City, and also in the northeastern area north of SR-91 and east of I-15. Areas of higher median income are located in the south and western areas, generally west and south of Via Del Rio, Via Pacifica, and W. Ontario Avenue. It should be noted that some of the areas identified on the figure do not have residential uses, including the area identified as having 25-50 percent LMI population that is east of I-15 and south of Liberty Avenue in the southeastern portion of the city.

Figure 10: LMI Areas: Corona



Source: AFFH Data Viewer, 2021

Figure 11: Median Household Income: Corona



Source: AFFH Data Viewer, 2021

RACIALLY AND ETHNICALLY CONCENTRATED AREAS OF POVERTY

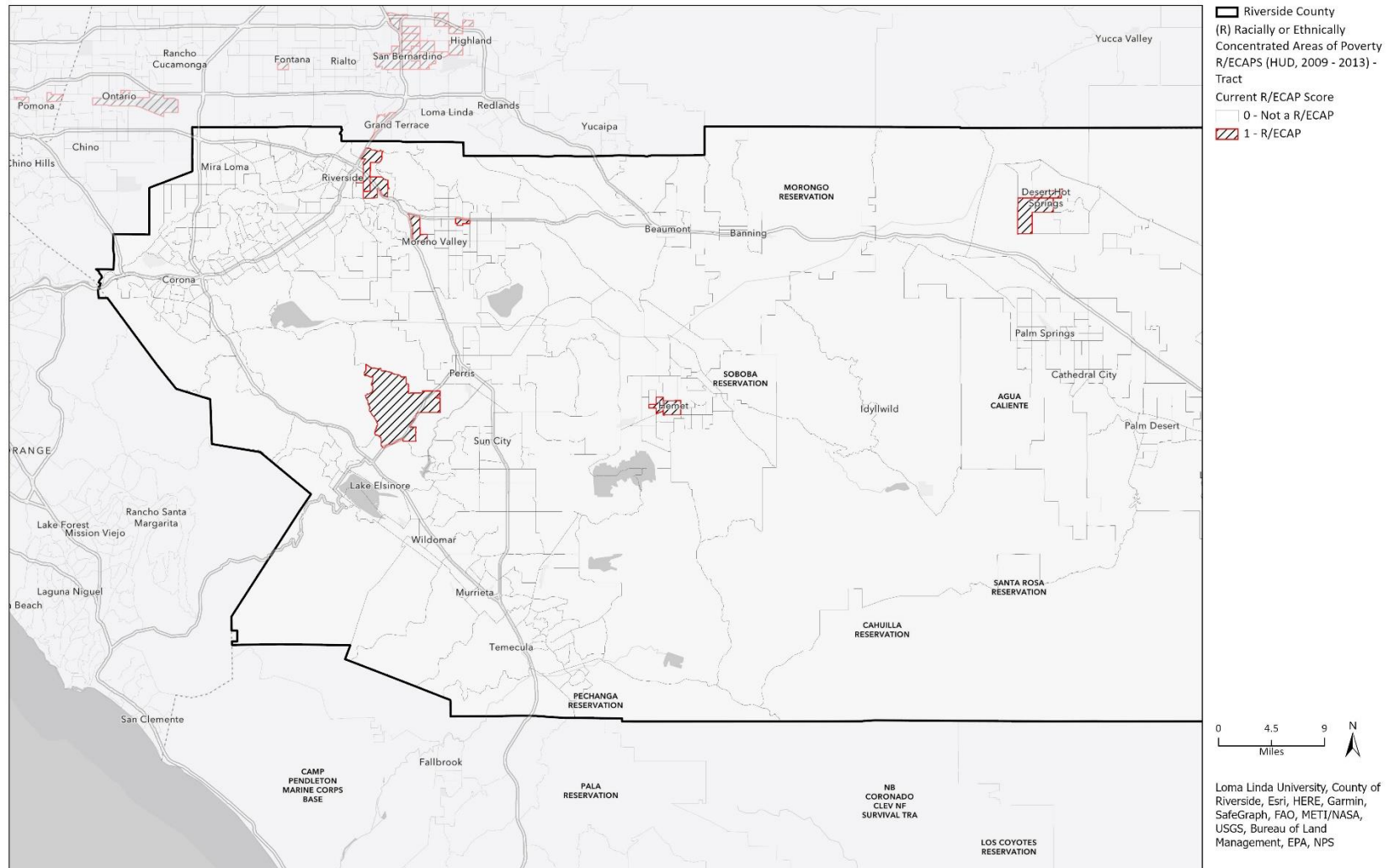
To assist communities in identifying racially and ethnically concentrated areas of poverty (also known as R/ECAPs), HUD developed a definition that relies on a racial and ethnic concentration threshold, as well as a poverty test. For an area to be identified as having a racial and ethnic concentration, the threshold is that a R/ECAP have a non-White population of 50 percent or more, within metropolitan or micropolitan areas. In locations outside these areas, where the non-White populations are likely to be much smaller than 50 percent, the threshold is set at 20 percent. The poverty test defines areas of “extreme poverty” as those where 40 percent or more of the population lives at or below the federal poverty line, or those where the poverty rate is three times the average poverty rate in the metropolitan area, whichever is less. An area that meets either the racial or ethnic concentration and also meets the poverty test would be considered a RECAP.

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs 19 through 28 in the Housing Element focus on the City’s efforts to affirmatively reduce barriers to housing, including but not limited to, racial inequities, high housing costs, and public awareness of existing resources. Poverty and segregation work to exasperate existing impediments in Corona, such as concentrations of LMI populations, language barriers, lending discrimination, and overcrowded conditions.

County of Riverside Trends

In Riverside County, there are R/ECAPs scattered in small sections of Riverside, Moreno Valley, and Hemet, as shown in Figure 12. Larger R/ECAP clusters can be seen in the western part of the county near Meadowbrook between Lake Elsinore and Perris, and in the eastern part of the county in Desert Hot Springs.

Figure 12: R/ECAPs: Riverside County

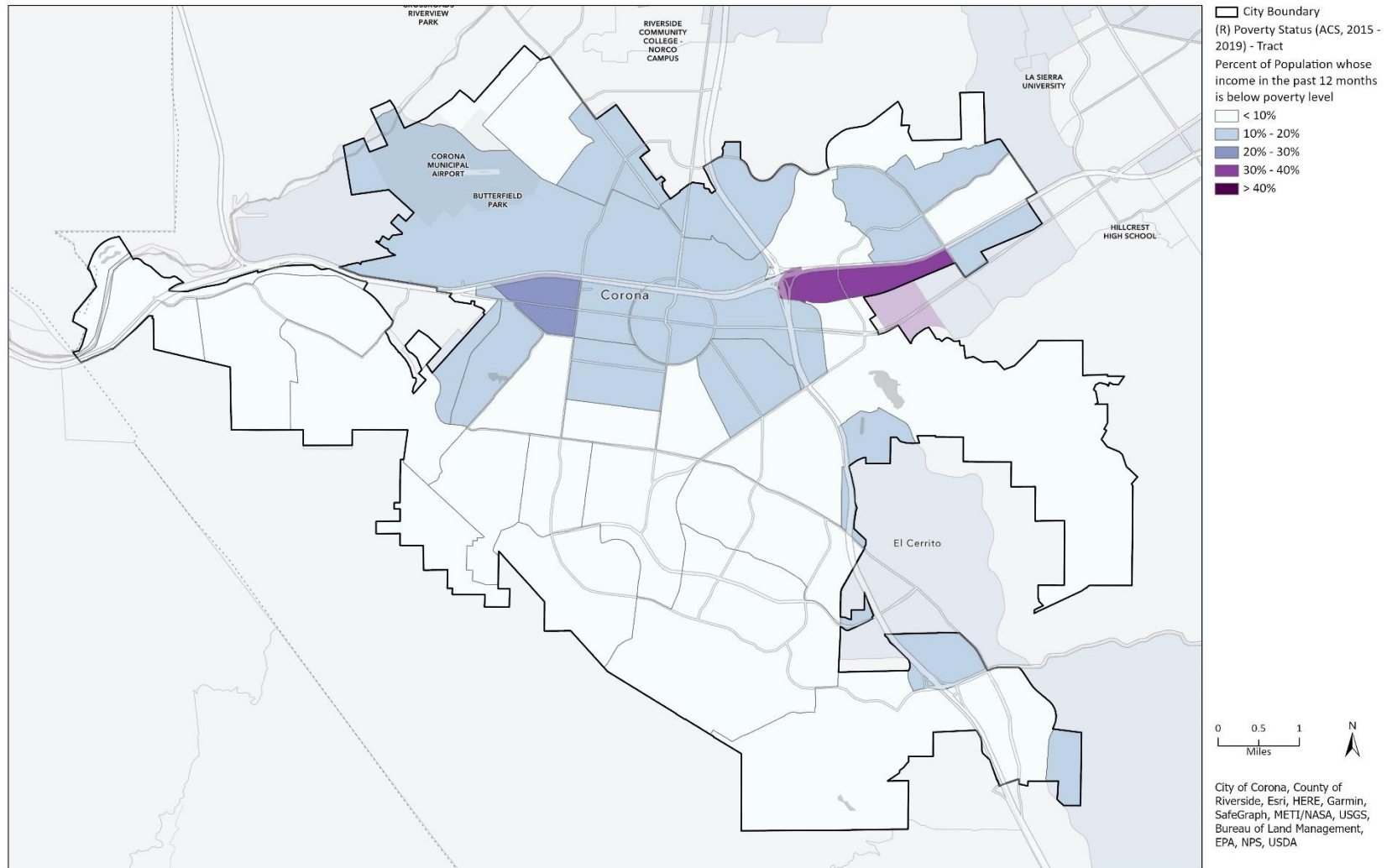


Source: AFFH Data Viewer, 2021

City of Corona Trends

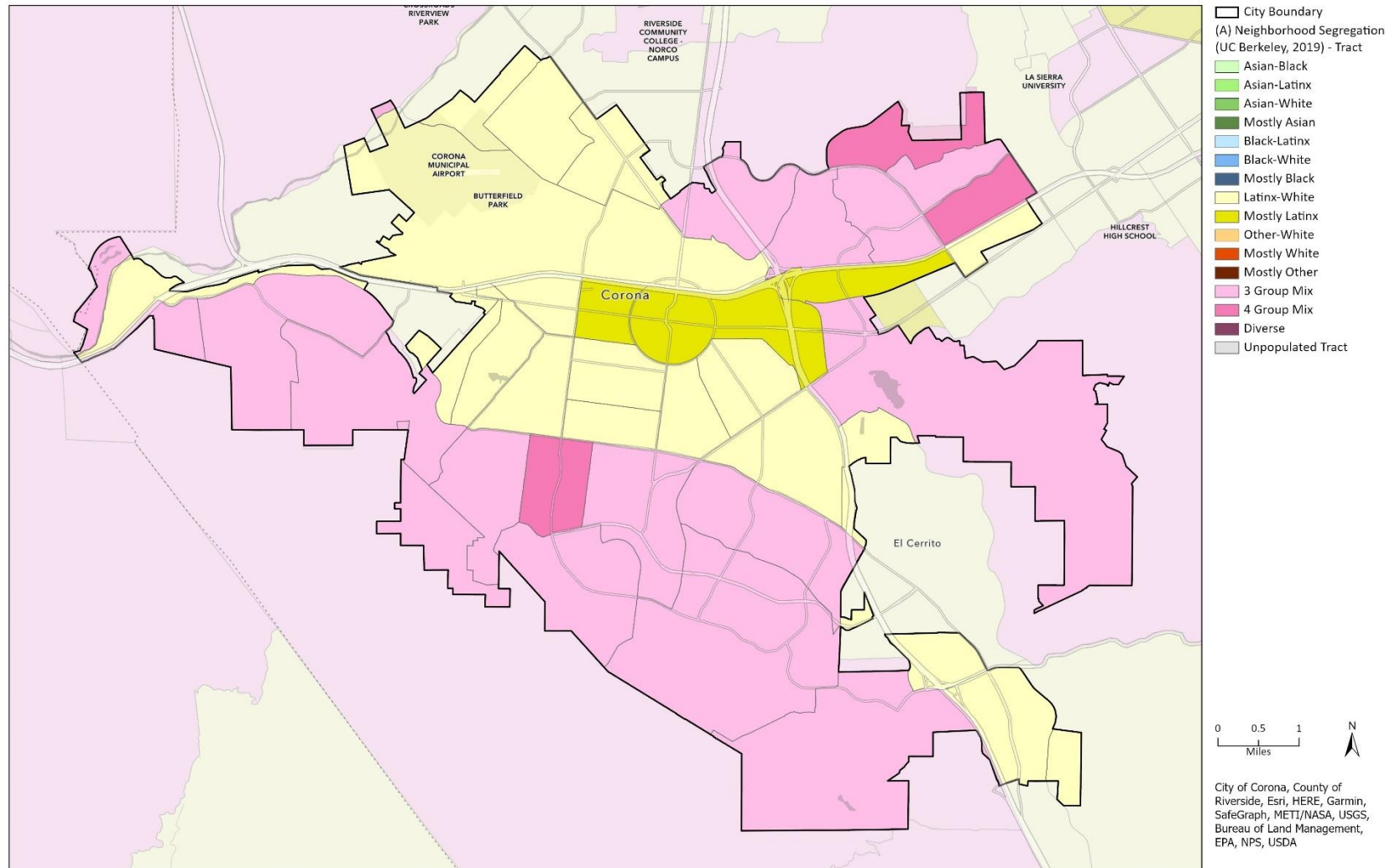
Corona does not have any R/ECAP areas. Figure 13 shows concentrated areas of poverty in the City by census tract, with an area of high segregation and poverty in the eastern area of the city south of SR-91 and north of Sampson Avenue. However, this area is generally industrial with few if any residences. Generally, Corona's areas of poverty (between 10 and 30 percent of the population) are concentrated in the downtown area and north and south of SR-91, with some pockets in the eastern portions of the City. It should be noted that some of the areas identified on the figure do not have residential uses, including the areas identified as having 10-20 percent poverty that are east of I-15 and south of Liberty Avenue in the southeastern portion of the city. Areas of racial/ethnic segregation exist mainly in the downtown areas, as shown in Figure 14. Taken together, Corona's areas of segregation and poverty exist mainly in the downtown core east of S. Lincoln Avenue and west of I-15, north of W. 10th Street/W. Grand Boulevard/Circle City Drive, and south of SR-91.

Figure 13: Areas of Poverty: Corona



Source: AFFH Data Viewer, 2021

Figure 14: Areas of Segregation: Corona



Source: AFFH Data Viewer, 2021

CONCENTRATED AREAS OF AFFLUENCE

While racially R/ECAPs have long been the focus of fair housing policies, racially concentrated areas of affluence (RCAAs) must also be analyzed to ensure housing is integrated, a key to fair housing choice. According to a policy paper published by HUD, RCAA is defined as affluent, white communities. According to HUD's policy paper, whites are the most racially segregated group in the United States and in the same way neighborhood disadvantage is associated with concentrated poverty and high concentrations of people of color, conversely, distinct advantages are associated with residence in affluent, white communities." RCAAs have not been studied extensively nor has a standard definition been published by HCD or HUD, this fair housing assessment uses the percent white population and median household income as proxies to identify potential areas of affluence.

County of Riverside Trends

Figure 1 shows concentrations of majority non-white populations, with the areas with the least non-white populations in the desert communities in the eastern area of the county (Palm Springs, Palm Desert, and surrounding communities).

City of Corona Trends

As shown in Figure 14, Corona does not have any majority white communities. It has areas of concentrated Latino/Hispanic populations, but mainly areas that are "mostly Latino" or "group mix."

DISPARITIES IN ACCESS TO OPPORTUNITY

Access to opportunity is a concept to approximate place-based characteristics linked to critical life outcomes. Access to opportunity often means both improving the quality of life for residents of low-income communities, as well as supporting mobility and access to "high resource" neighborhoods. This encompasses education, employment, economic development, safe and decent housing, low rates of violent crime, transportation, and other opportunities, including recreation, food and healthy environment (air, water, safe neighborhood, safety from environmental hazards, social services, and cultural institutions).

TRANSIT

Access to public transit is of paramount importance to households affected by low incomes and rising housing prices. Public transit should strive to link lower income persons, who are often transit dependent, to major employers where job opportunities exist. Access to employment via public transportation can reduce welfare usage and increase housing mobility, which enables residents to locate housing outside of traditionally low-income neighborhoods.⁴ The lack of a relationship between public transit, employment opportunities, and affordable housing may impede fair housing choice. Persons who depend on public transit may have limited choices regarding places to live.

⁴ Ong, Paul and Evelyn Blumenberg, "Job Accessibility and Welfare Usage: Evidence from Los Angeles." UCLA Department of Policy Studies, (1998).

County of Riverside Trends

Riverside County residents in urban and suburban areas generally access to transportation infrastructure, which includes the RTA bus system, the Sun Line Transit Agency in the Palm Springs area, Palo Verde Transit Agency in the Blythe area, the Riverside Metrolink Station, with links to San Bernardino County's Omnitrans system as well as to Amtrak, the Corona Transit Center, and the West Corona Metrolink Station. Public transit providers serve large portions of the western side of the County.

Transit use is higher in parts of the region where the greatest investment in transit service has been made. Almost all major employment centers in Riverside are served by some form of public transit. However, having regional access to jobs by means of public transit does not necessarily translate into stable employment. Low-income workers, especially female heads of household with children, have unique travel patterns that may prevent them from obtaining work far from home, regardless of access to public transit. Women in general are disproportionately responsible for household-supporting activities such as trips to grocery stores or accompanying young children to and from schools.

AllTransit is an online database that provides details on transit opportunity throughout the United States. The website explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. The participating jurisdictions in the County received an average AllTransit performance score of 3.3.⁵ AllTransit performance score explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. A score of 3.3 means there is, overall, a low combination of trips per week and number of jobs accessible enabling few people to take transit to work.

City of Corona Trends

According to AllTransit, 1.65 percent of workers in Corona take public transportation to work. The City has an AllTransit Performance Score of 2.5, less than the County as a whole. Four RTA routes serve the city.

EDUCATION

County of Riverside Trends

TCAC Opportunity Areas map for education provides an overview of education outcomes across the county. As shown in Figure 15, areas of more positive educational outcomes are located in the western portion of the county and near Beaumont and Palm Desert. The TCAC Opportunity methodology included test scores, high school graduation rates, and school poverty rates.

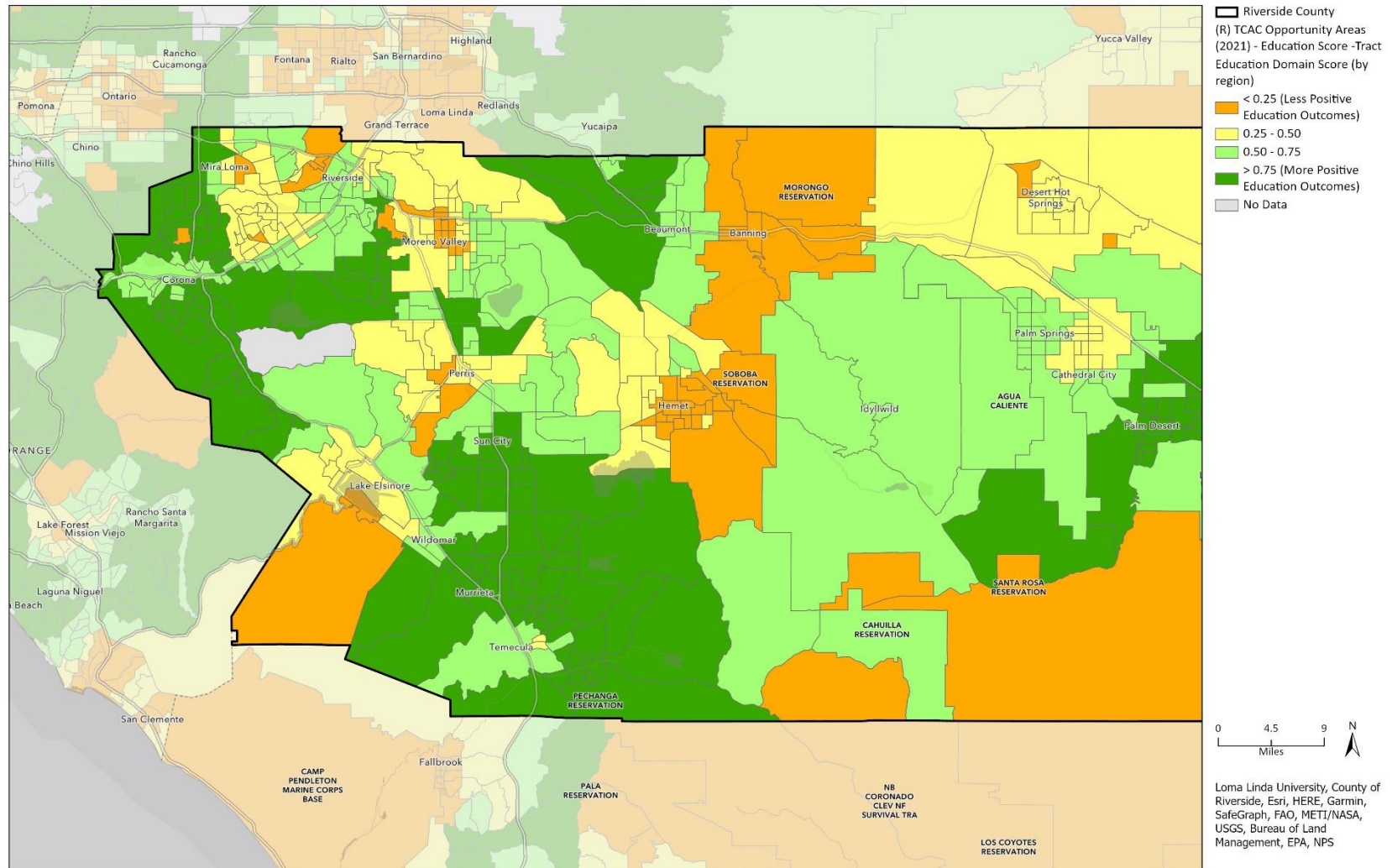
Kidsdata.org, a program of the Lucile Packard Foundation for Children's Health, estimated that 27.6 percent of children aged 0-17 in Riverside County were living in low-income working families between 2013 to 2017.⁶ Additionally, 21.3 percent of families with children aged 0-17 in the county were

⁵ <https://alltransit.cnt.org/>

⁶ Definition of "low income working family": children ages 0-17 living in families with incomes below 200 percent of their federal poverty threshold and with at least one resident parent who worked at least 50 weeks in the 12 months prior to the survey

below the poverty level between 2013-2017 and 5.1 percent of public school students experienced homelessness. Cost burden is also an issue in Riverside County, as 42.6 percent of households with school age children experienced high housing cost burden between 2014-2018.

Figure 15: TCAC Opportunity Areas of Education: Riverside County



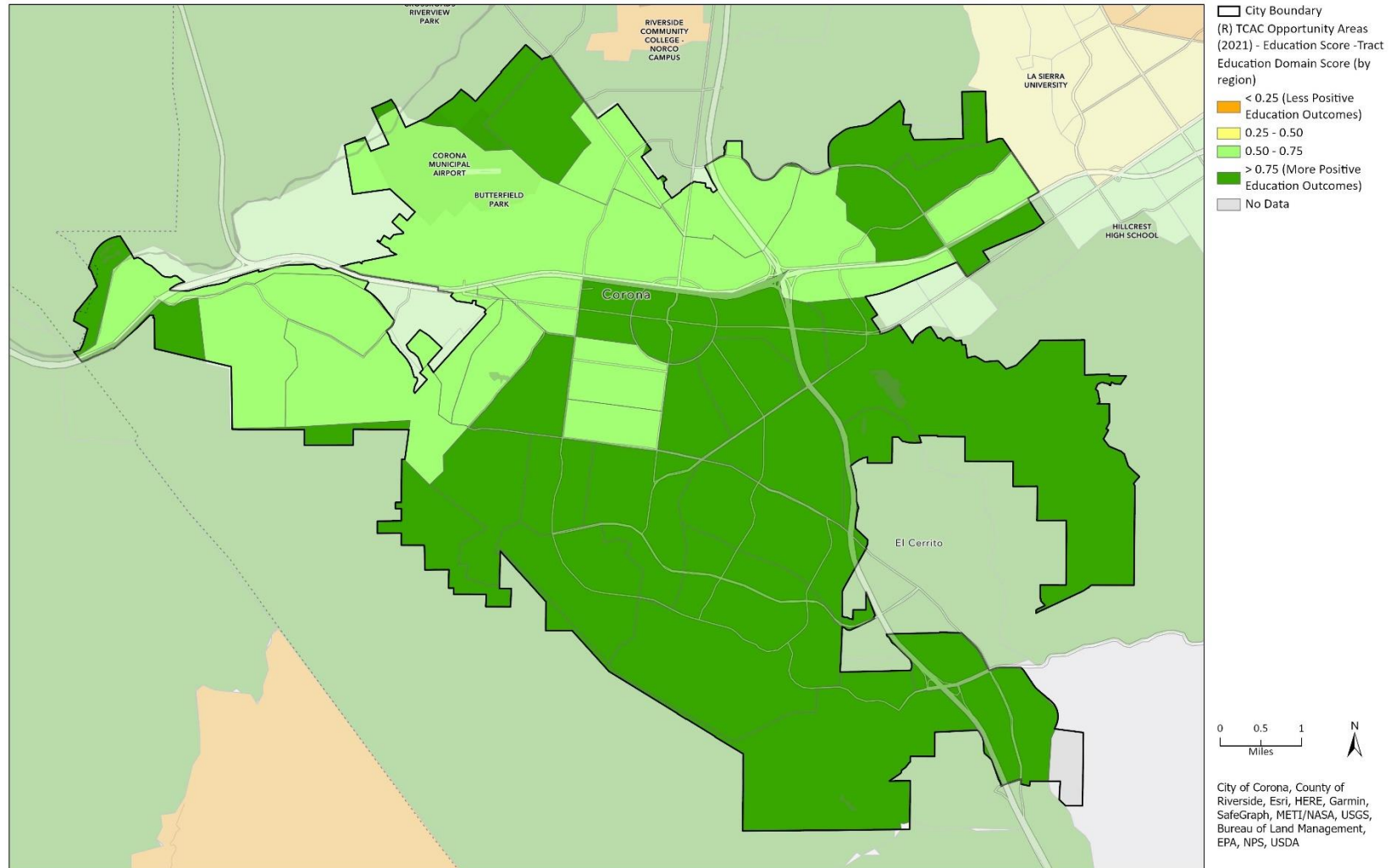
Source: TCAC/HUD, 2021

City of Corona Trends

Youth in Corona are served by the Corona Norco Unified School District (CNUSD). Although the City does not have direct control over the school district, City and CNUSD staff work closely to ensure that access, safety, and opportunity is continually provided. Figure 16 shows Corona's TCAC scores related to access to education on a census tract level. In general, the City does not have large disparities in educational outcomes. Educational outcome scores are higher in the southern portion of the City with the exception of areas to the very north and east, but no portion of the City has low outcome scores.

Kidsdata.org estimated that 19.6 percent of children aged 0-17 in CNUSD were living in low-income working families between 2012 and 2016, which is lower than the 27.6 percent low-income rate in the County as a whole. Additionally, 21.3 percent of families with children aged 0-17 in the CNUSD were below the poverty level between 2013-2017 and 0.7 percent of public school students were homeless. Similar to Riverside County, 42.3 percent of households with school age children experienced a high housing cost burden, according to 2014-2018 ACS data.

Figure 16: TCAC Opportunity Areas of Education: Corona



Source: TCAC/HUD, 2021

EMPLOYMENT

County of Riverside Trends

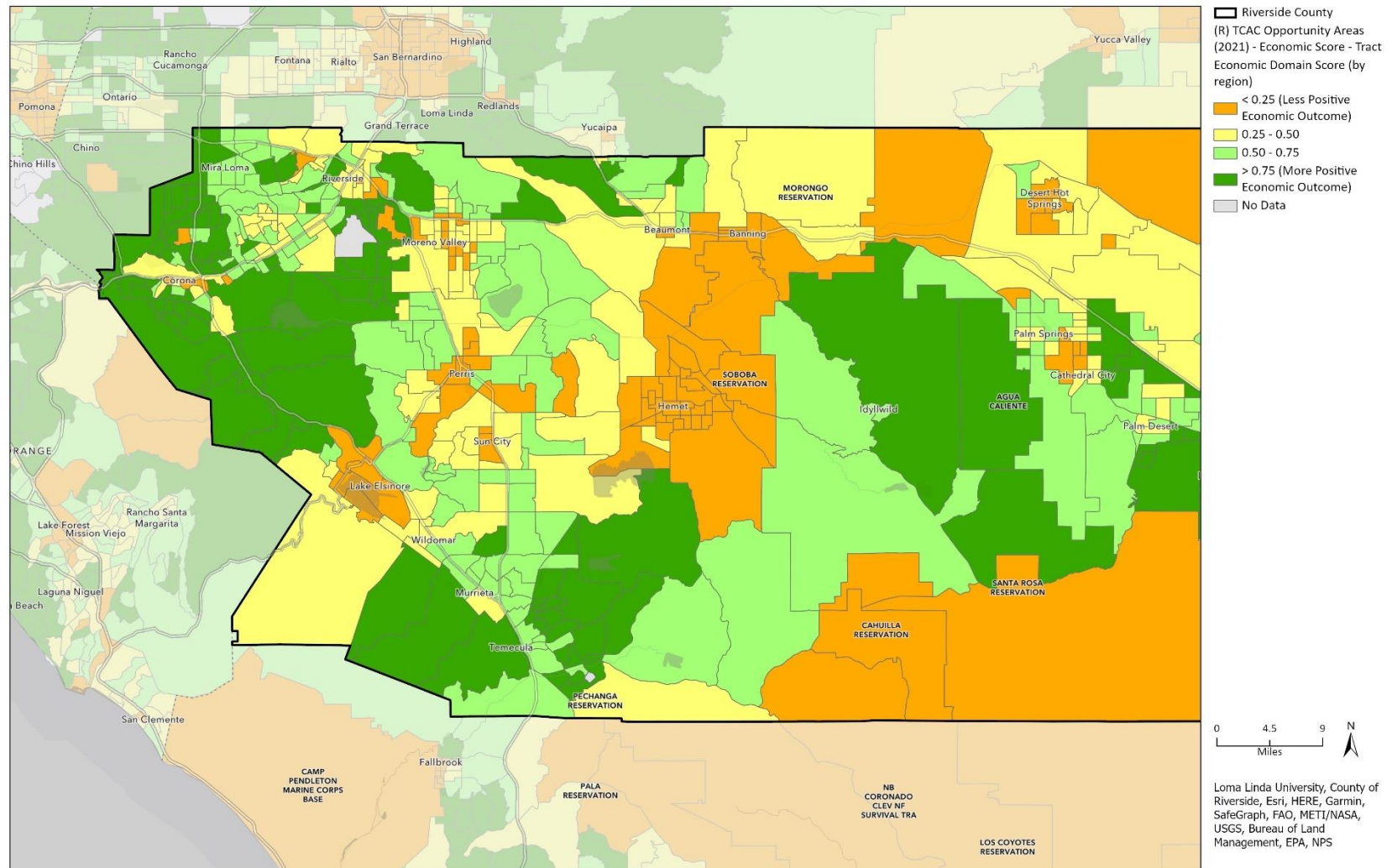
According to the California Employment Development Department, the unemployment rate of Riverside County was 7.2 percent in May 2021 (not seasonally adjusted).⁷ Riverside's top 10 employers are primarily in the medical, education, and municipal sectors. While one major retail company, Amazon, remains among the top ten County employers, it is surpassed by the U.S. Military, a major university, and a regional government bureaucracy in terms of numbers of employees. A high proportion of managerial/professional and sales/office occupations are held by Riverside County residents.

According to HUD, "The labor market engagement index provides a summary description of the relative intensity of labor market engagement and human capital in a neighborhood. This is based upon the level of employment, labor force participation, and educational attainment in a census tract" (AFFH-T Data Documentation 2017). Educational attainment is a measure of those within a census tract who have achieved a bachelor's degree or higher. Values are ranked by national percentile and range from 0 to 100. The higher the score, the higher the labor force participation and human capital in a neighborhood. The group with the highest Labor Market Index scores in both the jurisdiction and the region is Asians or Pacific Islander residents, at 40.96. This group is followed by white residents, at 35.68; Black residents, at 29.68; then Native American residents, at 27.08, and Hispanic residents, at 25.01. HUD attempts to correct for income disparities by statistically separating out the population below the federal poverty level. For Riverside residents below the poverty line, the numbers decrease by an average of 7.28 points, with the largest decrease, 10.34 percent, occurring among Asians and Pacific Islander residents in poverty.

Figure 17 shows the TCAC Opportunity Areas map for economic outcomes across the county. Areas of more positive economic outcomes are located in the western portion of the county and near Temecula, Idyllwild, and in some of the desert communities in the eastern portion of the county.

⁷ <https://www.labormarketinfo.edd.ca.gov/data/labor-force-and-unemployment-for-cities-and-census-areas.html#Data>

Figure 17: TCAC Opportunity Areas of Economic Outcomes: Riverside County



Source: TCAC/HUD, 2021

City of Corona Trends

According to the 2014-2018 American Community Survey (ACS), there were 80,196 Corona residents in the labor force, representing a labor force participation rate of 62.5 percent of persons 16 years and over. Table 8 shows the number of persons employed in each job industry and the corresponding percentage of the labor force for the City. The largest occupational category for City residents was education/health care/social assistance. According to the California Employment Development Department, the unemployment rate of Riverside County was 5.8 percent in May 2021 (not seasonally adjusted).

Table 8: Jobs Held by Corona Residents

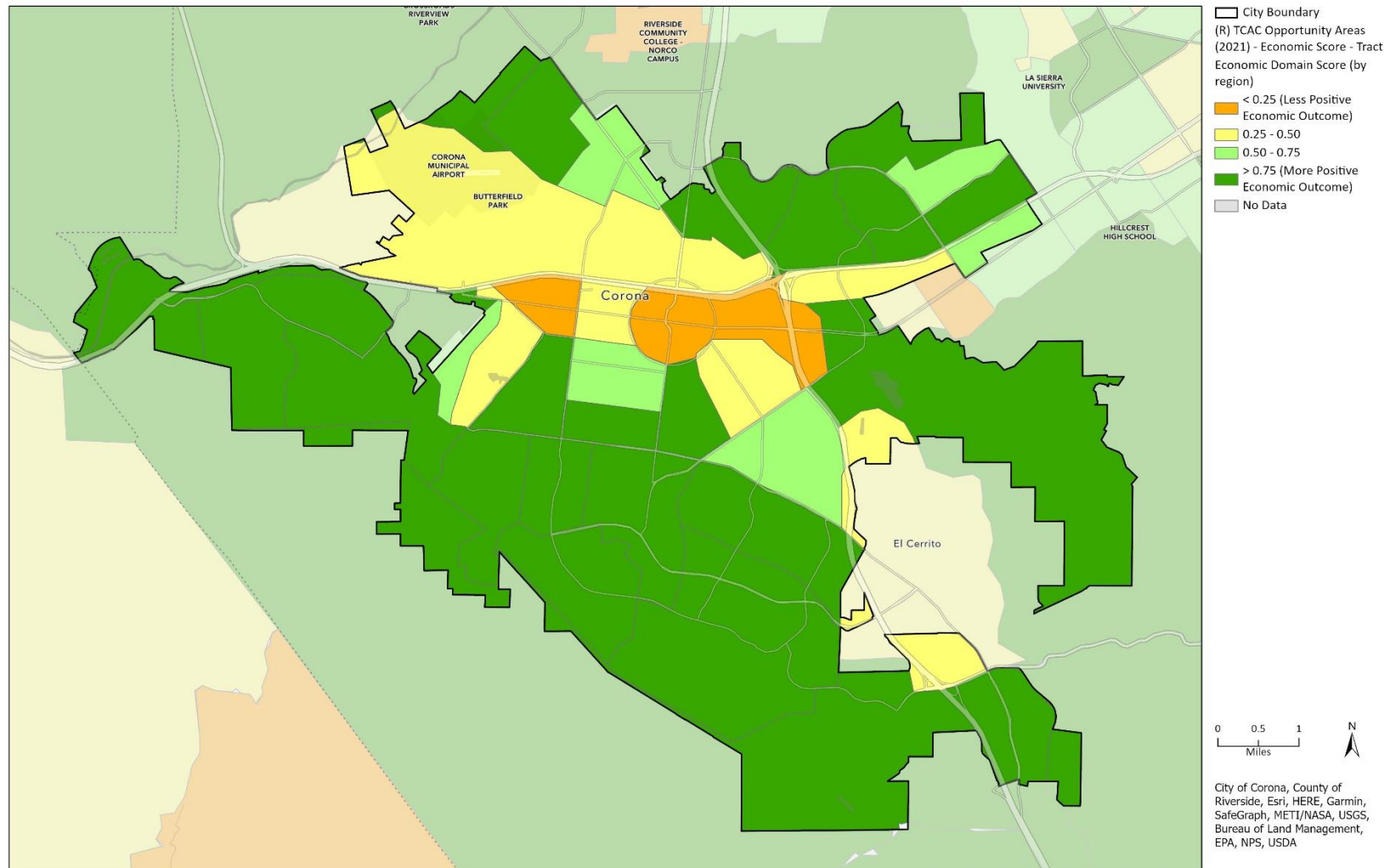
Job Industry	Number	Percent
Agriculture, forestry, fishing and hunting, and mining	160	0.2%
Construction	5,796	7.2%
Manufacturing	11,008	13.7%
Wholesale trade	2,893	3.6%
Retail trade	9,767	12.2%
Transportation and warehousing, and utilities	4,299	5.4%
Information	1,241	1.5%
Finance, insurance, real estate, and rental and leasing	5,045	6.3%
Professional, scientific, management, administration, and waste management	8,024	10.0%
Educational, health care, and social assistance	16,461	20.5%
Arts, entertainment, and recreation, accommodation, and food serves	7,487	9.3%
Other services, except public administration	3,800	4.7%
Public administration	4,215	5.3%
Total employed persons (16 years and over)	80,196	100%
Total persons in labor force	84,863	
Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018		

Corona's proximity to major transportation corridors makes this area an attractive location for firms seeking ready access to markets in the counties of Riverside, San Diego, Orange, Los Angeles, and San Bernardino. Several major employers are located within Corona. Major employers in the community include Corona-Norco Unified School District, Corona Regional Medical Center, and Kaiser Permanente.

Figure 18 shows the TCAC Opportunity Areas map for economic outcomes in the City. Areas of more positive economic outcomes are located in the south portion of the county and near the periphery of the

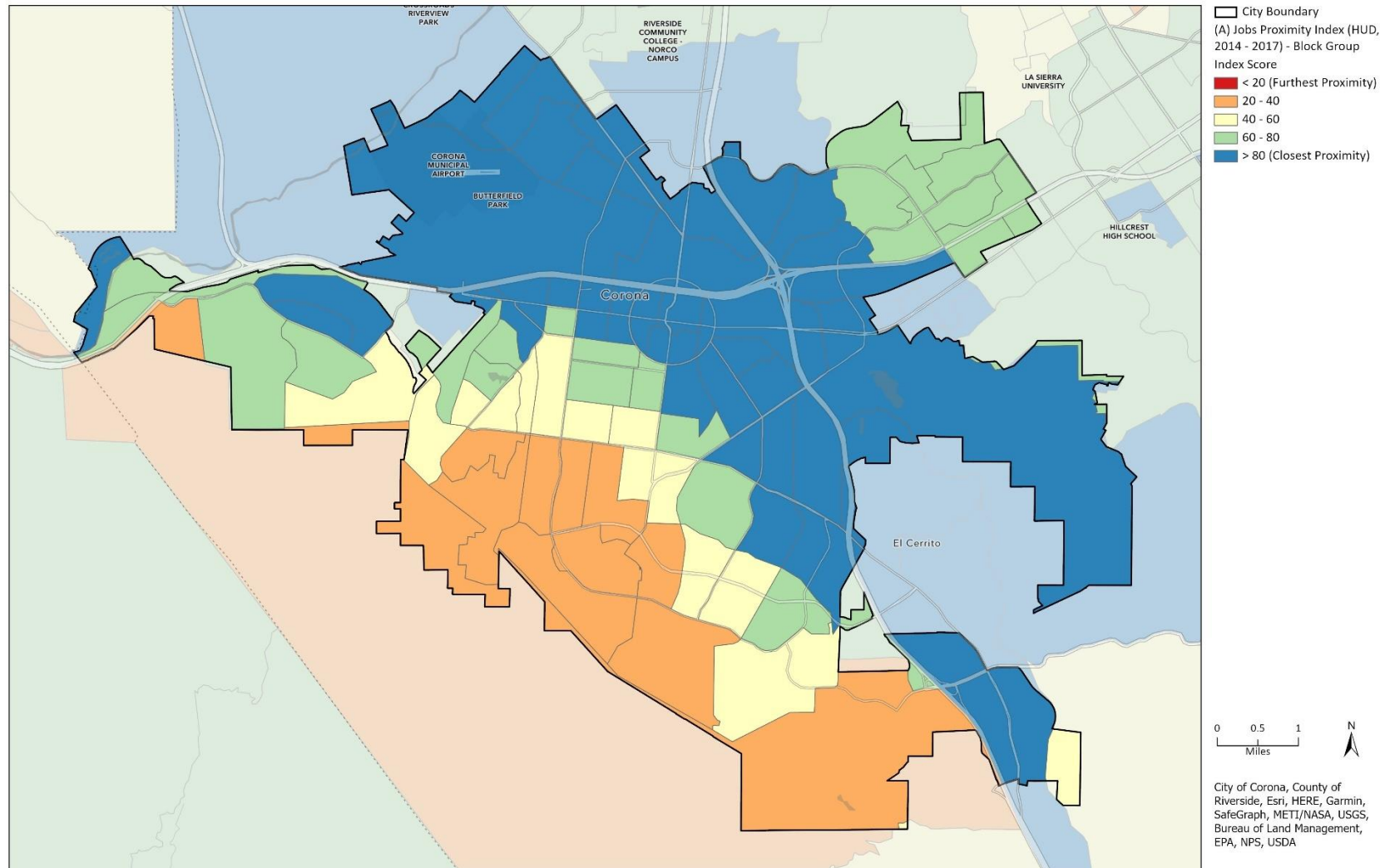
city center, while the downtown area, airport area, and industrial areas have a lower economic outcome score. However, according to Figure 19, the city center and industrial areas have a higher job proximity index than areas towards the City's peripheries. The City focuses on the economic opportunities in the downtown area. The Downtown Revitalization Plan addresses specific goals identified including investing in redevelopment of the downtown.

Figure 18: TCAC Opportunity Areas of Economic Outcomes: Corona



Source: TCAC/HUD, 2021

Figure 19: Job Proximity Index: Corona



Source: AFFH Viewer 2021

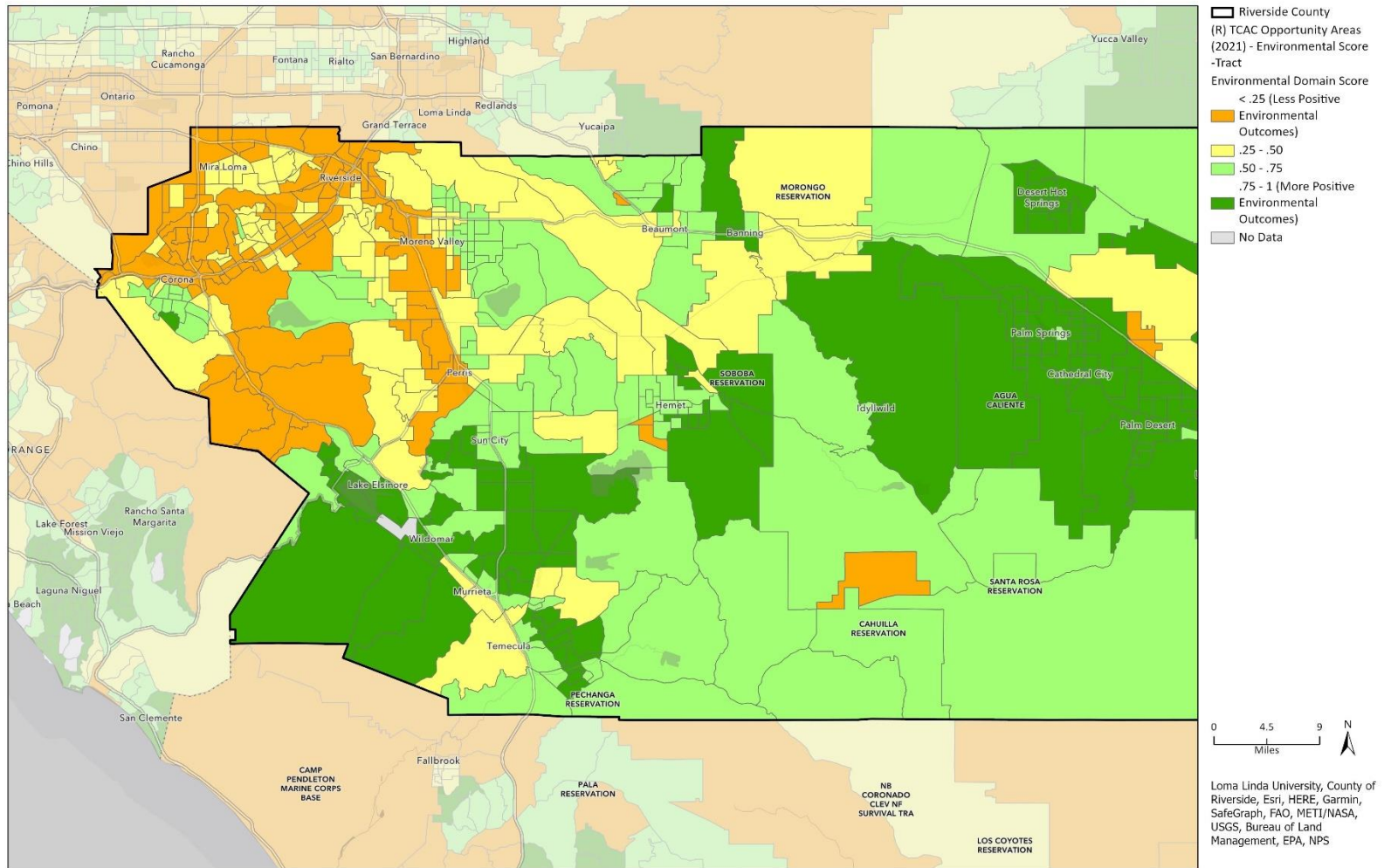
HEALTHY ENVIRONMENT

Access to a healthy environment is necessary for the communities found within the City to thrive. Healthy Environment in AFFH addresses patterns in the disparities found within the different neighborhoods and protected area groups. As previously mentioned, these disparities can vary from air quality, water quality, safe neighborhood, environmental hazards, social services, and cultural institutions. It is important to address these issues in order to keep from triggering the California laws AB 1550, SB 535 and SB 1000 which emphasize the importance of environmental justice for housing efforts. The California Office of Environmental Health Hazard Assessment (OEHHA) developed a screening methodology to help identify California communities disproportionately burdened by multiple sources of pollution called the California Communities Environmental Health Screening Tool (CalEnviroScreen). High scoring census tracts tend to be more burdened by pollution from multiple sources and are most vulnerable to its effects, taking into account socioeconomic characteristics and underlying health status.

County of Riverside Trends

The County's overall CalEnviroScreen map identifies pollution and hazardous areas within the County of Riverside. This is an important tool which allows for the analyzation of people's vulnerability to pollution and whether communities are considered an SB 535 disadvantaged community. CalEnviroScreen reports scores as percentiles to compare tracts across the entire county. Figure 20 shows the more urbanized, western portion of the County has less positive environmental outcomes.

Figure 20: CalEnviroScreen Percentile Scores: Riverside County



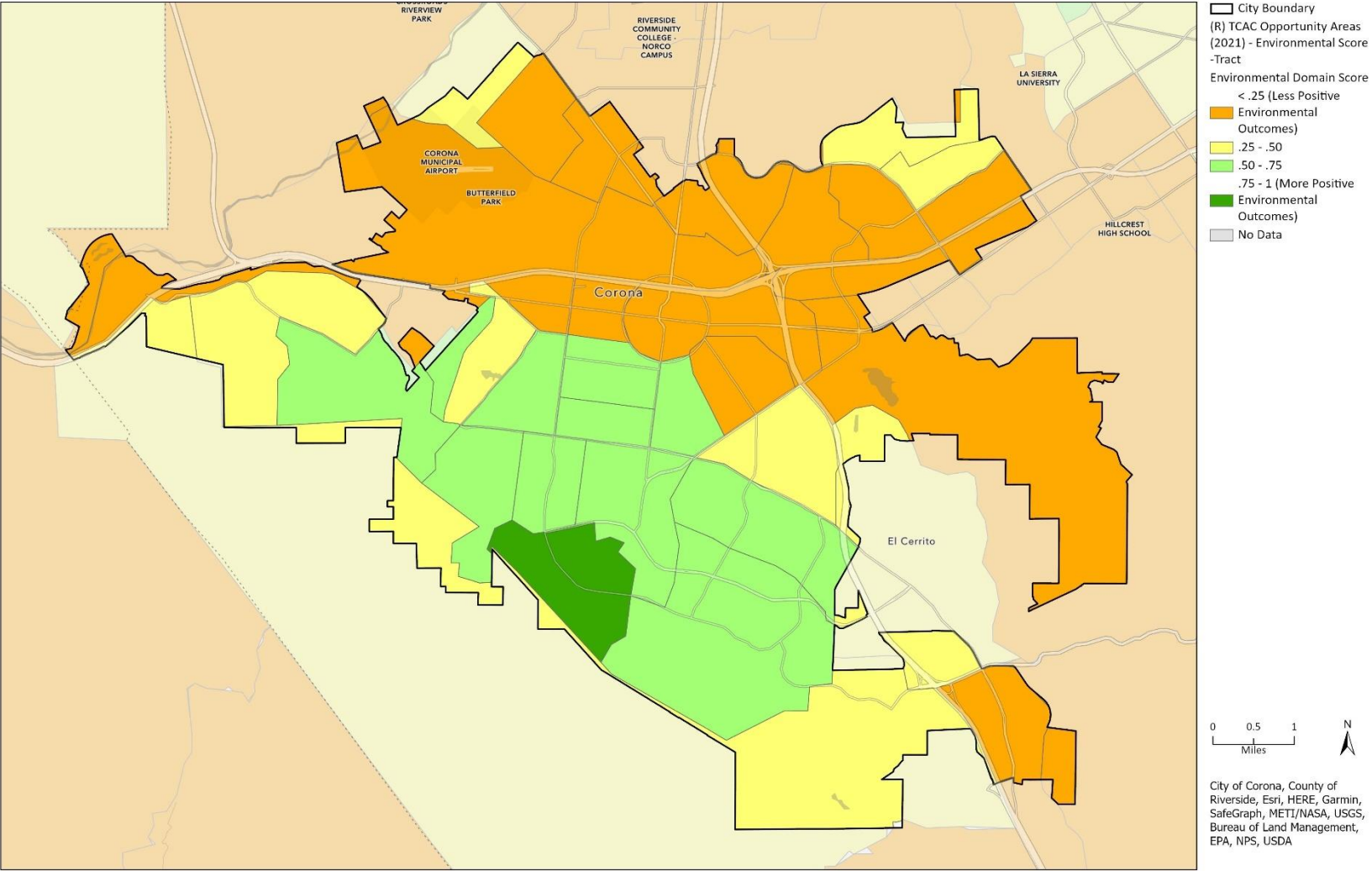
Source: AFFH Viewer 2021

City of Corona Trends

As shown in Figure 21, the City has a large disparity in environmental outcomes. The northern portion of the City, from downtown north, has less positive environmental outcomes than south of downtown, which are further from freeways and industrial areas and closer to undeveloped mountain land. Unsurprisingly, areas close to freeways in Corona have a high pollution burden for diesel particulate matter, ozone, and traffic.⁸ These areas also tend to have higher concentrations of poverty and racial/ethnic minorities.

⁸ <https://oehha.ca.gov/calenviroscreen/report/draft-calenviroscreen-40>

Figure 21: CalEnviroScreen Percentile Scores: Corona



Source: AFFH Viewer 2021

DISPROPORTIONATE HOUSING NEEDS

Disproportionate housing needs generally refers to a condition in which there are significant disparities in the proportion of members of a protected class experiencing a category of housing need when compared to the proportion of members of any other relevant groups, or the total population experiencing that category of housing need in the applicable geographic area. For purposes of this definition, categories of housing need are based on such factors as cost burden and severe cost burden, overcrowding, homelessness, and substandard housing conditions.

COST BURDEN

County of Riverside Trends

Cost burden is defined as the proportion of a household's total gross income spent on housing costs. Households spending a minimum of 30 percent of their total gross income on housing costs are considered cost burdened, whereas households spending over 50 percent on housing costs are considered severely rent burdened. Low-income households and persons in protected classes disproportionately experience severe housing problems. Housing problems include units with physical defects, overcrowded conditions, and housing cost burden. Low-income households tend to more often be renters than buyers.

According to the County of Riverside AI, there are a total of 683,145 households in Riverside County. Of those households, 337,325, or 49.38 percent, experience housing problems. Among those 337,325 households experiencing problems, 187,835, or 27.50 percent of the total, experience severe housing problems. Additionally, Hispanic and Black households within the jurisdiction experience housing problems and severe housing problems at disproportionately higher rates than the average. Specifically, 59.46 percent of Hispanic and 58.67 percent of Black residents experience housing problems, while 37.16 percent of Hispanic and 32.77 percent of Black residents experience severe housing problems. Asian residents in Riverside County experience severe housing problems disproportionately, at 28.19 percent, as compared to 27.50 percent of households in general. By contrast, white residents within the jurisdiction are far less likely to experience housing problems, making up 41.38 percent of those experiencing problems vs. 49.38 percent of the population on average. They are also less likely than average to experience severe housing problem, at 20.32 percent versus 27.50 percent for the general population.

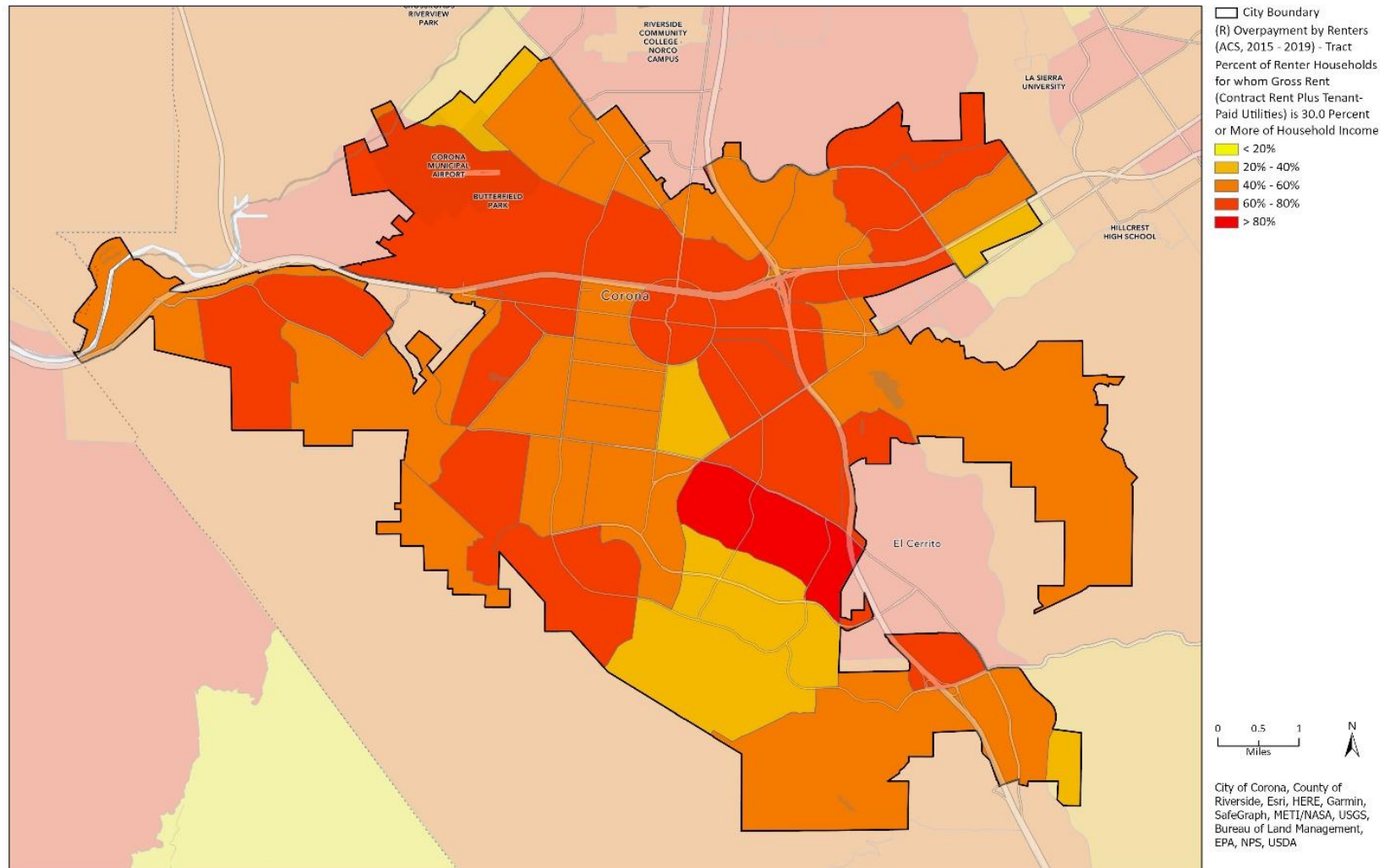
City of Corona Trends

When comparing by household types, a greater proportion of renter elderly, renter small family, and renter large family households faced housing problems than owner households of the same type. As discussed in the Housing Element, 61 percent of extremely low-income renter households in Corona spend more than 50 percent of their income on housing. Low-income households tend to more often be renters than buyers. Specifically, all extremely low, very low, and low-income renters in Corona reported experiencing at least one housing problem. Additionally, a higher-than-average portion of families who rent are housing-burdened (pay more than 30 percent of income on housing).

Figure 22 shows the areas of the City most likely to have overpayment by renters. The area most likely to incur overpayment by renters is south of W. Ontario Avenue and north of E. Chase Drive west of I-15. The downtown area and central part of the city, and the northeast area of the city near the Riverside Community College are also likely to have overpayment by renters. It should be noted that some of the

areas identified on the figure do not have residential uses, including the area identified as having 40-60 percent overpayment by renters that is east of I-15 and south of Liberty Avenue in the southeastern portion of the city.

Figure 22: Overpayment by Renters: Corona



Source: AFFH Data Viewer, 2021

OVERCROWDING

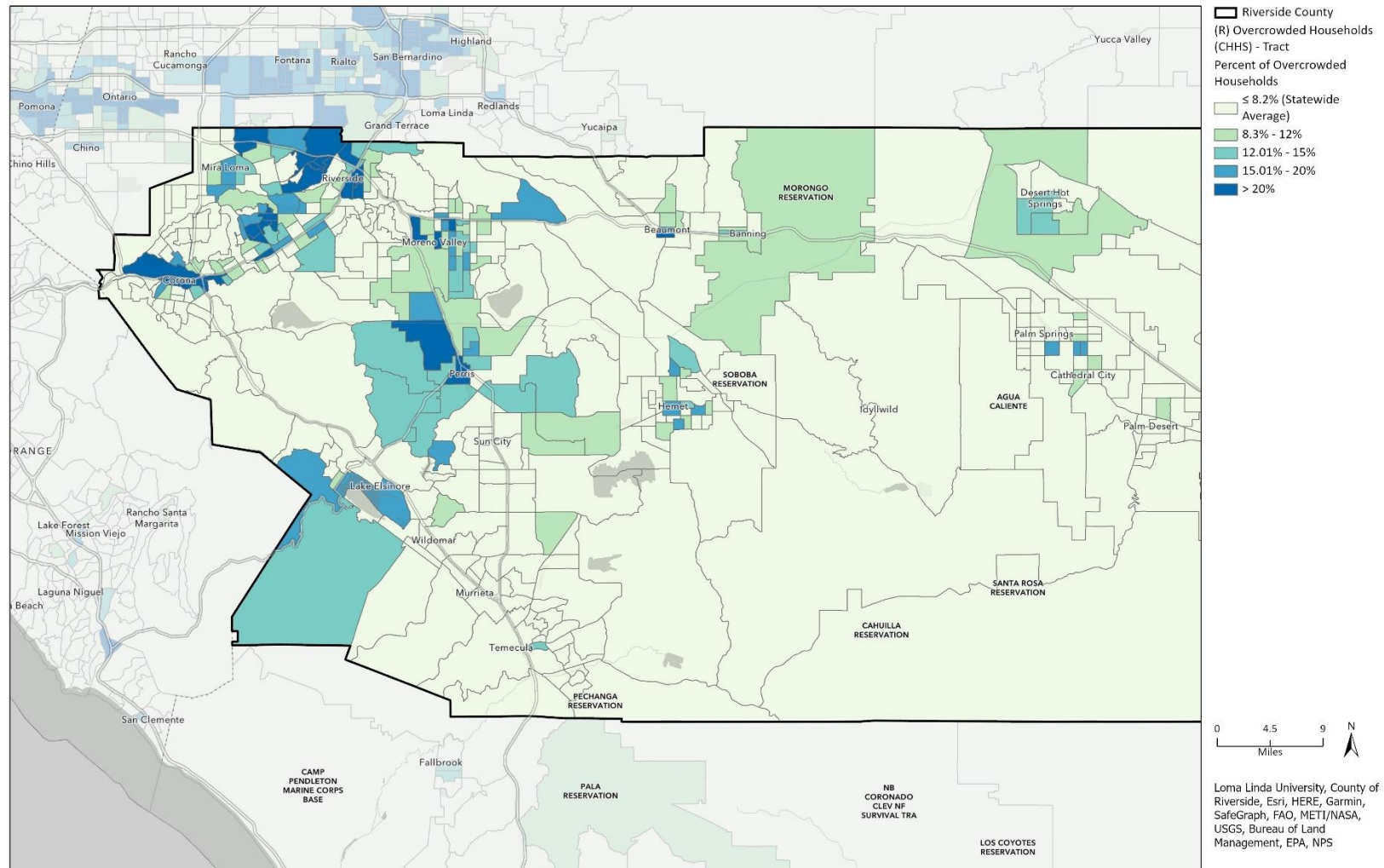
Overcrowding is defined as housing units with more than one person per room (including dining and living rooms but excluding bathrooms and kitchen) while severe overcrowding refers to more than 1.5 persons per room. Large families in general have special housing needs due to lower per capita income, the need for affordable housing, or the need for larger units with 3 or more bedrooms, resulting in overcrowding.

Some households may not be able to accommodate high cost burdens for housing but may instead accept smaller housing or reside with other individuals or families in the same home. Potential fair housing issues emerge if non-traditional households are discouraged or denied housing due to a perception of overcrowding. Household overcrowding is reflective of various living situations: a family lives in a home that is too small; a family chooses to house extended family members; or unrelated individuals or families are doubling up to afford housing. However, cultural differences also contribute to the overcrowded conditions since some cultures tend to have a larger household size than others due to the preference of living with extended family members. Not only is overcrowding a potential fair housing concern, it can potentially strain physical facilities and the delivery of public services, reduce the quality of the physical environment, contribute to a shortage of parking, and accelerate the deterioration of homes. As a result, some landlords or apartment managers may be more hesitant to rent to larger families, thus making access to adequate housing even more difficult. According to local fair housing service providers and property managers, addressing the issue of large households is complex as there are no set of guidelines for determining the maximum capacity for a unit. Fair housing issues may arise from policies aimed to limit overcrowding that have a disparate impact on specific racial or ethnic groups with higher proportion of overcrowding.

County of Riverside Trends

According to the County of Riverside AI, the County had 129,419 large families, 35.16 of which earned what would be considered low and moderate income for a family of four, with roughly 14.4 percent falling into the extremely low-income category. Large families experience housing problems disproportionately, at 64.48 percent, vs. 49.38 percent of households generally. 3,843 two-bedroom units and 2,995 three or more-bedroom units are available within subsidized housing programs within the County. In total, 32.01 percent, or 3,934 units, of the 12,287 total publicly supported housing program units are occupied by families with children. As shown in Figure 23, overcrowded housing is a greater issue in western Riverside County, mainly in urban centers such as the City of Riverside, Corona, and Perris.

Figure 23: Overcrowded Housing: Riverside County

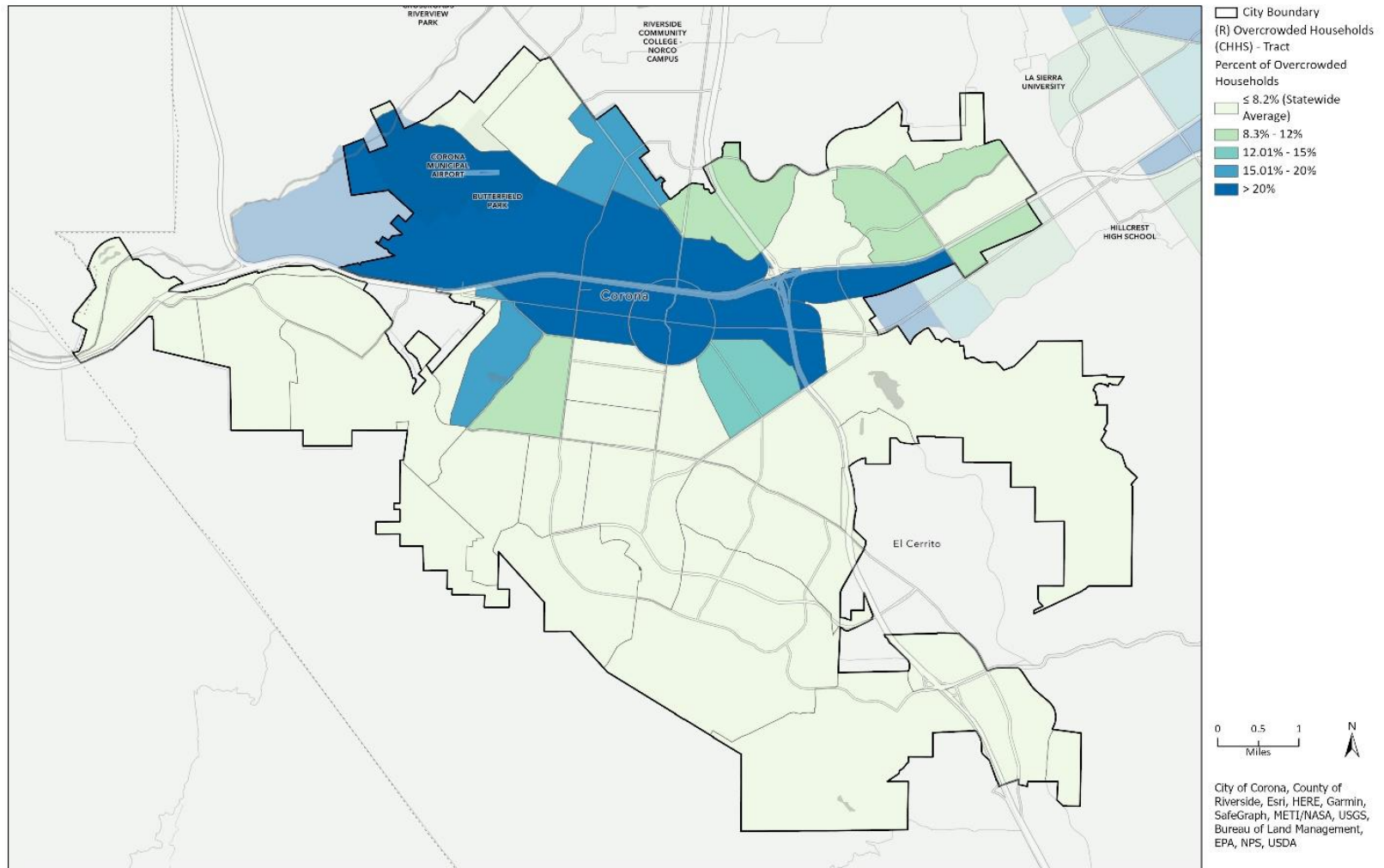


Source: AFFH Data Viewer, 2021

City of Corona Trends

Based on 2014-2018 ACS estimates, 5.9 percent of households in Corona are overcrowded, compared to 6.9 percent for the County as a whole. Corona had an average of 3.32 persons per household in 2018, representing a small decrease from 2010, when an average of 3.38 persons per household was recorded. Corona had a smaller average household size than Moreno Valley and Norco. Furthermore, Corona had a lower percentage of overcrowded households when compared to Moreno Valley, City of Riverside, and the County of Riverside. As shown in Figure 24, areas more likely to have overcrowded households are located in the downtown and central areas of the City north and south of SR-91.

Figure 24: Overcrowded Housing in Corona



Source: AFFH Data Viewer, 2021

DISPLACEMENT

The two primary key factors in visualizing displacement are the loss of low-income households and increases in rent. According to the UDP, neighborhoods are considered sensitive communities if they have a large percentage of residents at a higher risk of displacement due to increasing housing costs relative to other areas.

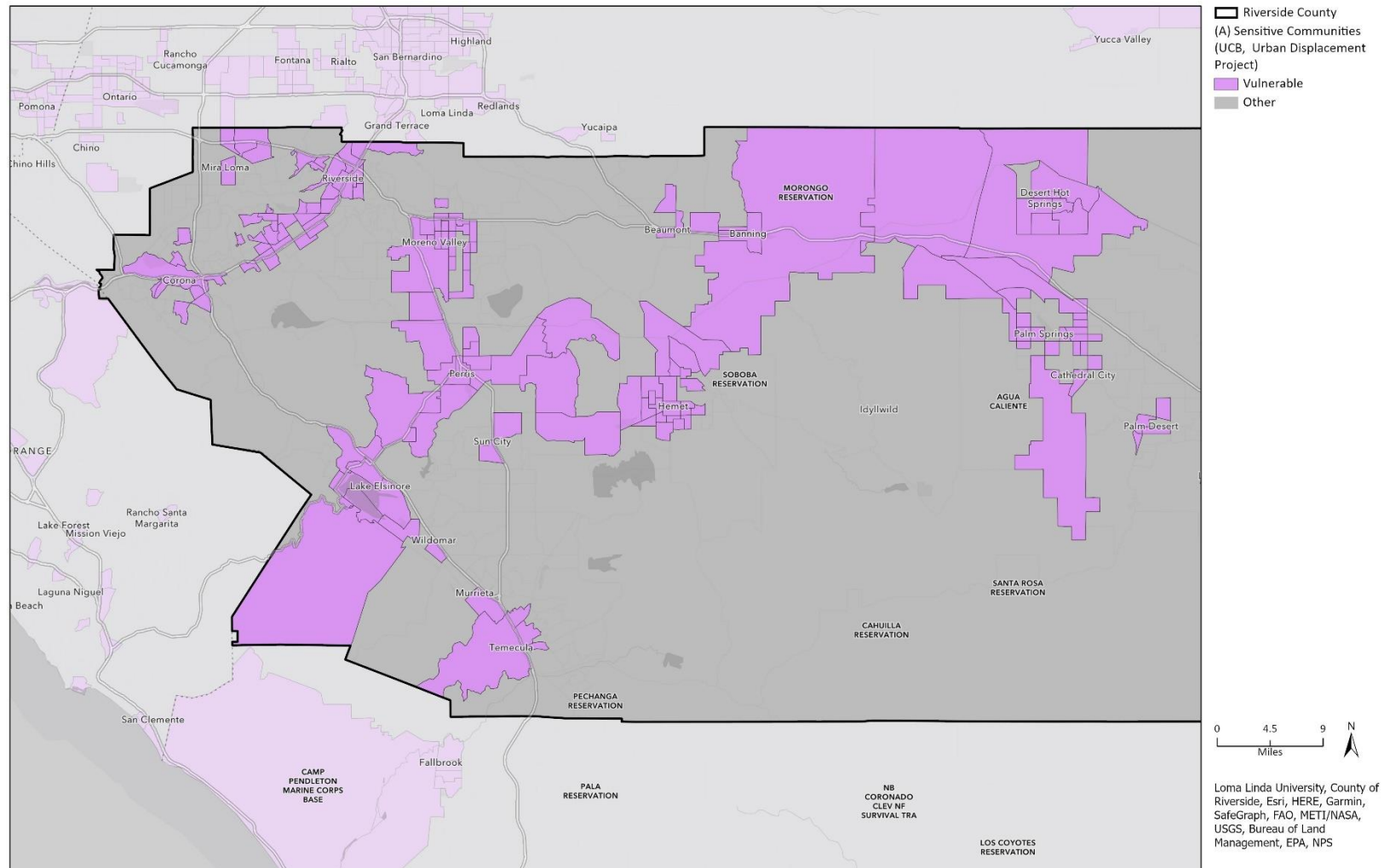
Riverside County Trends

As shown in Figure 25, residents in the cities in northern Riverside County are facing relatively less displacement risk than those living in cities in the southern portion of the county. Residents living in urban areas such as Riverside, Moreno Valley, Perris, Nuevo, Lake Elsinore, and Hemet are at risk of displacement, as are residents in more rural areas such as the Morongo Reservation.

City of Corona Trends

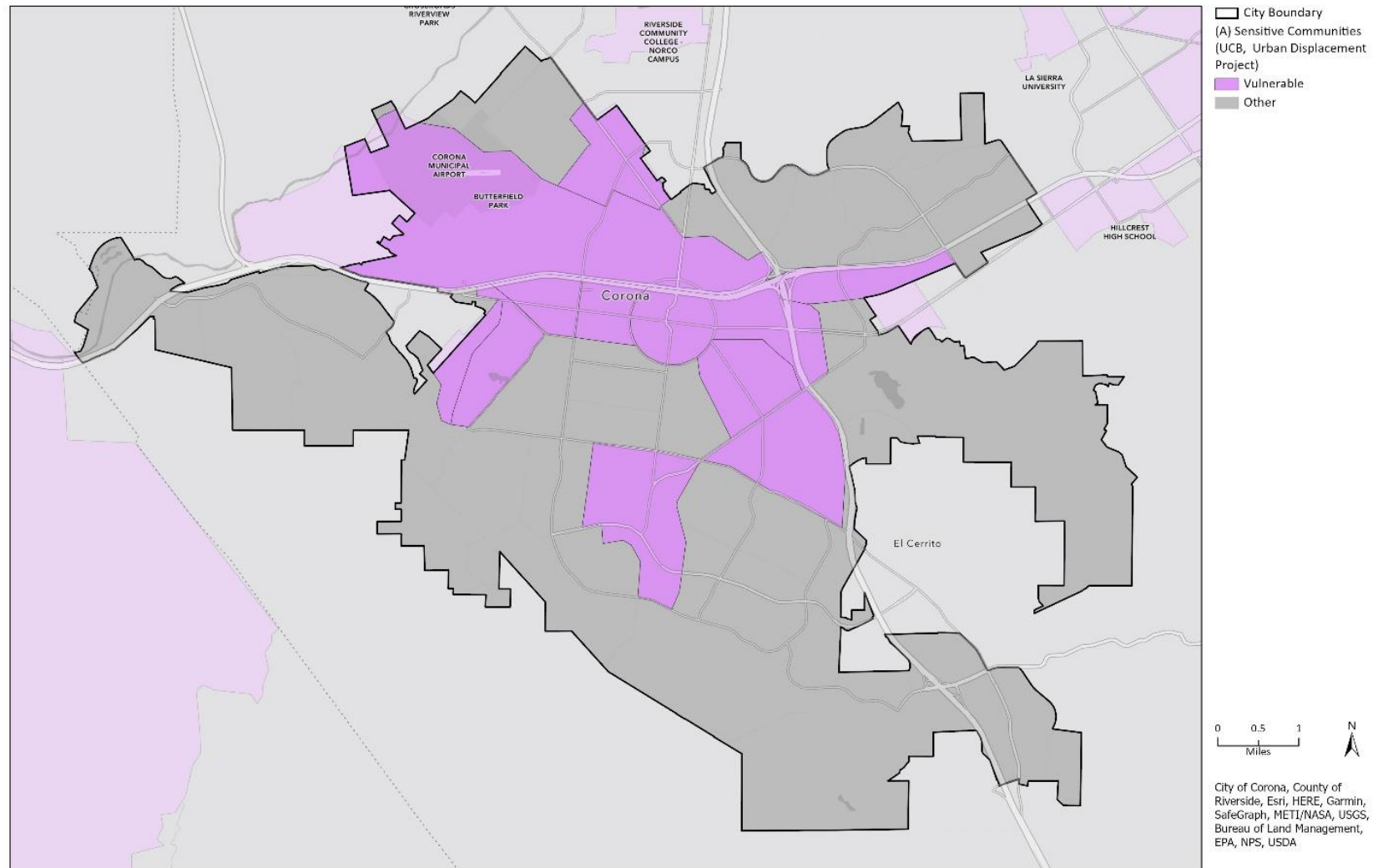
In Corona, the areas with greatest risk of displacement are also the areas where residents tend to have lower median incomes, as shown in Figure 26.

Figure 25: Sensitive Communities in Riverside County



Source: AFFH Data Viewer, 2021

Figure 26: Sensitive Communities in Corona



Source: AFFH Data Viewer, 2021

Disproportionate Housing Needs: Contributing Factors

- Patterns of racial and ethnic concentration
- Displacement of residents due to economic pressures
- Lack of private investments in specific neighborhoods
- Location and type of affordable housing
- Limiting local land use policies
- Unaffordable rents and sales
- Shortage of subsidized housing units
- Dominance of single-family housing
- Discriminatory lending practices
- Location and type of affordable housing
- High levels of overcrowding
- Cost of repairs or rehabilitation

SITES INVENTORY

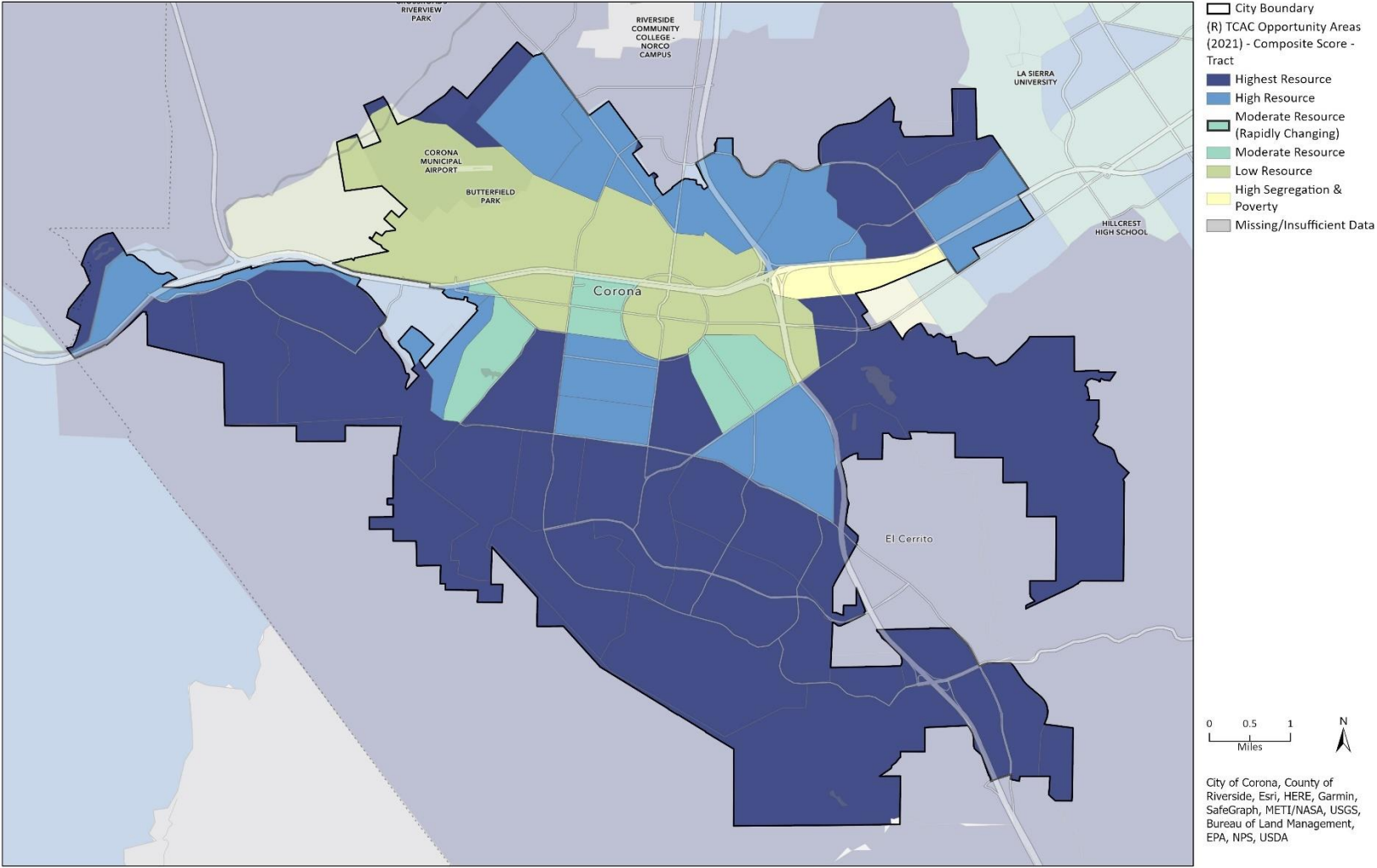
The housing element must demonstrate that there are adequate sites zoned for the development of housing for households at each income level sufficient to accommodate the number of new housing units needed at each income level as identified in the RHNA. In the context of AFFH, the site identification requirement involves not only an analysis of site capacity to accommodate the RHNA, but also whether the identified sites serve the purpose of replacing segregated living patterns with truly integrated and balanced living patterns, transforming racially and ethnically concentrated areas of poverty into areas of opportunity.

Opportunity Areas

HCD and CTAC have created opportunity maps to identify areas throughout the state whose characteristics support positive economic (low poverty, high employment, high median household income), educational (reading and math proficiency, high school graduation rates, low student poverty rates), and environmental outcomes (low exposure to pollution) for low-income families—particularly long-term outcomes for children. The HCD/CTAC Opportunity Areas Map ranks Census tracts in Highest Resource to Low Resource based on these outcomes. A Census tract with a designation of High Resource would indicate that the Census tract has strong educational and economic opportunities, meaning opportunity for current and future residents.

For purposes of evaluating fair housing, resource levels designated by the CTAC/HCD map report on access to economic and educational opportunities such as low-cost transportation, jobs, and high-quality schools and the quality of environmental factors in the area such as proximity to hazards and air quality. This categorization of the census tracts in the City of Corona indicates that, except for the downtown and central areas of the City, residents have moderate to high access to positive economic, educational, and environmental outcomes. The downtown and central areas of the City are categorized as having low access.

Figure 27: Opportunity Areas Map: Corona



Source: AFFH Data Viewer, 2021

The City's residential neighborhoods are primarily built out. The majority of moderate- and lower-income units identified in the Sites Inventory (Appendix B) are located on nonvacant sites and sites that will be rezoned to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU), and nonvacant commercial and residential parcels that are specifically suitable for an affordable housing overlay (AHO). AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing.

These nonvacant sites, rezone sites, and AHO sites are located in the central area of the City in downtown and north and south of SR-91, which contain census tracts with low- and moderate- income households, areas with a higher concentration of minorities, and a greater concentration of special needs populations and housing problems. Additionally, revitalization and improvement strategies are planned within the North Main Street District Specific Plan in the north-central portion of the City and the Downtown Revitalization Plan Area in the central portion of the City. The City selected available sites in these areas for inclusion in the 6th Housing Element Cycle due to their proximity to public transit, low improvement-to-land value ratio, and potential for future recycling. These sites would not be concentrated in a single neighborhood but spread out across the central district, north and south of SR-91 (see Figures 8 through 10 in the Housing Element). Other sites in the inventory include vacant residential parcels with low, moderate, and above-moderate income sites spread out throughout the City, with above-moderate sites mainly in the southern portion of the City or north of SR-91 along I-15.

Risk of Exacerbated Conditions

The central area of the City, which has census tracts with higher concentrations of minorities, cost burdened households, and overcrowded households, would accommodate housing of a variety of income levels under the Housing Plan for the 6th RHNA Cycle. Additionally, the AHO sites would generate new housing opportunities for housing burdened households at risk of displacement.

INTEGRATION AND SEGREGATION: RACE AND INCOME

Census tracts with the highest concentration of minorities and LMI populations are located in the central and northern parts of the City. The majority of nonvacant and rezoned sites would be located in this area but would be spread throughout, integrated into the urban fabric of the central area of the city.

Racially/Ethnically Concentrated Areas of Poverty and Affluence

While Corona has no R/ECAPs (per HUD's definition), some tracts with a higher concentration of minorities and LMI populations were found in the central and northern areas of the City. The majority of AHO sites would not be located in the one majority Latinx census tract (downtown area). While some AHO sites would be located in the tract with a relatively high concentration of poverty (east of S. Lincoln Avenue and south of SR-91), AHO site locations would be spread out across census tracts.

ACCESS TO OPPORTUNITY

The majority of sites would be located in areas TCAC has designated as low, moderate, and high census tracts (Figure 27). Housing units in the sites inventory are not disproportionately concentrated in different resource areas, and the sites identified in low resource areas are scattered on vacant parcels and facilitate the development of lower-, moderate-, and above moderate-income units.

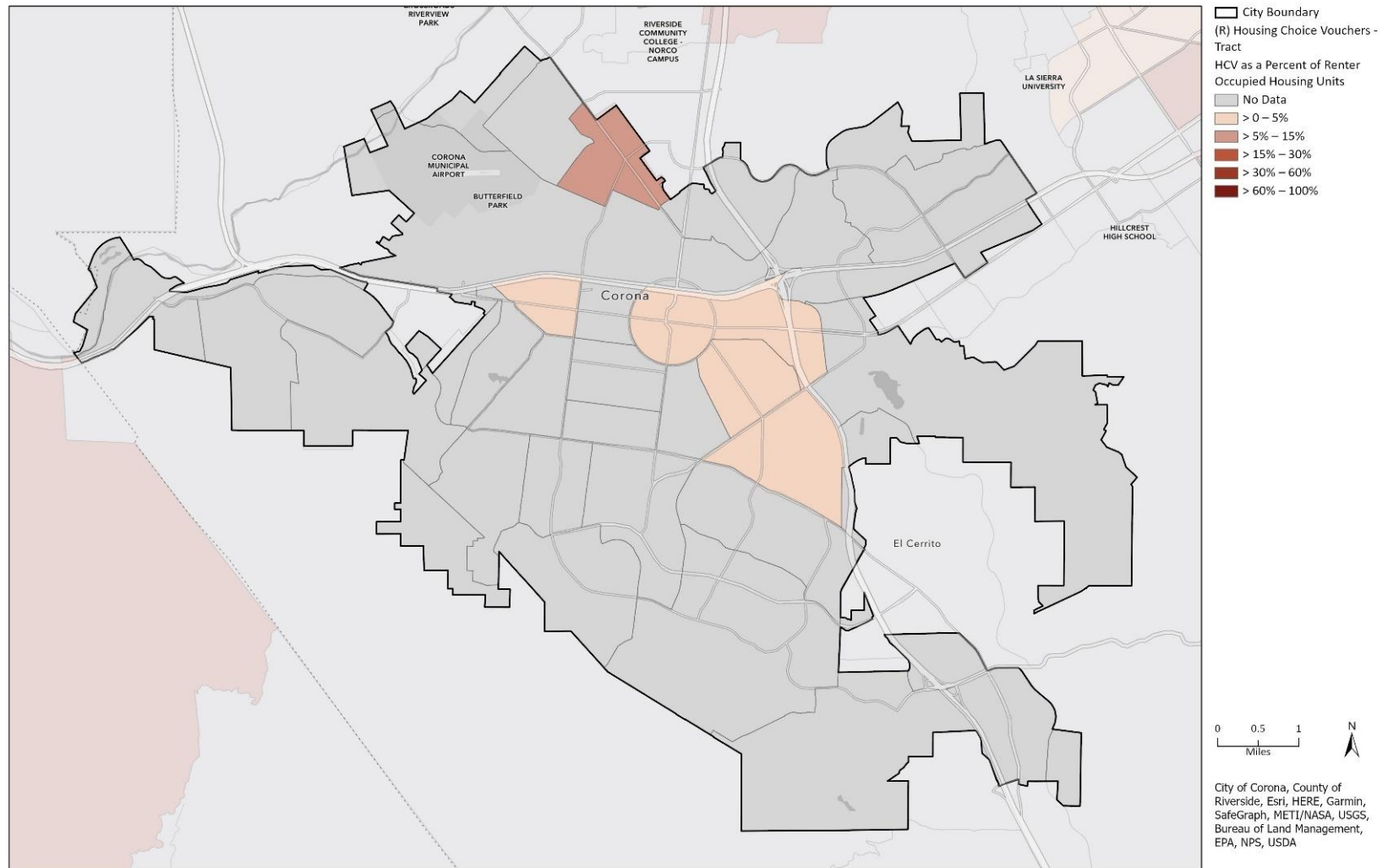
Disproportionate Housing Needs

The fair housing assessment found a need for affordable housing for people with disabilities and adequate housing for large families. The City incentivizes the development of extremely low-, very low-, low-, and moderate-income housing by reducing land costs to the point where it becomes economically feasible for the private developer to build units affordable to low- and moderate-income households (Program 12). The City may also assist in acquiring and assembling property, subsidizing on-site and off-site improvements, and assisting in relocation activities as well as clearing and demolition.

Subsidized Housing

As discussed in Chapter 2, Corona has four publicly assisted rental housing projects in the City that rely on Section 202, Section 811, and/or Section 8 assistance. One projects with 35 assisted units will be at risk of conversion to market rate over the next 10 years. As shown on in Figure 28, high concentrations of Housing Choice Voucher recipients are not present in the City. The highest percent of housing voucher recipients (5 – 15 percent) occurs in a TCAC-designated high resource area. The Sites Inventory does not focus lower income sites in areas with historically high levels of housing choice voucher recipients.

Figure 28: Housing Voucher Recipients: Corona



Source: AFFH Data Viewer, 2021

FAIR HOUSING PRIORITIES AND GOALS

As demonstrated by the geographic and demographic analysis, in addition to input from representatives of non-profit organizations that provide housing for special needs populations, the most prevalent fair housing issues in Corona are:

- » Addressing housing access, economic, and environmental disparities between the historic Downtown and 6th Street corridor and the suburban communities generally located in the southern and northern ends of the City,
- » Increasing development opportunities for affordable housing located near services, schools, public transit, and employment and increasing opportunities for housing mobility for low-income residents.

Table 9 identifies the fair housing issues in Corona and identifies meaningful actions to further fair housing in the City.

Table 9: Fair Housing Issues and Meaningful Actions

AFH Identified Fair Housing Issue	Contributing Factors	Meaningful Actions	Metrics and Milestones
Enhancing fair housing outreach and housing mobility strategies	<ul style="list-style-type: none"> ▪ People obtain information through many media forms, not limited to traditional newspaper noticing or other print forms. Increasingly fewer people rely on the newspapers to receive information. Public notices and printed flyers are costly and ineffective means to reach the community at large ▪ Lack of language access ▪ Insufficient local public fair housing enforcement and testing 	<ul style="list-style-type: none"> ▪ Participate in the FHCRC meetings, at least once annually, to coordinate regional responses to housing discrimination issues. ▪ Continue to provide CDBG funds to a fair housing service provider. ▪ Continue to invest in Fair Housing resources through a contract with Riverside Legal Aid (RLA) to support residents who need Fair Housing resources, mitigation, or legal advice. ▪ Respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution) and report complaints to the city's fair housing service provider. 	<ul style="list-style-type: none"> ▪ Staff attendance at local workshops in Corona sponsored by FHCRC. ▪ Annual distribution of CDBG funds to FHCRC spanning planning period 2021-2029. ▪ Code Compliance documented case logs on reported complaints/violations. ▪ Bilingual multimedia campaigns on the City's social media platforms. ▪ Staff attendance at local educational workshops conducted by FHCRC during the 2021-2029 planning period. ▪ Documented efforts by the Corona Housing Authority and FHCRC on the outreach to landlords that use rental vouchers

	<ul style="list-style-type: none"> Discriminatory lending practices 	<ul style="list-style-type: none"> At least once annually in areas considered sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06), coordinate with FHCRC to provide free educational workshops to tenants and landlords on their rights and responsibilities under Fair Housing laws. Conduct bilingual multimedia campaigns for housing-related educational events (housing rights, legal assistance, etc.), including social media and printed flyers posted in the common area of large apartment complexes, community centers, the library, laundromats, and other strategic visible locations, with a focus on Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06. At least once annually, obtain feedback through a multimedia campaign, including public surveys, focused discussions, and in-person to obtain public input and feedback on fair housing issues. Work with the FHCRC to conduct random testing at least once every five years in Corona. Specifically, with the release of the 2020 Census, determine the appropriate bases be tested in the city. 	during planning period 2021-2029.
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		<ul style="list-style-type: none"> Conduct at least one workshop annually with targeted populations (with the focus on Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) to allow for meaningful discussions and dissemination of useful information related to housing finance opportunities such as the Riverside County First Time Home Buyer Down Payment Assistance Program. Education and outreach activities to be conducted as a multi-media campaign, including social media such as Facebook, Twitter, and Instagram, as well as other meeting/discussion forums such as chat rooms and webinars. Obtain feedback at least once annually. Involve neighborhood groups and other community organizations when conducting outreach and education activities. Annually work with the Housing Authority of the County of Riverside to conduct landlord outreach to expand the location of participating voucher properties. 	
Encouraging development of new affordable housing in Areas of High Opportunity	<ul style="list-style-type: none"> Dominance of single-family housing in areas of high opportunity, which is typically more expensive than multi-family 	<ul style="list-style-type: none"> Diversify and expand the housing stock to accommodate the varied housing needs of different groups within areas of high opportunity, namely south and east of the downtown area. 	<ul style="list-style-type: none"> Execution of an Affordable Housing Development Agreement between the Corona Housing Authority and a developer to assist or partner in the development of at least

		<ul style="list-style-type: none"> ▪ Prioritize areas of high opportunity, namely south and east of the downtown area when identifying potential sites for Habitat for Humanity builds. ▪ Promote the use of density bonuses to increase provision of affordable housing in areas of high opportunity, areas south and east of the downtown area. ▪ At least once annually, provide information through the City's public news networks, including social media channels, and/or television access, on allowing accessory dwelling units (ADUs) in the city, and target outreach to residents in areas of high opportunity, namely south and east of the downtown area. 	<p>one affordable multi-family opportunity or the conversion of existing market rate units to moderate or low income units in areas identified as high opportunity during the 2021-2029 planning period.</p> <ul style="list-style-type: none"> ▪ Availability of the ADU process on the city's website and explaining the path to getting a permit.
Improving place-based strategies to encourage community conservation and revitalization, including preservation of existing affordable housing	<ul style="list-style-type: none"> ▪ Lack of investment in the downtown due to suburbanization. ▪ Shortage of subsidized housing units ▪ Cost of repairs or rehabilitation ▪ Limiting local land use policies 	<ul style="list-style-type: none"> ▪ Assist 103 very low income and 152 low-income households during the planning period, with an average of 15 households annually. ▪ Hold at least one community event every five years as part of the City's CDBG and HOME Action Plan for the Neighborhood Improvement Program in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13. ▪ Continue to acquire or seek partnerships with developers on acquiring multi-family housing that can be rehabilitated with emphasis in the 	<ul style="list-style-type: none"> ▪ Distribution of residential rehabilitation funds to qualified properties within the CDBG area and revise existing housing agreements with certain developers seeking new state funds to rehabilitate existing affordable housing units that are deteriorating or in need of repair. ▪ At least one community event as part of the CDBG and HOME Action Plan for the Neighborhood Improvement Program in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13 during the 2021-2029 planning period. ▪ Execution of an Affordable Housing

		<p>downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13.</p> <ul style="list-style-type: none"> ▪ Promote development of affordable and ADA-accessible housing across the city (mixed-use and infill) and near services (transit corridors), specifically in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13 through a rezoning program. ▪ At least once annually, audit existing zoning, density bonus program, development standards, ADU program, development impact fees, and project review and hearing process and remove governmental constraints to residential housing development, particularly for supportive and affordable housing. ▪ Prioritize housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06). ▪ Implement small-scale placemaking projects/events in the downtown area and Census tracts 414.09, 415, 	<p>Development Agreement between the Corona Housing Authority and developer on the construction of new affordable housing units or the preservation of existing units in planning period 2021-2029.</p> <ul style="list-style-type: none"> ▪ At least one documented new strategy or revision to the City's Zoning Ordinance to support housing creation or funding to promote housing development in Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06.
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		<p>416, 417.03, 417.04, and 418.13.</p> <ul style="list-style-type: none"> Conduct workshops and housing education training with different community-based organizations. 	
Protecting existing residents from displacement	<ul style="list-style-type: none"> Unaffordable rents and sales prices in a range of sizes Displacement of residents due to economic pressure such as unaffordable rents, concentration of poverty, and availability of affordable housing 	<ul style="list-style-type: none"> Target housing resources to sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) and consider the community needs in outreach activities (language, meeting days/times, advertisement). Preserve at-risk housing, targeting sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) by assisting property owners on opportunities to obtain funding to subsidize below market rate units. 	<ul style="list-style-type: none"> Provide at least 100 tenants in at-risk housing or in areas of potential displacement or gentrification in identified Census tracts regarding Housing Choice voucher rent subsidies through the Corona Housing Authority, and other affordable housing opportunities in the city.
Source: Corona AI			

The City of Corona further addresses these impediments by contracting with the FHCRC, a non-profit organization to counsel property owners, managers, tenants, and homebuyers on fair housing related issues. Various services are implemented through this partnership including:

- Providing tenant/landlord counseling to all citizens;
- Responding to all citizens complaints regarding violations of the fair housing laws;
- Promoting community awareness of fair housing rights and responsibilities;
- Monitoring fair housing legislation, attending training and reporting to the City; and
- Serving as an overall fair housing resource for the area, including implementation of an affirmative fair housing market plan.

No policies or programs in the Housing Element have been identified as barriers to fair housing practices in Corona. In addition to Federal fair housing laws, existing City policies and programs are already in place to increase affordable housing options, as well as ensure the provision of housing to many different population groups, including persons living with disability, large families, farmworkers, and persons who would benefit from supportive and/or transitional housing. The implementation of identified programs would further existing fair housing practices by expanding outreach strategies to include populations that live on lower household incomes and/or those who would be more receptive through Spanish language communication.

Additionally, while the AI lists several impediments to fair housing in Corona, the City is working separately to address impediments, and will address the remainder through implementing programs of this Housing Element. As for the regional impediments noted in the AI, AFFH programs in this Housing Element will work to increase fair housing practices such as outreach and education through social media and providing resources such as fair housing counseling and mediation, including targeting populations that have historically had fewer housing choices; promote equitable employment, and continue existing work with the FHCRC.



Staff Report

File #: 21-0897

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

GPA2021-0001: General Plan Housing Element Update for Planning Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. (Applicant: City of Corona)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environmental Impact Report (SCH#2018081039) and APPROVAL of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029.

EXECUTIVE SUMMARY

The Housing Element is one of the eight mandatory elements of the City's General Plan. Pursuant to state law, the Housing Element is required to be periodically updated, which is every eight years. The Housing Element is responsible for identifying a city's existing and projected housing need; goals, policies and quantified objectives on achieving housing for all economic segments of the population; available financial resources; scheduled programs for the preservation of housing and an identification of adequate housing sites for all economic segments of the community, persons with special needs and emergency shelters.

BACKGROUND

The city initiated the update to its Housing Element in November 2020. The Housing Element Update for planning period 2021-2029 aligns with the State's allocation of the Regional Housing Needs Assessment, commonly known as RHNA. The Southern California Association of Governments (SCAG) Regional Council adopted the final RHNA allocation for the jurisdictions within its region at its meeting on March 4, 2021. The below table shows the city's final RHNA allocation on the number residential housing units for each income category. The city is required to show how the units are being planned for in the Housing Element Update.

Table 1
City of Corona RHNA Allocation
Years 2021-2029

Income Category Based on Area Median Income (AMI)	Number of Units to Accommodate	Percentage
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81% and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%

Public Meetings on the Housing Element Update

The following is a summary of the public meetings that discussed the Housing Element Update for planning period 2021-2029.

- **January 21, 2021. City Council and Planning and Housing Commission Joint Study Session.** The study session covered an introduction to the Housing Element Update, the RHNA allocation process, various state legislation governing Housing Element law, and the information covered in the Housing Element.
- **February 16 & 18, 2021. Stakeholder Workshops.** The city held two stakeholder workshops with special interest groups on the Housing Element Update. Special interest groups included organizations and agencies that provide housing or assist special needs groups with housing opportunities (low-income persons, senior citizens, persons with disabilities, persons needing rehabilitation, persons experiencing homelessness, persons of domestic violence, etc.).
- **March 17, 2021. City Council Public Meeting.** At the request of the City Council, staff provided an administrative report on the RHNA and the state law regarding the implementation of the RHNA.
- **May 27, 2021. Community Meeting.** The city held a community meeting on the Housing Element Update. The meeting covered the purpose of the Housing Element, the city's RHNA allocation, and the housing sites inventory.
- **June 21, 2021. Planning and Housing Commission Meeting.** An administrative report was provided to the Commission on the release of the Housing Element Update 2021-2029 Draft. The draft document was posted on the city's website and was made available to the public for a period of 60 days for review and public comments.
- **June 23, 2021. City Council Study Session.** An update on the status of the Housing Element Update and the housing sites inventory was provided to the City Council.

Public Information Outreach on Housing Element Update

The city created a Housing Element Update webpage where the public can find information. The Housing Element Update webpage is available at www.CoronaCA.gov/GPUUpdate. Additionally, the city has used the following mechanisms to advertise public meetings on the Housing Element Update and other information as it becomes available.

- **Housing Survey.** An online housing survey was made available to the public for a period of 35 days starting on January 25, 2021. The city received 260 responses on the survey. The results of the housing survey are included in Appendix A of the Housing Element Update 2021-2029 Draft.
- **Stakeholder Workshops.** The city circulated a flyer on the city's Facebook page and on the Housing Element Update webpage advertising the stakeholder workshop meetings on February 16 & 18, 2021. Staff also circulated an email with the flyer to 74 special interest groups on the city's contact list. This information is provided in Appendix A of the Housing Element Update Draft.
- **Community Meeting.** The city circulated a flyer on the city's Facebook page and on the Housing Element Update webpage advertising the community meeting on May 27, 2021. Additionally, staff mailed 100 letters to the property owners that have property identified on the housing sites inventory and circulated an email with the flyer to 74 special interest groups on the city's contact list. This information is provided in Appendix A of the Housing Element Update Draft.
- **Map Social Interactive Mapping Tool.** The city advertised on its Facebook page the availability of an interactive mapping tool on the proposed housing sites inventory. The purpose of the mapping tool is to engage feedback on the housing sites being identified in the Housing Element Update.
- **City Facebook and Housing Element Update Webpage.** Announcements on the Housing Element Update are posted on the City's Facebook in addition to the website. Materials related to the Housing Element are also posted on the website.

An email address was also created so that the public can send comments or questions on the Housing Element Update. The email address is posted on the Housing Element Update webpage.

Housing and Community Development (HCD) Review of Corona's Housing Element Update Draft

The city submitted its Housing Element Update Draft to HCD on July 1, 2021, initiating a 60-day review by HCD. HCD completed its review on August 30, 2021. The Housing Element Update has since been revised to reflect the comments received from HCD. The revised Housing Element Update was posted on the city's Housing Element Update webpage on September 27, 2021.

PROJECT DESCRIPTION

The Housing Element Update in its entirety is included as Exhibit 2. The element includes six chapters and appendices A through C. The following is a brief description of the chapters and appendices covered in the element.

Chapter 1: Introduction. This chapter gives a general overview of the city's profile, the purpose of

the Housing Element, sources of information used in the Housing Element and the public participation process.

Chapter 2: Housing Needs Assessment. This chapter covers the city's population growth trend, the city's characteristics (age distribution, race and ethnicity, employment, household characteristics, household by income category, special need groups), housing stock characteristics, Riverside County's Area Median Income, and the number of assisted housing units in Corona.

The average median income in Riverside County based on a 4-person household is \$77,500. This is based on HCD's state income limits published in 2021. Based on the area median income (AMI), the household income distribution in the city is shown in the below table. This information is also shown in Table 10 of the Housing Element.

Table 2 Households by Income Category

Income Category (Percent of County AMI)	Households
Extremely Low (30% or less)	8.8%
Very Low Income (less than 50% if AMI)	15.6%
Low Income (50-80% AMI)	15%
Moderate Income (80-120% AMI)	12%
Above Moderate Income (greater than 120%)	48.5%

A summary of some of Corona's housing characteristics is shown in the below tables. Table 3 shown below shows Corona's household characteristics and Table 4 shows the average household size and overcrowded households in the city. These tables are also provided in Chapter 2 of the Housing Element as Tables 7 and 9.

Table 3: Household Characteristics

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786

Table 4 Average Household Size and Overcrowded Households

Jurisdiction	Average Household Size	Percent of Households That are Overcrowded	Percent of Overcrowded Households: Renters	Percent of Overcrowded Households: Owners
Corona	3.32	5.9%	66.4%	33.6%

The city's housing stock mostly consists of single-family homes at 37,394 units (72.6%) followed by multiple family homes at 12,275 units (23.8%). Mobile homes or other units include 1,835 units (3.6%). The information in the Housing Element is based on 2014-2018 data from the American Community Survey.

Chapter 3: Housing Constraints. This chapter talks about constraints when it comes to building housing or providing housing. Housing constraints can include market constraints (construction and labor costs, land cost and financing), governmental constraints (land use zoning and development standards related to parking requirements, lot coverage, building setbacks and open space), constraints when it comes to providing housing for persons with special needs (24-hour care facilities, emergency shelters, mobile homes, accessory dwelling units, transitional and supportive housing), development fees and infrastructure requirements associated with new construction, permit processing times, etc.

Chapter 4: Housing Resources. This chapter talks about the city's future housing need, Corona's RHNA allocation and the financial resources that can be applied toward low income housing. This chapter identifies the income categories the city is meeting on its RHNA allocation for planning period 2021-2029 based on existing zoning (includes vacant sites and non-vacant sites) and pending projects that have either been approved but not yet built or submitted to city staff for review but not yet entitled. This chapter also shows the number of units the city is deficient in meeting the RHNA allocation based on existing conditions.

The city is required to plan for the housing units that are not met based on existing zoning. Table 5 (shown as Table 45 in the Housing Element) shows the city needs to plan for low and moderate-income units by rezoning property. Sites suitable for low income units must have a zoning and General Plan designation that allows a higher density of at least 30 dwelling units to the acre. Moderate income units also can be accounted for in the higher density but can be included in a medium density that allows up to 15 dwelling units to the acre. Therefore, to plan for the city's RHNA allocation of low and moderate income units for planning period 2021-2029, the city will need to rezone property. The city will need to rezone property to accommodate 2,532 low income units and 887 moderate income units. Overall, the city's rezoning would accommodate 3,123 low income units and 888 moderate income units. The surplus of units provides the city with a buffer to accommodate a potential shortfall of sites should any of the low income sites identified in the sites inventory is underbuilt.

Table 5 Residential Sites Inventory

	Lower Income	Moderate Income	Above Moderate Income	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
ADUs Anticipated	46	28	6	80
Remaining RHNA	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units	3,346	1,097	2,966	7,455
Total Unit Surplus	600	1	766	1,367

The rezone sites are shown as Figure 9 and Figure 10 in the Housing Element. The city is taking two approaches on the rezone program. The first approach is shown in Figure 9 which includes rezoning property to either a high density or medium density designation. These sites were chosen based on their current condition and if the size of the property can support additional housing units. For example, the properties shown on Quarry Street across from City Park and the parcels on Ford Street and Barth Street are zoned single family residential but have parcel sizes capable of accommodating additional units such as a duplex. Properties such as this are being considered for medium density development to accommodate moderate income units.

The parcels shown on Figure 10 are intended to be rezoned with an affordable housing overlay zone. An affordable housing overlay zone is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed in the future. The non-vacant commercial sites included in the housing sites inventory were selected because the sites may be underutilized, have building coverage less than 50%, have struggled with vacancies or turnover over the years and are within walking distance to public transportation and other commercial services.

The affordable housing overlay zone will allow up to 60 dwelling units to the acre. To meet the RHNA allocation assigned to low income units, the city needs to allow for the higher density on the properties because of limited land resources.

The Housing Survey distributed in January 2021 asked respondents where housing should be located within the city and which areas of the city would be better suited for high density residential. The

majority of respondents (47.97%) said housing should be located throughout the city. However, when asked where high density housing would be better suited the majority of the respondents (75.20%) said in areas where public transportation is within walking distance. The second preference (42.80%) was in areas near commercial centers. A copy of survey responses is provided in Appendix A of the Housing Element.

Rezone Program

Properties that are required to be rezoned as part of the housing sites inventory of the Housing Element shall be done within three years of the start of the planning period. The start of the Housing Element planning period begins October 15, 2021. Therefore, the city will have three years from that date to complete its rezone program. The city will initiate a separate process after the adoption of the Housing Element to rezone the properties identified on the sites inventory. The rezone program would follow the same procedures as a change of zone, which requires the city to do an environmental analysis of the changes, create an affordable housing overlay zone, and conduct public outreach and public hearings on the process.

It is worth noting that with the passage of SB 1398, which was signed by the Governor on September 28, 2021, jurisdictions that fail to adopt a housing element that HCD has found to be in substantial compliance with State law within 120 days of the statutory deadline are to complete rezoning no later than one year from the statutory deadline. Therefore, if HCD does not determine to the city to have a state compliant Housing Element 120 days from October 15, 2021, the completion of the rezone program in the Housing Element would be reduced from three years to one year.

Chapter 5: Review of Past Accomplishments. This chapter covers the past accomplishments of the housing plan programs from planning period 2013-2021. This chapter identifies the previous programs from the Housing Element, the objectives of the programs and the city's progress and continued appropriateness of the programs.

Chapter 6: Housing Plan. This chapter identifies the goals and policies of the Housing Element and the housing programs that the city will implement in planning period 2021-2029. The programs will include existing programs being carried over into the new planning period as well as new programs. Certain programs are a continuation annually whereas others are required to be implemented by a certain date.

After the Housing Element Update Draft was posted on the website, the city made some redlined revisions to certain housing programs to better respond to HCD's comments. The programs in their entirety, including the redlines, is provided as Exhibit 3.

Appendices A through C. The appendices to the Housing Element Update include the public outreach materials used during the preparation of the Housing Element (Appendix A), spreadsheets of the sites inventory (Appendix B), and discussion on Affirmatively Furthering Fair Housing (Appendix C).

ENVIRONMENTAL ANALYSIS

The City has prepared an environmental evaluation to analyze the potential environmental impacts of the Housing Element Update and whether the environmental impacts of the Housing Element were adequately addressed in the Corona General Plan Update EIR (SCH#2018081039) certified on June 3, 2020. The evaluation indicated that the Housing Element Update will not result in impacts beyond what was previously analyzed in the General Plan EIR or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts. As permitted by State California Environmental Quality Act (CEQA) Guidelines Sections 15164(e) and 15168(c), an addendum to the General Plan EIR was prepared.

FISCAL IMPACT

Not applicable.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was advertised in the Sentinel Weekly News and posted on the city's website. Additionally, the city emailed the parties listed on the city's Housing Element Update stakeholder list. As of the preparation of this report, staff has not received any correspondence on the public hearing notice.

Prior to the public notice being posted, the city received a comment letter from Mitchell M. Tsai, Attorney at Law, dated August 13, 2021. This letter was submitted during the initial 60-day public review advertised in June 2021. Since the receipt of this letter, the Housing Element Update has been revised in response to comments received from HCD dated August 30, 2021.

STAFF ANALYSIS

The Housing Element Update is necessary as it is one of the state mandatory elements of the General Plan. The Housing Element Update process aligns with the state's RHNA allocation and is subject to a statutory deadline, which is October 15, 2021. However, jurisdictions in the Southern California Association of Governments Region (SCAG) are given a 120-day grace period from the statutory deadline to submit an adopted Housing Element Update to HCD.

The Housing Element identifies strategies and programs that focus on: a) Conserving and improving existing affordable housing, b) Maximizing housing opportunities throughout the community, c) Assisting in the provision of affordable housing, d) Removing governmental and other constraints to housing investment, and e) Promoting fair and equal housing opportunities.

FINDINGS FOR THE APPROVAL OF GPA2021-0001

1. The City has prepared an environmental evaluation to analyze the potential environmental impacts of the Housing Element Update and whether the environmental impacts of the Housing Element were adequately addressed in the Corona General Plan Update EIR (SCH#2018081039) certified on June 3, 2020. The evaluation indicated that the Housing Element Update will not result in impacts beyond what was previously analyzed in the General Plan EIR or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts. As permitted by State California Environmental Quality Act (CEQA) Guidelines Sections 15164(e) and 15168(c),

an addendum to the General Plan EIR was prepared.

2. GPA2021-0001 is in the public interest and would not be detrimental to public health, safety and welfare for the following reason:
 - a. The Housing Element is an integral part of the City's General Plan and its purpose is to adequately provide for the planning of housing for all economic segments of the community and to ensure housing opportunities and housing services are available to the most vulnerable populations and those with special needs.
3. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:
 - a. The goals and policies in the Housing Element encourage and facilitate the production of housing based on the varied income levels and special needs groups, which is the premise of the Element.
 - b. The goals and policies related to housing are to conserve and improve existing affordable housing, maximize housing opportunities throughout the community, assist in the provision of affordable housing, remove governmental and other constraints to housing investment, and promote fair and equal housing opportunities, which is the premise of the Element.

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2578
2. Housing Element Update Draft 2021-2029
3. Housing Programs Revised Redlined Version
4. General Plan EIR Addendum



RESOLUTION NO. 2578

APPLICATION NUMBER: GPA2021-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA APPROVING A GENERAL PLAN AMENDMENT TO UPDATE THE HOUSING ELEMENT FOR PLANNING PERIOD 2021-2029 FOR THE 6TH CYCLE REGIONAL HOUSING NEEDS ASSESSMENT. (APPLICANT: CITY OF CORONA)

WHEREAS, the Planning and Housing Commission of the City of Corona initiated proceedings through GPA2021-0001 to consider amending the General Plan Housing Element for planning period 2021-2029 for the 6th cycle Regional Housing Needs Assessment; and

WHEREAS, the Planning and Housing Commission held a noticed public hearing for GPA2021-0001 on October 11, 2021 as required by law, and

WHEREAS, the Planning and Housing Commission after close of the public hearing considered all of the evidence presented in its deliberations; and

WHEREAS, the Planning and Housing Commission, by the majority, approved GPA2021-0001 in accordance with the analysis and findings in the staff report; and

WHEREAS, the Planning and Housing Commission reviewed and considered the information contained in the Addendum to the General Plan Environmental Impact Report (EIR) (SCH# 2018081039), which was prepared in connection with GPA2021-0001 pursuant to CEQA Guidelines Sections 15164(e) and 15168(c) because the evaluation indicated that the Housing Element Update (GPA2021-0001) will not result in impacts beyond what was previously analyzed in the General Plan EIR certified by the City Council on June 3, 2020, or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts.

NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this GPA2021-0001 the Planning and Housing Commission has reviewed and considered the information contained in the Addendum to the General Plan EIR and the administrative records for this General Plan Amendment, including all written and oral evidence provided during the comment period. Based

upon the facts and information contained in the Addendum and the administrative record, including all written and oral evidence presented to the Planning and Housing Commission, the Commission finds that potential environmental impacts of this GPA2021-0001 does not have new or substantially more severe significant environmental impacts.

SECTION 2. Findings. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:

1. GPA2021-0001 is in the public interest and would not be detrimental to public health, safety and welfare for the following reason:
 - a. The Housing Element is an integral part of the City's General Plan and its purpose is to adequately provide for the planning of housing for all economic segments of the community and to ensure housing opportunities and housing services are available to the most vulnerable populations and those with special needs.
2. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:
 - a. The goals and policies in the Housing Element encourage and facilitate the production of housing based on the varied income levels and special needs groups, which is the premise of the Element.
 - b. The goals and policies related to housing are to conserve and improve existing affordable housing, maximize housing opportunities throughout the community, assist in the provision of affordable housing, remove governmental and other constraints to housing investment, and promote fair and equal housing opportunities, which is the premise of the Element.

THAT THE COMMISSION passes and adopts Resolution No. 2578 approving the General Plan Amendment granted in accordance with Exhibits 2 and 3 of the staff report for GPA2021-0001; and

THAT THE COMMISSION recommends to the City Council that it approve such General Plan Amendment and adopt the Addendum to the General Plan EIR prepared for GPA2021-0001.

Adopted this 11th day of October, 2021



Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in an adjourned regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES: Meza & Sherman

NOES: Alexander

ABSENT: Siqueland & Woody

ABSTAINED: None



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

City of Corona

Housing Element

2021-2029

City of Corona
400 Vicentia Avenue
Corona, CA 92882

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Chapter 1: Introduction

CITY PROFILE

Incorporated in 1896, Corona is an ethnically diverse city with industrial, retail, and commercial employment opportunities; public programs, amenities, and parkland for residents; and cultural and historical museums and sites. The City has experienced rapid urbanization over the last 25 years, with residential development occurring primarily in the southern, northeastern, and western portions of the City. While the City's roots were in the agricultural industry, the City of Corona has transformed over the past fifty years into the 31st most populated city in California. As of 2019, the City of Corona has a population of approximately 169,868 people. The City is projected to reach a population of approximately 185,100 people by 2045.

Corona is in the northwestern portion of Riverside County, near the convergence of San Bernardino, Orange, and Riverside counties, about 45 miles southeast of Los Angeles. The City is bordered by Norco to the north, Riverside to the east, Orange County to the west, and Riverside County to the south. Two major freeways transect Corona: the Riverside Freeway (SR-91) runs east-west directly north of the City's center, and Interstate 15 (I-15) runs north-south near the eastern edge of the City¹. In Corona, the General Plan covers all 39.2 square miles within City limits and provides input to Riverside County for the planning of 35.2 square miles within the City's Sphere-of-Influence (SOI), which includes Coronita, Home Gardens, El Cerrito, and Temescal Valley. Noted for its schools, recreational opportunities, and historic/cultural amenities, the City is known for its high degree of livability².

PURPOSE OF THE HOUSING ELEMENT

According to California Government Code Section 65302, the General Plan is required to consist of eight State-mandated elements, including land use, circulation, housing, conservation, open space, noise, environmental justice and safety. The Housing Element is the only element required to be updated on a routine basis, every four, five, or eight years as mandated by California Government Code Section 65581. The purpose of the Housing Element is to craft a comprehensive strategy for providing safe, decent, and affordable housing within the community. The Housing Element has two main purposes:

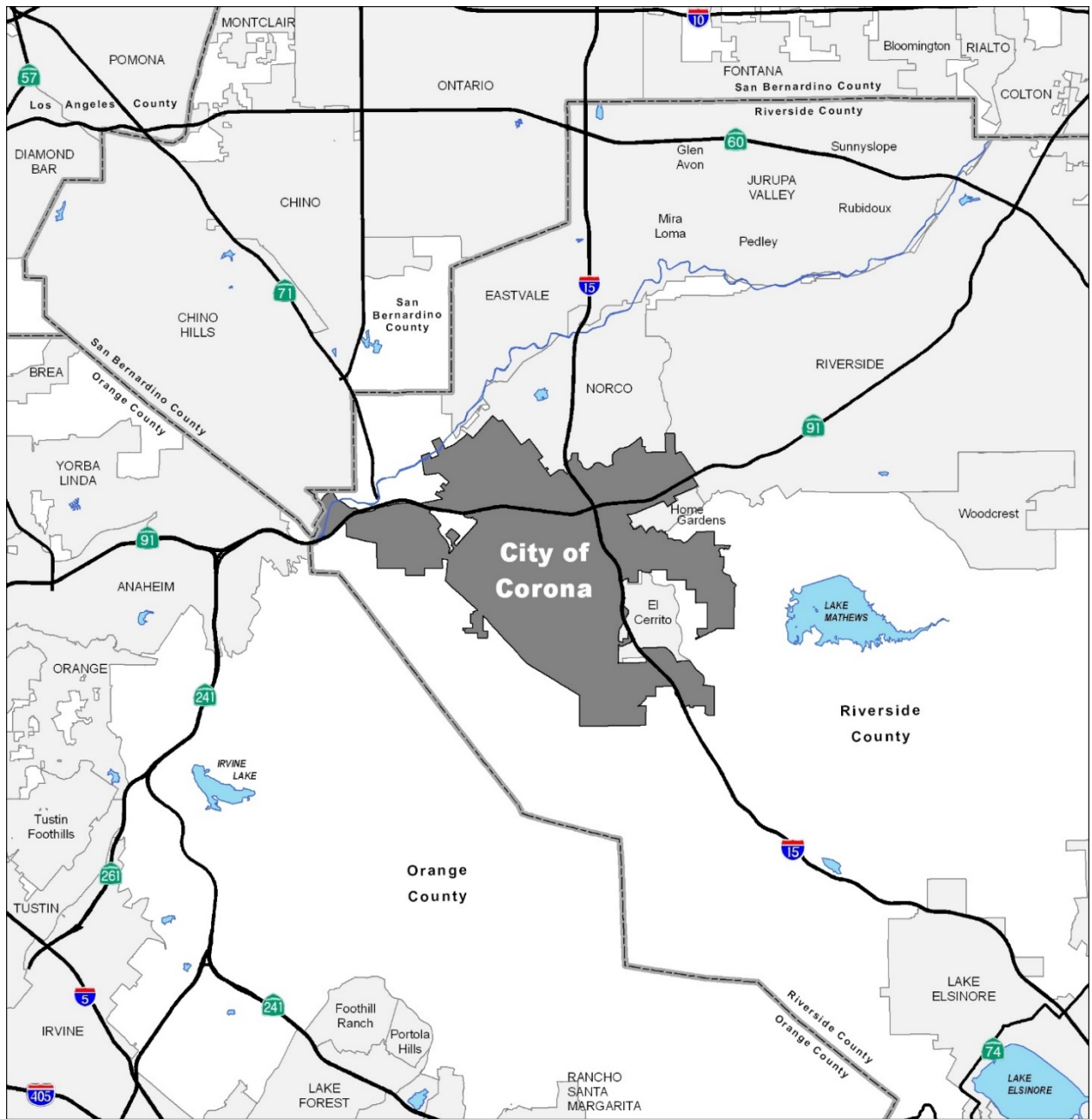
- » To provide an assessment of both current and future housing needs and constraints in meeting these needs; and
- » To provide a strategy that establishes housing goals, policies, and programs.

This Housing Element represents the City of Corona's 6th Housing Element cycle and will be carried out from 2021 through 2029.

1 City of Corona. 2019. General Plan Technical Background Report.
<https://www.coronaca.gov/home/showpublisheddocument?id=17294>

2 City of Corona. 2019. General Plan Technical Background Report.
<https://www.coronaca.gov/home/showpublisheddocument?id=17294>

Figure 1: Geographic Location



Legend

- Corona City Boundary
- Surrounding CITIES/Communities
- Hydrology

Source: Riverside County Transportation & Land Management Agency GIS Data Layers, 2010 TIGER/Line Shapefiles

RELATIONSHIP TO OTHER GENERAL PLAN ELEMENTS

The City of Corona's 2040 General Plan was updated in 2020 and is comprised of the following elements: Land Use; Housing; Community Design; Historic Resources; Economic Development; Parks, Recreation, Cultural Arts, and Education; Circulation; Infrastructure and Utilities; Public Safety; Noise; Healthy Community; and Environmental Resources. California Government Code Section 65583 (c) requires the Housing Element to maintain internal consistency with other General Plan Elements. The Housing Element builds upon policies set forth in the other General Plan elements; for instance, the Land Use and Community Design Element establishes policies regarding the amount, intensity, and distribution of residential uses. The City will maintain and ensure internal consistency among General Plan elements as portions of the General Plan are amended.

ORGANIZATION OF THE HOUSING ELEMENT

The Corona Housing Element is comprised of the following major components:

- » Introduction: a brief overview of the purpose and background for the Housing Element.
- » Community Profile: an assessment of Corona's demographic and housing market characteristics and their correlation to housing needs in the community.
- » Constraints to the Provision of Housing: an analysis of the various market, governmental, and environmental constraints in the City and their impact on the development and preservation of housing in Corona.
- » Housing Opportunities and Resources: an inventory of land, financial, and administrative resources available to facilitate housing development in Corona. Opportunities for energy conservation are also discussed.
- » Housing Plan: An outline of the City's proposed actions and objectives over the next eight years in addressing the housing needs of the community and complying with State law.

SOURCES OF INFORMATION

This Housing Element was updated with various sources of data, including:

- » Census Bureau and American Community Survey (ACS)
- » Department of Finance (DOF)
- » Southern California Association of Governments (SCAG)
- » Home Mortgage Disclosure Act (HMDA) lending data
- » Regional Homeless Point-in-Time Count
- » State Department of Social Services database on residential care facilities
- » State Employment Development Department (EDD) data on wage and labor statistics

PUBLIC PARTICIPATION

The City of Corona values community input and offers various opportunities for residents and community stakeholders to provide input on housing and community development issues. The following summarizes the City's community outreach efforts during the Housing Element development process.

The City hosted a webpage dedicated to the Housing Element Update: www.CoronaCA.gov/GPUUpdate. A record of the webpage and comments received via online submission is included in Appendix A.

On January 21, 2021, the City held a joint public study session meeting with the Planning and Housing Commission and City Council to review the Housing Element process.

On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update. A flyer advertising the workshops was sent to members of the City's contact list, which included approximately 75 service providers, housing professionals, and community stakeholders. A copy of the distribution list is provided in Appendix A. The City provided a short presentation about the Housing Element update and led a discussion on the challenges and opportunities regarding housing needs, special populations, and policies and programs that could be incorporated into the Housing Element Update. The workshops were attended by a total of 16 individuals representing 15 separate non-profit, government, and for-profit agencies.

Additionally, the City circulated a community engagement survey to collect input from Corona residents and housing and services providers. The survey asked questions regarding current living situations and opinions on various housing issues and approaches. This survey was circulated from January 25, 2021 to March 5, 2021. A copy of the survey and the survey results are included in Appendix A. A total of 260 responses were received. Respondents identified the following housing issues and opportunities:

- » Respondents who own a single-family home would most likely consider adding an accessory dwelling unit (ADU) to provide separate living quarters for someone in the family, and if the city offered inexpensive permitting fees, and a simple permitting process.
- » Respondents identified financial assistance programs such as rental assistance and down payment assistance programs, and having more housing types available, as the approaches that would provide the best options for housing in the City.
- » The majority of respondents agreed that new housing should be located throughout the City, as opposed to areas within walking distance to public transportation or in areas near commercial centers.
- » Most respondents felt that high-density apartments and/or condominiums would be best suited in areas where public transportation is within walking distance.
- » When asked to rank the most effective way the City could provide additional options for housing, the majority of respondents identified repurposing older or underutilized commercial centers with housing, including an opportunity for residential and commercial mixed use and live/work units.
- » Respondents identified the need for assistance for people experiencing homelessness in the City.

The City posted information about the Housing Element update on its website, a copy of which is provided in Appendix A. The City hosted a community meeting on May 27, 2021. A flyer advertising the meeting was posted on the city's Housing Element Update webpage, the city's Facebook and distributed to members of the City's contact list. A copy of the flyer for the meeting, in English and Spanish, is

included in Appendix A. The City also sent a letter to the property owners of sites that may be rezoned and/or may be included in one of the two proposed Affordable Housing Overlays (AHOs). The letter templates and distribution list are included in Appendix A. A short presentation was provided at the meeting and covered the Housing Element update, survey results, and potential housing sites. The discussion centered on clarification of parking requirements and whether the City planned to use powers of eminent domain.

The Draft Housing Element was made available to the public on June 18, 2021. City staff also prepared an administrative report on the availability of the draft Housing Element that was submitted to the Planning and Housing Commission at its meeting on June 21, 2021. The City Council at its study session meeting on June 23, 2021, was provided an update on the progress of Housing Element and was presented with housing sites inventory. The document was posted on the City's website, was promoted via social media, and all service providers, housing professionals, and community stakeholders identified in Appendix A received notification that the draft document had been released for public review.

The responses provided on the online survey, and the February 2021 stakeholder workshops, established the foundation in identifying housing sites and program development components of the Housing Element Update. Feedback from the stakeholder workshops and community meeting identified the following issues and concerns:

- » There is an identified need for housing affordable and available for low-income families, low-income individuals, and special needs populations. Housing needs may be met by low-income and affordable housing, supportive housing, apartments, accessory dwelling units (ADUs), and/or mixed-use housing.
- » Affordable and supportive housing should be located in areas close to public transit and essential services such as schools, hospitals, pharmacies, and employment centers.
- » The City should consider mixed-use and/or live-work housing in older commercial areas to help revitalize places such as downtown, older areas, and industrial areas.
- » Barriers to the provision or development of supportive or affordable housing includes various environmental constraints, infrastructure availability, finding partnerships with developers/organizations, lack of a standardized and/or timely permitting, and difficulties concerning the timing and availability of funding sources.

As a response to comments received from the public survey, the stakeholder workshops, and community meeting, the City focused on rezoning sites to allow high-density and mixed-use housing in areas close to public transit and existing services, namely in the North Main Street District Specific Plan area and along East and West 6th Street, which includes properties in the Downtown Corona Revitalization Specific Plan area. Housing in the Downtown Corona Revitalization Specific Plan area will help revitalize the older downtown core of Corona and place housing near existing employment centers and services such as social service agencies and hospitals. In response to public input that identified a need for affordable housing, the City plans to meet Regional Housing Needs Allocation (RHNA) goals by implementing an affordable housing overlay (AHO) zone designed to incentivize affordable housing development.

Also, in response to public input, the City will continue and/or expand programs to support housing opportunities for special needs populations including people experiencing homelessness, enhance outreach and streamlining for ADU development, and address the regulatory, financial, and other constraints to developing supportive and affordable housing.

Chapter 2: Housing Needs Assessment

Ensuring the availability of adequate housing for all social and economic sectors of the City's present and future population is an important goal for Corona. To implement this goal, the City must target its resources and programs toward those households and populations with the greatest need. This section of the Housing Element discusses the characteristics of the City's present and future population and housing stock to define the nature and extent of unmet housing needs in Corona.

POPULATION

POPULATION GROWTH TRENDS

Because the 2020 Census data has not yet been released, population estimates for 2019 were used for this analysis. According to the Census, the City of Corona's population doubled in size from 76,095 in 1990 to 152,374 in 2010. Between 2010 and 2019, the City grew an additional 11.5 percent. The City's sustained growth since 1990 is reflective of the proximity to Orange County, San Diego County, and the Los Angeles region. Table 1 shows the city's population growth between 1990 and 2019.

Table 1: Population Growth Trends (1990-2019)

Jurisdictions	Population				Percent Change	
	1990	2000	2010	2019	2000-2010	2010-2019
Corona	76,095	124,966	152,374	169,868	21.9%	11.5%
Chino Hills	27,608*	66,787	74,799	83,853	12.0%	12.1%
Moreno Valley	118,779	142,381	193,365	213,055	35.8%	10.2%
Norco	23,302	24,157	27,063	26,604	12.0%	-1.7%
City of Riverside	226,505	255,166	303,871	331,360	19.1%	9.0%
County of Riverside	1,170,43	1,545,387	2,189,641	2,470,546	41.7%	12.8%

Source: Bureau of the Census, 1990-2010, 2019

Note: The 2020 Census data was not available as of the date of publication of the draft document (June 2021).

AGE CHARACTERISTICS

The age distribution of a population is an important factor in evaluating housing needs and projecting the direction of future housing development. Traditionally, both the young adult population (20-34 years of age) and the elderly population (65 years and over) tend to favor apartments, low to moderately priced condominiums, and smaller single-family units. Persons between 35-65 years old (and those households with school-age children) usually provide the major market for moderate to high cost apartments, condominiums, and larger single-family units, because they tend to have higher disposable incomes and larger household sizes. Table 2 illustrates the age distribution of Corona and County residents in 2010 and 2018.

As shown in Table 2, Corona's percentage of children four years old and under dropped from 7.4 percent in 2010 to 6.4 percent in 2019. Corona had a greater proportion of school-age children between the ages of five and 17 (21.5 percent) than the County (21.0 percent) and a greater proportion of residents between the ages of 25 and 44 (29.2 percent) than the County (26.7 percent). The median age of the City increased from 32.5 in 2010 to 35.0 in 2019 but remained lower than the 2019 County average of 35.6. Corona has slightly more middle-age adults between the ages of 45 and 64 (25.8 percent) than the County (23.9 percent) and a significantly smaller proportion of seniors (9.9 percent) when compared to the County (14.1 percent). As a share of the total population, seniors between 2010 and 2019 increased by 2.6 percentage points.

Table 2: Age Distribution (2010-2019)

Age Group	2010			2019			
	Number of Corona Residents	Percent of Corona Population	Riverside County Comparison	Number of Corona Residents	Percent of Corona Population	Percent Change 2010-2019	Riverside County Comparison
Preschool (4 and under)	11,325	7.4%	7.4%	10,605	6.4%	-6.4%	6.5%
School Age (5-17)	34,349	22.6%	20.8%	35,996	21.5%	+4.8%	21.0%
College Age (18-24)	15,504	10.2%	10.5%	12,072	7.2%	-22.1%	7.0%
Young Adults (25-44)	44,215	29.0%	26.3%	48,820	29.2%	+10.4%	26.7%
Middle Age (45-64)	35,801	23.5%	23.1%	43,014	25.8%	+20.1%	23.9%
Senior Adults (65+)	11,180	7.3%	11.8%	16,466	9.9%	+47.3%	14.1%
Total	152,374	100.0%	100.0%	166,973	100.0%	+9.6%	100.0%
Median Age	32.5		33.7	35.0			35.6

Sources: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018.

RACE AND ETHNICITY

Understanding racial and ethnic composition of a City's population is important to an analysis of housing needs and conditions for several reasons. Demographic changes can have implications on the nature and extent of housing needs since different racial and ethnic groups may have different household characteristics and cultural backgrounds that affect their preferences for housing.

As shown below in Table 3, Hispanic/Latino residents comprise the largest racial/ethnic group in Corona, followed by non-Hispanic White residents. All racial/ethnic groups have increased in population in the City between 2010 and 2018 except for Native Americans, which declined by nearly half. The largest percentage change between 2010 and 2018 was the Other/Two or More Races category with a percent change of 23.9 percent, along with the Asian population which saw a percent change of 23.4. The White (Non-Hispanic) category increased slightly during this time, at 2.4 percent, and the Black (Non-Hispanic) category increased by 13.7 percent. The City has historically conducted public noticing and outreach in English and Spanish. There have not been requests for language assistance in additional languages.

Table 3: Race and Ethnicity (2010-2018)

Age Groups	2010		2018		2010-2018 Percent Population Change
	Corona Residents	Percent of Total	Corona Residents	Percent of Total	
White (Non-Hispanic)	58,087	38.1%	59,484	36.0%	2.4%
Black, Non-Hispanic	8,333	5.5%	9,421	5.7%	13.7%
Native American	422	0.3%	223	<0.1%	- 47.2%
Asian	14,650	9.6%	18,074	10.9%	23.4%
Other/Two or more	4,435	2.9%	5,495	3.3%	23.9%
Hispanic	66,447	43.6%	72,658	44.0%	9.3%
Total	152,374	100%	165,355	100%	8.5%

Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018.

EMPLOYMENT

Employment availability, growth, and wages greatly affect housing demands. Incomes associated with different jobs and the number of workers in a household determines the type and size of housing a household can afford. Higher-paying jobs provide greater housing opportunities for residents, while lower-paying jobs limit housing options. In addition, the type of employment growth in a city can affect housing needs and demand – for example, communities with military installations, large factories, college campuses, or seasonal agriculture.

According to the 2014-2018 American Community Survey (ACS), there were 80,196 Corona residents in the labor force, representing a labor force participation rate of 62.5 percent of persons 16 years and over. Table 4 shows the number of persons employed in each job industry and the corresponding percentage of the labor force for the City. The largest occupational category for City residents was education/health care/social assistance. The unemployment rate was 5.5 percent, compared to the County's unemployment rate of 6.7 percent.

Table 4: Jobs Held by Corona Residents

Job Industry	Number	Percent
Agriculture, forestry, fishing and hunting, and mining	160	0.2%
Construction	5,796	7.2%
Manufacturing	11,008	13.7%
Wholesale trade	2,893	3.6%
Retail trade	9,767	12.2%
Transportation and warehousing, and utilities	4,299	5.4%
Information	1,241	1.5%
Finance, insurance, real estate, and rental and leasing	5,045	6.3%
Professional, scientific, management, administration, and waste management	8,024	10.0%
Educational, health care, and social assistance	16,461	20.5%
Arts, entertainment, and recreation, accommodation, and food services	7,487	9.3%
Other services, except public administration	3,800	4.7%
Public administration	4,215	5.3%
Total employed persons (16 years and over)	80,196	100%
Total persons in labor force	84,863	
Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018		

Corona's proximity to major transportation corridors makes this area an attractive location for firms seeking ready access to markets in the counties of Riverside, San Diego, Orange, Los Angeles, and San Bernardino. Several major employers are located within Corona. As shown in Table 5 below, major employers in the community include Corona-Norco Unified School District, Corona Regional Medical Center, and Kaiser Permanente.

Table 5: Major Employers in Corona

Name of Employer	Number of Employees	Percent of Total City Employment	Type of Business
Corona-Norco Unified School District	5,478	6.55%	Education
Corona Regional Medical Center	1,200	1.44%	Medical
Kaiser Permanente	995	1.19%	Medical
All American Asphalt	840	1.00%	Construction
City of Corona	785	0.94%	Municipal
TWR Framing Enterprises	750	0.90%	Construction
Fender USA Corona	675	0.81%	Manufacturing/Retail
Monster Energy	607	0.73%	Manufacturing/Retail
Thermal Structures	500	0.60%	Manufacturing/Retail
Veg Fresh Farms	425	0.51%	Agriculture/Retail
Total	12,255	14.67%	
Source: 2019 Analysis of Impediments			

Table 6 displays mean annual wage data for occupations compiled by the California Employment Development Department (EDD) for the Riverside County Area. Education and healthcare occupations generally offer moderate pay scales while social service and manufacturing-related occupations offer lower wages.

Table 6: Mean Salary by Occupation – Riverside Region

Occupation	Mean Annual Wage
Management	\$115,670
Legal	\$117,886
Computer and Mathematical	\$85,434
Healthcare Practitioners and Technical	\$100,429
Architecture and Engineering	\$89,949
Life, Physical and Social Science	\$84,995
Business and Financial Operations	\$70,841
Education Instruction and Library	\$68,733
Arts, Design, Entertainment, Sports and Media	\$57,896
Construction and Extraction	\$57,678
Protective Service	\$57,169
Community and Social Service	\$59,837
Installation, Maintenance and Repair	\$52,052
Sales and Related	\$41,705
Office and Administrative Support	\$43,346
Production	\$39,858
Transportation and Material Moving	\$38,729
Healthcare Support	\$31,819
Building, Grounds Cleaning, and Maintenance	\$35,403
Personal Care and Service	\$34,054
Farming, Fishing and Forestry	\$28,350
Food Preparation and Serving Related	\$29,429
All Occupations	\$51,996
Source: California Employment Development Department, Occupational Wage data, 2020.	

HOUSEHOLD CHARACTERISTICS

HOUSEHOLD COMPOSITION AND SIZE

The Census defines a household as all persons who occupy a housing unit, regardless of whether these persons are related by birth, marriage, or adoption. People living in retirement or convalescent homes, dormitories, or other group living situations are not considered households. The characteristics of the households in a community are important indicators of the types of housing needed in that community.

Household size is a significant factor in housing demand. Often, household size can be used to predict the unit size that a household will select. For example, small households (one and two persons per household) may find suitable housing in units with up to two bedrooms, while large households (five or more persons per household) may desire housing in units with three or more bedrooms.

Table 7 shows that more than a third of households in the City of Corona in 2018 (most recent available data) largely consisted of families with children (36.6 percent), similar to neighboring jurisdictions and the County as a whole. Additionally, 20.7 percent were single-person households, 16.3 percent of households were headed by seniors (65+), 8.4 percent of households were single-parent households, and 18.0 percent were large households.

Table 7: Household Characteristics

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786
Chino Hills	2,892 (14.3)	3,820 (18.9)	8,726 (43.2)	1,533 (7.6)	3,225 (16.0)	20,196
Moreno Valley	6,166 (11.1)	7,125 (12.8)	21,106 (37.9)	7,022 (12.6)	14,231 (25.6)	55,650
Norco	1,471 (20.9)	1,828 (26.0)	2,106 (30.0)	382 (5.4)	1,241 (17.7)	7,028
City of Riverside	18,050 (19.1)	18,985 (20.1)	30,617 (32.4)	9,523 (10.1)	17,209 (18.2)	94,384
Riverside County	156,113 (23.8)	69,255 (9.3)	238,702 (30.6)	67,737 (8.9)	143,669 (20.0) ¹	718,349
Source: American Community Survey, 2014-2018. SCAG Corona Local Data. ¹ SCAG Profile of Riverside County.						

As shown below in Table 8, the percentage of single person and senior-headed households has increased from 2010 to 2018, while the percentage of families with children, single-parent households, and large households has decreased. The average household size also decreased slightly.

Table 8: Corona Household Characteristics (2010-2018)

Household Type	2010		2018		Percent Change (2010-2018)
	Number	Percent	Number	Percent	
Single Person Households	6,372	14.4	10,309	20.7	61.8
Senior Headed Households	6,113	13.6	8,115	16.3	32.8
Families with Children	20,317	45.2	18,219	36.7	-10.3
Single-Parent Households	4,765	10.6	4,167	8.4	-12.5
Large Households	10,504	23.4	8,976	18.1	-14.5
Total Households	44,950	100	49,786	100	10.8
Average Household Size	3.4	-	3.3	-	-
Source: American Community Survey, 2014-2018. SCAG Corona Local Data.					

OVERCROWDING

The State Department of Housing and Community Development (HCD) defines an overcrowded household as one with more than one person per room, excluding bathrooms, kitchens, hallways, and porches. Overcrowding in households results from either a lack of affordable housing (which forces an increased number of persons to live together) and/or a lack of available housing units of adequate size.

Overcrowding typically occurs when there are not enough adequately sized units within a community, when high housing costs relative to income force too many individuals to share a housing unit than it can adequately accommodate, or when families reside in smaller units than they need to devote income to other necessities, such as food and health care. Overcrowding tends to accelerate the deterioration of housing and disproportionately affects renter-households. Therefore, maintaining a reasonable level of occupancy and alleviating overcrowding are critical to enhancing quality of life.

As shown below in Table 9, overcrowding affected 5.9 percent of households in Corona. Overcrowding decreased from 2010, when approximately 8.2 percent of households were overcrowded. Approximately 66.4 percent of overcrowded households rented versus 33.6 that owned their own homes.

Table 9: Average Household Size and Overcrowded Households

Jurisdiction	Average Household Size	Percent of Households That are Overcrowded	Percent of Overcrowded Households: Renters	Percent of Overcrowded Households: Owners
Corona	3.32	5.9%	66.4%	33.6%
Chino Hills	3.25	4.3%	52.8%	47.2%
Moreno Valley	4.04	10.6%	56.3%	43.7%
Norco	3.32	3.2%	27.7%	72.3%
City of Riverside	3.31	9.5%	68.6%	31.4%
Riverside County	2.96	6.9%	58.7%	41.3%
Source: American Community Survey, 2014-2018.				

In 2018, the average number of persons per household in the Riverside County region ranged from 3.25 to 4.04, with a regionwide average of 2.96 persons per household. Corona had an average of 3.32 persons per household in 2018, representing a small decrease from 2010, when an average of 3.38 persons per household was recorded. Corona had a smaller average household size than Moreno Valley and Norco. Furthermore, Corona had a lower percentage of overcrowded households when compared to Moreno Valley, City of Riverside, and the County of Riverside.

INCOME DISTRIBUTION

Income is a major factor in evaluating the affordability of housing in a community. According to the 2015-2019 ACS, the median household income in Corona was \$83,752, significantly above the countywide median of \$67,005. However, 13.9 percent of the City's households earned less than \$25,000. The 2015-2019 ACS estimated that approximately 9.8 percent of individuals, 7.8 percent of all families, 20.1 percent of families with a female householder and no spouse present, 11.0 percent of people 65 years old and over, and 11.5 percent of related children under 18 in Corona lived in households with incomes below the poverty level.³

For planning and funding purposes, the California State Department of Housing and Community Development (HCD) has developed the following income categories based on the Area Median Income (AMI) of a metropolitan area such as Riverside County. Collectively, extremely low, very low, and low income households are referred to as lower income households (up to 80 percent AMI):

- » Extremely low-income: households earning up to 30 percent of the AMI
- » Very low-income: households earning between 31 and 50 percent of the AMI
- » Low-Income: households earning between 51 percent and 80 percent of the AMI
- » Moderate-Income: households earning between 81 percent and 120 percent of the AMI
- » Above Moderate-income: households earning over 120 percent of the AMI

³ Categories are not mutually exclusive.

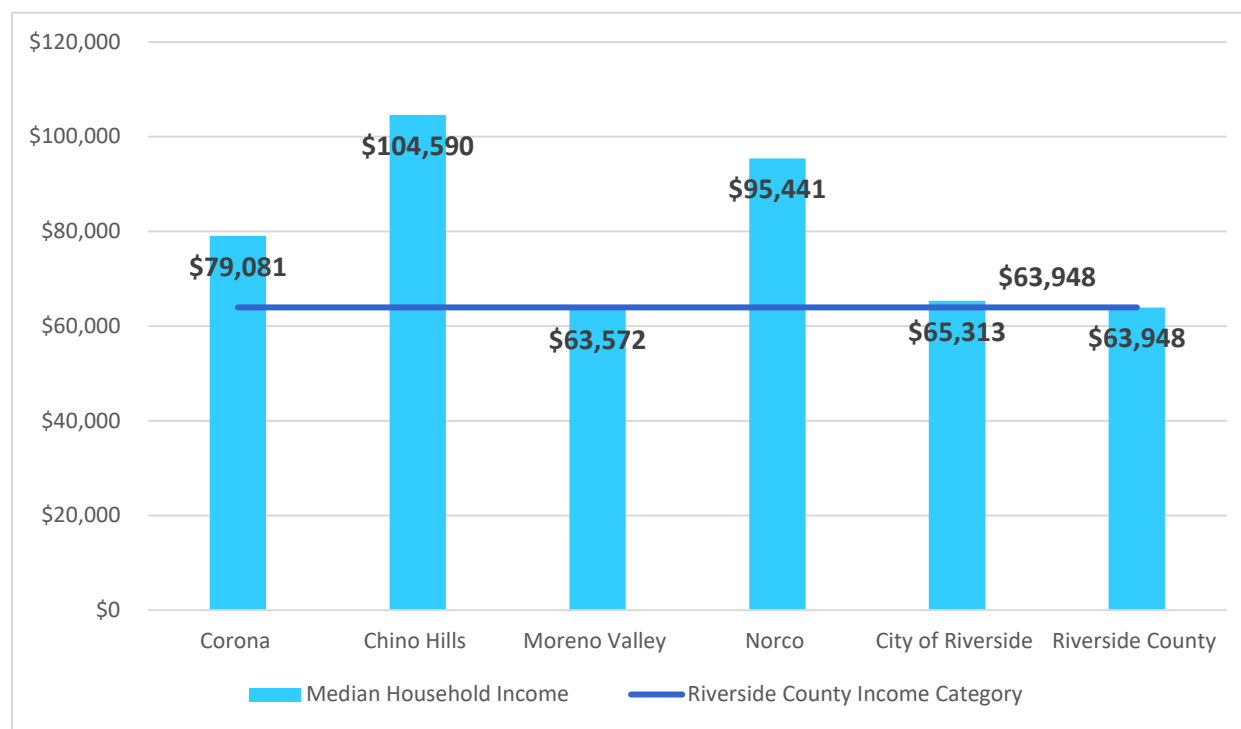
As shown below in Table 10, between 2014 and 2018, approximately 60.1 percent of Corona households earned moderate or above moderate-incomes, while 39.8 percent of households were classified as lower-income.

Table 10: Households by Income Category

Income Category (Percent of County AMI)	Households	Percent
Extremely Low (30% or less)	3,159	8.8%
Very-Low Income (<50% of AMI)	5,610	15.6%
Low Income (50-80% of AMI)	5,403	15.0%
Moderate Income (80-120% of AMI)	4,320	12.0%
Above Moderate Income (> 120%)	17,424	48.5%
Total	35,916	99.9%
Source: Bureau of the Census, ACS, 2014-2018		

The 2014-2018 ACS estimated that the median household income in Corona was \$79,081, approximately 24 percent higher than the County median income of \$63,948. The Cities of Chino Hills and Norco had a higher median household income than Corona, while Moreno Valley and the City of Riverside had lower median household incomes than Corona. Figure 2 below compares household incomes in Corona and neighboring jurisdictions relative to the median household income in Riverside County.

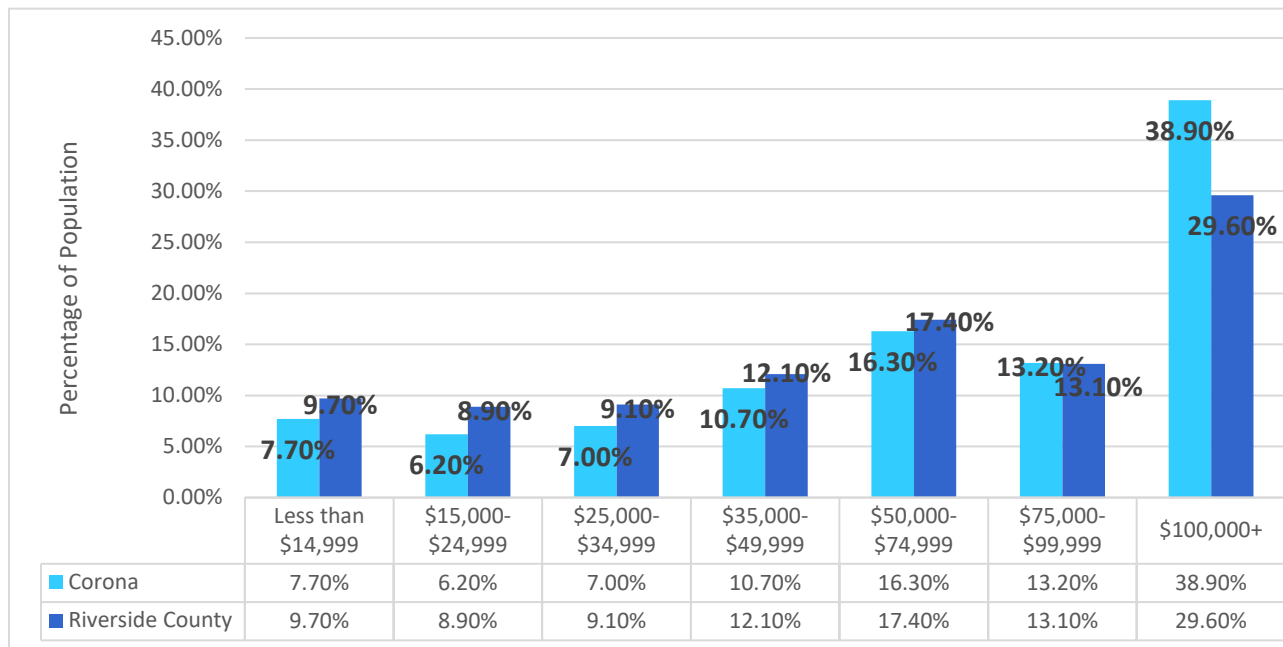
Figure 2: Median Household Income



Source: Bureau of the Census, ACS, 2014-2018.

As shown in Figure 3, less than 14 percent of Corona households earned less than \$25,000 (2014-2018 ACS data). In contrast, about 39 percent of Corona households earned \$100,000 or more. Corona had a higher percentage of moderate to higher income households than Riverside County.

Figure 3: Household Income



SPECIAL NEEDS GROUPS

Certain segments of the population may have a more difficult time finding affordable housing that fits their special circumstances or needs. These “special needs” households include seniors, persons with disabilities, large households, single-parent households, people living in poverty, farmworkers, and unhoused people. Table 11 below summarizes the special needs groups within the City.

Table 11: Special Needs Groups in Corona

Special Needs Group	Persons or Households	Percent of Total Persons or Households
Households with Seniors	11,059	22.3%
Senior Headed Households	8,115	9.9%
Seniors Living Alone	2,877	5.8%
Persons with Disabilities*	26,059	15.6%
Large Households	8,976	5.4%
Single-Parent Households	4,167	16.1%
Female Headed Households	5,446	11.0%
Female Headed Households with children	2,843	5.7%
People Living in Poverty*	3,063	6.2%
Farmworkers*	152	0.2%
Unhoused People	164	0.1%
Students*	47,981	29.0%
Military*	6,171	3.7%
*Estimate from the 2014-2018 ACS		
Sources: Bureau of the Census; 2000-2010 Census and American Community Survey (ACS), 2014-2018		

SENIORS

Senior-headed households may have difficulty finding adequate housing due to the likelihood of lower and/or fixed incomes, disabilities, or dependence needs. According to the 2014-2018 ACS, 8,115 of Corona's households (16.6 percent of total households) were headed by seniors. Of these, 2,877 (35.5 percent) were single-person households. As depicted in Table 12, 1,779 of the senior-headed households were renters (37.7 percent), while 6,521 owned their home (62.3 percent). This ratio generally reflects the owner/renter balance of the City as a whole. As seniors age, their housing needs may change.

The City's percentage of persons age 65 and over was approximately 10 percent (2014-2018 ACS data). This percentage is comparable to neighboring jurisdictions, but lower than the County's approximately 14 percent.

Table 12: Persons Age 65 and Over

Jurisdiction	Total	Age 65+	Percent Age 65+
Corona	168,248	16,385	9.9%
Chino Hills	79,298	8,527	10.8%
Moreno Valley	205,034	16,793	8.2%
Norco	26,569	3,425	12.9%
City of Riverside	323,935	33,695	10.4%
County of Riverside	2,383,286	328,609	13.8%
Source: Bureau of the Census, American Community Survey, 2014-2018.			

Seniors who live alone may have special housing needs due to a need for assistance with finances and daily living activities. The 2018 Census indicated that among the City's 16,385 seniors, 1,669 were age 85 and older. These residents may require more housing assistance and supportive services. Senior homeowners require help in meeting ongoing housing costs, especially utility and related costs, and often are forced to defer necessary repairs. The higher prevalence of disabilities in the senior population can further present unique challenges and housing needs for this population.

Housing Resources for Seniors

The following senior apartments set aside as affordable are located in Corona:

- » Corona Community Towers, 910 S. Bell Avenue – 36 units
- » Corona Community Villas, 2680 S. Main Street – 75 units
- » River Run Senior Apartments, 863 River Road – 360 units
- » Vintage Terrace, 1910 Fullerton Avenue – 200 units
- » William C. Arthur Terrace Apts., 1275 W. 8th Street – 40 units

State and federal legislation mandates that a percentage of units in new or substantially rehabilitated multi-family apartment complexes be made accessible to individuals with limited physical mobility. The City also offers flexibility in development standards and reasonable accommodations for projects proposing housing affordable to seniors and persons with disabilities.

Senior housing needs also include supportive housing, such as care facilities, group homes, and other housing that includes a planned service component.

Residential care facilities provide housing with limited medical services. The California Health and Safety Code requires that community care facilities serving six or fewer persons be permitted by right in residential zones. The City does not regulate residential care facilities for six or fewer persons; such homes are permitted by right in all residential zones as regular residential uses (R3, RG/R2, R1, and A zones). Residential care facilities for more than six persons can operate in those zones with a Conditional Use Permit (CUP). Proposed residential care facilities are subject to the same development standards that apply to that zone. The Corona Senior Center offers an array of programs and activities to adults age 50

and older. The multi-purpose facility stands as a place for senior citizens to participate in educational programs, receive human services, engage in recreational, fitness and health activities, and socialize. Human services offered at the center include renter's and homeowner's assistance, and access to home-delivered food programs. Education workshops hosted by various agencies target achieving a healthier lifestyle, understanding Medicare, and reducing medical costs.

PERSONS WITH DISABILITIES

Physical, mental, and/or developmental disabilities may prevent a person from working, restrict one's mobility, or make it difficult to care for oneself. Thus, persons with disabilities often have special housing needs related to limited earning capacity, a lack of accessible and affordable housing, and higher health costs associated with a disability. Some residents suffer from disabilities that require living in a supportive or institutional setting. The 2010 Census did not collect information on disability. According to 2014-2018 ACS data, approximately 26,059 (15.6 percent) of Corona residents had a disability. The ACS also tallied the number of disabilities by type for residents with one or more disabilities. Among the disabilities tallied, ambulatory difficulties were most prevalent, while cognitive and independent living difficulties were also highly prevalent. As shown below in Table 13, ambulatory and independent living difficulties were most prevalent in among the senior population.

Table 13: Disabilities Tallied in Corona, Including Developmental Disabilities

Disability Type	Number of Disabilities Tallied
	Total
Hearing difficulty	3,508
Vision difficulty	2,747
Cognitive difficulty	5,084
Ambulatory difficulty	6,551
Self-care difficulty	2,946
Independent living difficulty	5,223
Total Disabilities	26,059
Note: One person can have multiple disabilities.	
Source: Bureau of the Census, American Community Survey (ACS), 2014-2018.	

The living arrangement of disabled persons depends on the severity of the disability. Many persons with disabilities live at home in an independent fashion or with other family members. Independent living can be facilitated through special housing features and accommodations, income support, and in-home supportive services. Dependent persons with disabilities may live at home with families, in group homes, or in an institutionalized setting.

Housing Resources for Persons with Disabilities

As previously stated, State and federal legislation mandates that a percentage of units in new or substantially rehabilitated multi-family apartment complexes be made accessible to individuals with limited physical mobility. The City also offers flexibility in development standards and reasonable accommodations for projects proposing housing affordable to seniors and persons with disabilities.

Congregate residential living facilities, which provide housing for persons with physical disabilities, are permitted by right in all residential zones as regular residential uses (R3, RG/R2, R1, and A zones) if they have six or fewer clients per unit. Facilities for more than six persons can operate in those zones with a Conditional Use Permit (CUP).

PERSONS WITH DEVELOPMENTAL DISABILITIES

As defined by state law, “developmental disability” means a severe, chronic disability of an individual who:

- » Is attributable to a mental or physical impairment or combination of mental and physical impairments;
- » Is manifested before the individual attains age 18;
- » Is likely to continue indefinitely;
- » Results in substantial functional limitations in three or more of the following areas of major life activity: a) self-care; b) receptive and expressive language; c) learning; d) mobility; e) self-direction; f) capacity for independent living; or g) economic self-sufficiency; and
- » Reflects the individual’s need for a combination and sequence of special, interdisciplinary, or generic services, individualized supports, or other forms of assistance that are of lifelong or extended duration and are individually planned and coordinated.

The Center for Disease Control lists developmental disability types:⁴

- » ADHD,
- » Autism spectrum disorder
- » Cerebral palsy
- » Hearing loss
- » Intellectual disability
- » Learning disability
- » Vision impairment
- » Other developmental delays

The State of California Department of Developmental Services Regional Center and Early Start Consumers lists the number of persons with developmental disabilities by zip code. As of December 2020, the number of youth (0-17 years of age) and adult (18 years or older) persons with developmental disabilities were reported for each of these zip codes that are located in Corona:⁵

- » 92878: Youth - 12; Adults – fewer than 11
- » 92880: Youth - 314; Adults - 242
- » 92881: Youth - 109; Adults - 123
- » 92882: Youth - 265; Adults - 244
- » 92883: Youth - 168; Adults - 115

4 <https://www.cdc.gov/ncbddd/developmentaldisabilities/facts.html>

5 <https://www.dds.ca.gov/transparency/facts-stats/>

The total number of adults with developmental disabilities in all of the zip codes is 735. As each of these zip codes overlay multiple cities, it is difficult to determine the precise number of persons residing in Corona with developmental disabilities. Some of this population may be living with relatives, while others may need housing.

Individuals with severe intellectual and developmental disabilities often rely on Supplemental Security Income (SSI) as their only source of income, and these payments place households below the 30 percent AMI level in Corona. Some people with developmental disabilities may need wraparound services in supportive housing, while others may live more independently.

Housing Resources for Persons with Developmental Disabilities

As of May 2012, 196 beds were available at State licensed adult residential facilities in Corona. Specifically, Peppermint Ridge, a nonprofit organization focuses on serving the developmentally disabled, operates a variety of living environments, including five homes on its main campus and three homes located throughout Corona, with a combined capacity of 24 beds. The Regional Center provides diagnoses and assessments of eligibility, and helps plan, access, coordinate, and monitor the services and supports that are needed because of a developmental disability. The Inland Regional Center serves as a resource where families of developmentally disabled persons can obtain services and/or be referred to appropriate community resources in the fields of health, welfare, and education.

LARGE HOUSEHOLDS

Large households are defined as those with five or more members. Large households are identified as a group with special housing needs based on the limited availability of affordable, adequately sized housing units. It is not uncommon for large households to have lower incomes or consist of more than one family. To save on housing costs, many lower income large households resort to residing in smaller units, frequently resulting in overcrowded living conditions. Large households can also put a physical strain on the housing stock, resulting from the greater wear-and-tear on a unit.

As shown below in Table 14, 8,976 households in Corona with five or more members comprise 18 percent of the total households, with 2,997 of these households being renters (approximately 33 percent) and 5,979 being homeowners (approximately 67 percent).

Table 14: Large Households

Jurisdiction	Total Large Households		Homeowners		Renters	
	Number	Percent of Total Households	Number	Percent of Large Households	Number	Percent of Large Households
Corona	8,976	18.0%	5,979	66.6%	2,997	33.4%
County of Riverside	143,669	20.0%	N/A	N/A	N/A	N/A
Sources: 2014-2018 American Community Survey (ACS); Corona Analysis of Impediments, County of Riverside Community Profile (SCAG)						
N/A = Data not available						

With a shortage of adequately sized rental housing in the market, many lower income large families either live in overcrowded units, overpay for housing relative to their incomes, or settle for housing of lesser quality.

Housing Resources for Large Households

Lower and moderate-income large households can benefit from various affordable housing programs. The Housing Choice Voucher Program administered by the Riverside County Housing Authority can assist this group by providing rent subsidies and homeownership assistance.

FEMALE-HEADED HOUSEHOLDS

Single-parent households require special consideration and assistance because of their greater need for affordable and accessible day care, health care, and other supportive services. The 2014-2018 ACS estimated that approximately 16.1 percent of Corona households were headed by a single-parent. As shown below in Table 15, female-headed households accounted for approximately 11.1 percent of total Corona households. The 2014-2018 ACS reported 5,446 female-headed households in Corona, of which 3,257 had children. Of total Corona households, 2.4 percent were both female-headed households and had incomes below the poverty level, and 39.0 percent of the City's households with incomes below the poverty level were female-headed. Many of these households need assistance with housing subsidies, as well as accessible and affordable day care and other supportive services.

Table 15: Single Parent-Headed Households

Jurisdiction	Total Households	Number of Single Parent-Headed Households	Percent of Total Households	Number of Female-Headed Single-Parent Households	Percent of Total Households
Corona	49,658	7,995	16.1%	5,446	11.1%
County of Riverside	718,349	136,430	19.0%	93,534	6.7%

Source: American Community Survey, 2014-2018.

Housing Resources for Single-Parent Households

General programs and policies outlined in the Housing Plan in Chapter 6 will help facilitate housing units for low-income households, which may assist single-parent households locate affordable housing.

LOW-, VERY LOW-, AND EXTREMELY LOW-INCOME HOUSEHOLDS

Extremely low-income is defined as households with income less than 30 percent of area median income. The area median income in the City is \$79,081. Extremely low-income households are those with an income of \$23,724 or less. Households with extremely low-income have a variety of housing situations and needs. For example, most families and individuals receiving public assistance, such as social security insurance (SSI) or disability insurance are considered extremely low-income households.

According to the 2013-2017 ACS, approximately 4,360 extremely low-income households exist in the City, representing 8.7 percent of the total households. About half (56.4 percent) of extremely low-income

households are renters and experience a high incidence of housing problems. According to the ACS, 80.6 percent of extremely low-income households reported experiencing housing problems (defined as cost burden greater than 30 percent of income and/or overcrowding and/or without complete kitchen or plumbing facilities). Furthermore, 74.4 percent of extremely low-income households paid more than 50 percent of their income toward housing costs, compared to 46.6 percent for all households.

Households with incomes below the poverty level, which are typically households classified as extremely low and very low incomes, may require special programs to assist them in meeting their rent and mortgage obligations. The 2014-2018 ACS identified 6.2 percent of all family households and 2.4 percent of female-headed households to have extremely low and very low incomes. The ACS identified 10.5 percent of all Corona residents as living in households with incomes below the poverty level, including 12.9 percent of all people under 18 years of age, and 11.1 percent of all people 65 years of age and over.

These households often need assistance with housing subsidies, utility, and other living expense subsidies, as well as other supportive services.

Housing Resources for Low-, Very-, and Extremely Low-Income Households

Many extremely low-income households seek rental housing and may face an overpayment, overcrowding, or substandard housing conditions. Some extremely low-income households could have physical or mental disabilities and/or other special needs. To address the range of needs, the City will employ Program 24 to support the development of housing types that may fit the needs of extremely low-income residents, such as single-room occupancy (SRO) units and supportive housing. Supportive housing is very affordable rental housing for vulnerable people who do not have a home or are leaving institutions or hospitals. It is linked to intensive case management and life-improving services like health care, workforce development, and child welfare. The City regulates supportive housing as a residential use, provided supportive services are subordinate to the residential use.

General programs and policies outlined in the Housing Plan in Chapter 6 will help facilitate housing units for low-, very low-, and extremely low-income households. These efforts will continue and be improved upon to continue to provide housing for low-income residents.

RESIDENTS EXPERIENCING HOMELESSNESS

Homelessness has become an increasing problem throughout the County of Riverside. Factors contributing to the rise in the number of people experiencing homelessness include a general lack of housing affordable to lower income persons, reductions in public subsidies to low-income persons, and lack of available and affordable mental and physical health services.

State law (Section 65583(1) (6)) requires municipalities to address the special needs of unhoused persons within their jurisdictional boundaries. "Homelessness" as defined by HUD, describes an individual (not imprisoned or otherwise detained) who:

Lacks a fixed, regular, and adequate nighttime residence; and

Has a primary nighttime residence that is:

- » A supervised publicly or privately operated shelter designed to provide temporary living accommodations (including welfare hotels, congregate shelters, and transitional housing for the mentally ill);
- » An institution that provides a temporary residence for individuals intended to be institutionalized; or

- » A public or private place not designed for, or ordinarily used as, a regular sleeping accommodation for human beings.

This definition does not include persons living in substandard housing, (unless it has been officially condemned); persons living in overcrowded housing (for example, doubled up with others), persons being discharged from mental health facilities (unless the person was homeless when entering and is considered to be homeless at discharge), or persons who may be at risk of homelessness (for example, living temporarily with family or friends.)

The County of Riverside Homeless Count and Survey analyzed the Point-in-Time (PIT) count using a HUD-approved method for calculating the annual estimation. According to the County of Riverside Homeless Count & Survey, there were approximately 2,884 homeless individuals in Riverside County in 2020, shown below in Table 16. Of these individuals, the majority were unsheltered (73 percent), which includes persons living on the streets, persons estimated to be residing in cars, recreational vehicles (RVs), vacant buildings, and homeless camps. The survey estimated there to be 109 persons experiencing homelessness in Corona, which comprised 3.8 percent of the total number counted in the County.

Table 16: Persons Experiencing Homelessness in Corona and Riverside County

Jurisdiction	Sheltered	Unsheltered	Total	Percent of County Population of Persons Experiencing Homelessness
Corona	0	109	109	3.8%
County of Riverside	729	2,155	2,884	100%
Source: Regional Housing Task Force on the Homeless, 2020.				

Housing Resources for Persons Experiencing Homelessness

The City's five-year Homeless Strategic Plan calls for Annual Action Plans that are tied to the budget. One goal of the Plan is for the City to open a newly remodeled homeless shelter/navigation center at 420 Harrison Street. The City is scheduled to open the shelter in Fall 2021. The City continues to provide emergency shelter through its Motel Voucher Program. The City also supports Alternatives to Domestic Violence (ADV) to offer a crisis hotline, counseling and emergency shelter to local victims of domestic violence. This program is currently offered by the Corona-Norco United Way, which operates in the City of Corona.

The Corona Norco Settlement House, a United Way Agency, is located at 507 S. Vicentia Avenue, Corona, and provides emergency food, clothing, and utility vouchers. Depending on available funding, the organization also provides rental vouchers for families who are unable to make their rent payments and face eviction and possible homelessness. Additionally, referral services, a thrift store, and assistance with holiday toys are coordinated through the agency.

Additionally, the following agencies provide services for persons experiencing homelessness in Corona:

- » City of Corona Homeless Outreach and Psychological Evaluation (HOPE) Team Care Shelter
- » RCCADV (Alternatives to Domestic Violence)

- » Shelter for the Homeless (Riverside Men's Shelter)
- » Genesis (Lutheran Social Services)
- » City of Corona Motel Emergency Shelter Program
- » City Net

Sub-populations of the homeless include those with mental disabilities and substance abuse problems, those suffering domestic violence, persons with AIDS, veterans, youth, the unemployed, and extremely low/very low-income families. Each of these sub-population groups has different needs including substance abuse recovery, mental treatment, medical treatment, and job training and placement.

FARMWORKERS

Farmworkers are traditionally defined as persons whose primary incomes are earned through permanent or seasonal agricultural labor. Permanent farm laborers work in the fields, processing plants, or related activities on a generally year-round basis. When workload increases during harvest periods, the labor force is supplemented by seasonal labor, often supplied by a labor contractor. For some crops, farms may employ migrant workers, defined as those whose travel distance to work prevents them from returning to their primary residence after their work ends for the day.

Due to the high cost of housing and low wages, a substantial number of migrant farm workers have difficulty finding affordable, safe, and sanitary housing. According to the State Employment Development Department, the average farm worker earned a mean annual income of \$32,000 in 2020. This limited income is exacerbated by a tenuous and/or seasonal employment status. Determining the true size of the agricultural labor force is difficult. For instance, the government agencies that track farm labor do not consistently define farmworkers (e.g. field laborers versus workers in processing plants), length of employment (e.g. permanent or seasonal), or place of work (e.g. the location of the business or field). According to SCAG, it is estimated that 152 City residents were considered farmworkers (employed in farming, fishing, and forestry occupations). The US Department of Agriculture's 2017 Census of Agriculture reported that in Riverside County, 11,365 persons were hired farm labor (fulltime), 5,758 persons were employed for 150 days or more, and 5,607 were hired for 150 days or fewer.⁶

Resources for Farmworkers

The City can accommodate the development of farmworker housing in any zone that permits the type of housing being built (i.e., agricultural zones) without special conditions. Since the City does not have a large farmworker population, the housing needs of this group are addressed through the City's standard affordable housing programs for lower-income households. The City's municipal code permits farmworker housing in zone A - Agricultural Zone as provided by the employer.

HOUSING STOCK CHARACTERISTICS

A community's housing stock is defined as the collection of all housing units located within the jurisdiction. The characteristics of the housing stock, including growth, type, age, condition, tenure,

⁶ USDA 2017:

https://www.nass.usda.gov/Publications/AgCensus/2017/Full_Report/Volume_1,_Chapter_2_County_Level/California/

vacancy rates, housing costs, and affordability are important in determining the housing needs for the community.

HOUSING GROWTH

Consistent with an urbanized, largely built-out community, Corona has experienced a moderate housing growth of 20.1 percent between 2000 and 2010 and slower growth of 9.2 percent between 2010 and 2018. As shown below in Table 17, the City's housing stock grew from 39,271 units in 2000 to 51,504 units in 2018, or a 31.2 percent increase over 18 years. Overall, housing growth in Riverside County has continued to increase due to its relatively cheaper land prices than coastal areas and its proximity to nearby cities and major employers. Out of the total housing units in Corona, there are 48,151 occupied units, which equates to a 3.6 percent total vacancy rate (DOF 2020). The average household size (as expressed by the population to housing unit ratio) is 3.5.

Table 17: Housing Unit Growth (2000 to 2018)

Jurisdiction	2000	2010	2018	Percent Change	
				2000-2010	2010-2018
Corona	39,271	47,174	51,504	20.1%	9.2%
Chino Hills	20,414	23,617	25,588	15.7%	8.4%
Moreno Valley	41,431	55,559	50,620	34.1%	-8.9%
Norco	6,277	7,322	7,438	16.7%	1.6%
City of Riverside	85,974	98,444	90,866	14.5%	-7.7%
Riverside County	584,674	800,707	833,602	36.9%	4.1%

Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018.

HOUSING TYPE AND TENURE

The City's housing stock in 2000, 2010, and 2018 by unit type is shown below in Table 18. Between 2010 and 2018, the number of single-family housing units increased approximately 13.0 percent, while the percentage of multi-family units increased approximately 19.0 percent.

The proportion of owner-occupied households in Corona slightly decreased between 2010 and 2018. In 2018, close to 64.5 percent of the City's households were owner-occupants. With approximately 72.6 percent of the City's housing units being single-family and 64.5 percent of owner-households, a portion of the City's single-family homes is used as rentals. Between 2010 and 2018 the vacancy rate in the City decreased from 4.7 percent to 3.6 percent.

Table 18: Housing Unit Type

Housing Unit Type	2000		2010		2018		Percent Change	
	Units	Percent	Units	Percent	Units	Percent	2000-2010	2010-2018
Single-Family Homes	28,177	71.8%	33,093	73.8%	37,394	72.6%	17.4%	13.0%
Multi-Family Homes	9,799	25.0%	10,320	22.5%	12,275	23.8%	5.3%	19.0%
Mobile Homes/Other	1,282	3.3%	1,687	3.7%	1,835	3.6%	31.6%	8.0%
Total	39,271	100.0%	47,174	100.0%	51,504	100.0%	20.1%	9.2%
Owner-Occupied	25,548	67.5%	30,210	67.2%	32,052	64.5%	18.2%	6.1%
Renter-Occupied	12,291	32.5%	14,740	32.8%	17,606	35.5%	20.0%	19.4%
Total Occupied	37,839	100.0%	44,950	100.0%	49,658	100.0%	18.8%	10.5%
Vacancy Rate	-	3.6%	-	4.7%	-	3.6%	+1.1%	-1.1%
Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018								

As shown below in Table 19, average household size steadily increased from 2000 to 2018. Average household size for owner-occupied households remained consistent with an average size of 3.42 persons per unit between 2010 and 2018, while renter-occupied households declined in average household size from 3.30 in 2010 to 3.12.

Table 19: Average Household Size (2000-2018)

Tenure	2000	2010	2018
Owner-Occupied	3.39	3.42	3.42
Renter-Occupied	3.06	3.30	3.12
Total Occupied	3.29	3.38	3.49
Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018			

NUMBER OF BEDROOMS PER UNIT

The 2014-2018 ACS identified the number of bedrooms per unit for all housing in Corona. As shown below in Table 20, housing units with four bedrooms comprised the majority of households in 2018 (30.1 percent). No-bedroom housing units (studios) comprised the smallest share (1.6 percent). Over 80 percent of housing had two, three, or four bedrooms per unit, while 9.6 percent had fewer than two bedrooms per unit and 10.3 percent had five or more bedrooms per unit. According to 2015-2019 ACS, 989 owner-

occupied and 1,953 renter-occupied households had more than 1.0 occupants per room, which meets the ACS definition for overcrowding. 270 owner-occupied households and 523 renter-occupied households had more than 1.5 occupants per room, which meets the ACS definition for severe overcrowding. Out of a total of 32,052 owner-occupied units, 3.9 percent are overcrowded and out of 17,606 renter-occupied units, 14.1 percent are overcrowded.

Table 20: Housing Unit Size

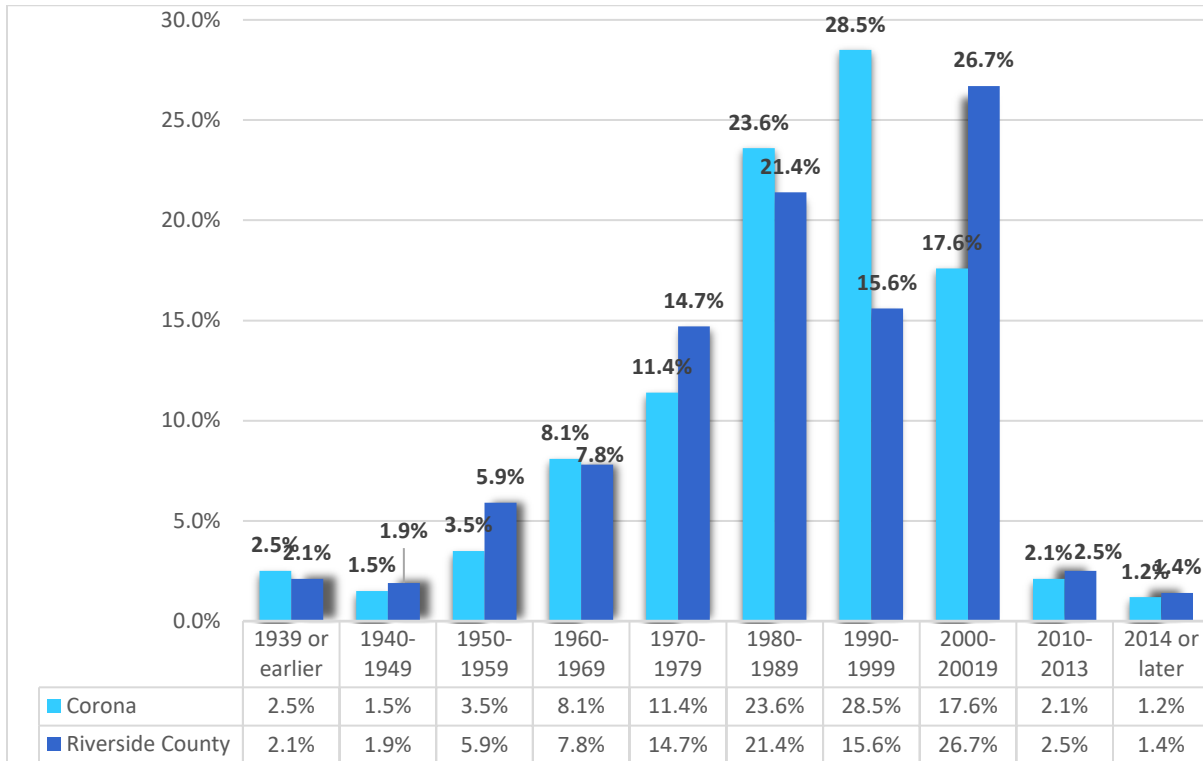
Bedrooms	Percent of Total Households
No Bedroom	1.6%
1 Bedroom	8.0%
2 Bedrooms	20.2%
3 Bedrooms	29.7%
4 Bedrooms	30.1%
5 or more bedrooms	10.4%
Source: American Community Survey, 2014-2018.	

AGE AND CONDITION OF HOUSING STOCK

Housing age can be an important indicator of housing condition within a community. Like any other tangible asset, housing is subject to gradual physical or technological deterioration over time. If not properly and regularly maintained, housing can deteriorate and discourage reinvestment, depress neighboring property values, and eventually impact the quality of life in a neighborhood. Many federal and State programs also use the age of housing as one factor in determining housing rehabilitation needs. Typically, housing over 30 years of age is more likely to have rehabilitation needs that may include new plumbing, roof repairs, foundation work, and other repairs. Three factors used to determine housing conditions are age of housing, overcrowding, and lack of plumbing/kitchen facilities. Overcrowding was previously addressed.

As shown below in Figure 4, as of 2018, approximately 50.6 percent of all housing units in Corona were built prior to 1990, potentially requiring minor repairs and modernization improvements. Approximately 52.1 percent of the City's housing stock was constructed between 1980 and 1999, an earlier housing boom than other areas in the County.

Figure 4: Age of Housing Stock



Source: American Community Survey, 2014-2018.

Housing that is not maintained can discourage reinvestment, depress neighboring property values, and can negatively impact the quality of life in a neighborhood. Improving housing is an important goal of the City. HUD considers housing units to be “standard units” if they are in compliance with local building codes. Common housing code violations in Corona include problems with electrical wiring, plumbing, windows, roofs and exterior, and heating and air conditioning systems. Most of Corona’s substandard units are suitable for rehabilitation. Table 21 below shows the number of substandard units in the City that are currently under enforcement by the City’s Code Compliance Division. The units in the table do not represent all units in the City as this information is not available. The percentages shown in Table 21 are out of a total of 49,658 occupied units.

Table 21: Substandard Housing Units

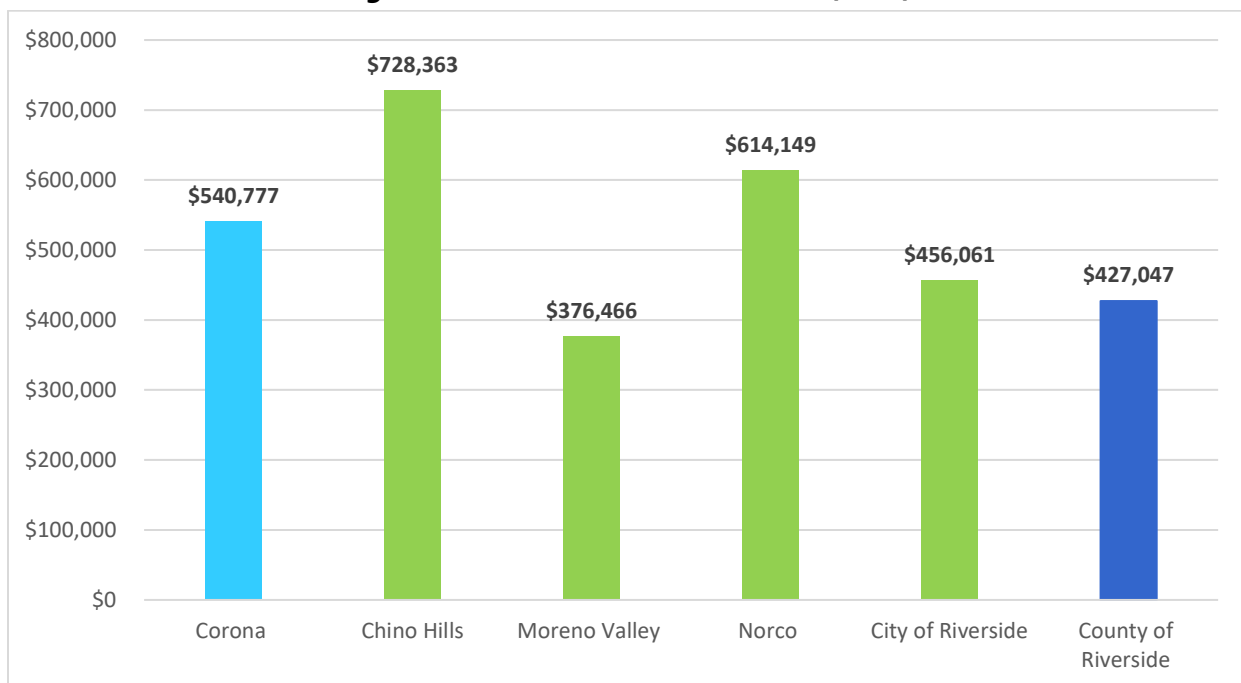
Condition	Number of Occupied Units	Percentage of Total Occupied Units
Illegal residential conversions, non-permitted electrical, poor roofing, no heating system.	591	1.2%
Source: City of Corona, June 2021		

HOUSING COSTS

Housing costs are indicative of housing accessibility to all economic segments of the community. Typically, if housing supply exceeds housing demand, housing costs will fall. If housing demand exceeds housing supply, housing costs will rise.

Ownership Market

The City's median home price in 2020 was \$540,777, which was 21 percent higher than the countywide median of \$427,047, as shown below in Figure 5. When compared to neighboring jurisdictions, Corona's median home price was approximately 26 percent lower than Chino Hills and 30 percent higher than Moreno Valley.

Figure 5: Median Home Prices Sales (2020)

Source: Zillow, 2020.

As shown below in Table 22, median home sale prices in Corona increased slightly by about four percent between 2019 and 2020. Other Riverside County cities also saw small increases in median home prices during this time period, as did Riverside County as a whole.

Table 22: Changes in Median Home Sale Prices and Values (2019-2020)

Jurisdiction	2019	2020	Percent Change in Median Sale Price
	Price	Price	
Corona	\$504,000	\$540,777	7.3%
Chino Hills	\$686,000	\$728,363	6.2%
Moreno Valley	\$344,000	\$376,466	9.4%
Norco	\$571,000	\$614,149	7.6%
City of Riverside	\$420,000	\$456,061	8.6%
County of Riverside	\$394,000	\$427,047	8.4%
Source: Zillow, 2020.			

Housing Rents

Rental listings posted on Zumper.com for available rental housing in Corona were reviewed between January 2020 to December 2020. Table 23 below lists the median and average rents for rental housing by number of bedrooms.

Table 23: Average Monthly Rent

Number of Bedrooms	Median Rent	Average Rent	Rent Range
Studio	\$1,186	\$1,139.70	\$1,000-\$1,233
1 Bedroom	\$1,624.50	\$1,680.00	\$1,552-\$1,897
2 Bedroom	\$1,874.50	\$1,964.75	\$1,785-\$2,379
3 Bedroom	\$2,396.50	\$2,422.60	\$2,269-\$2,624
4 Bedroom	\$2,716.50	\$2,771.00	\$2,654-\$3,080
Source: Zillow, 2020.			

Housing Affordability

Housing affordability can be inferred by comparing the cost of renting or owning a home in the City with the maximum affordable housing costs for households at different income levels. This information can generally show who can afford what size and type of housing and indicate the type of households most likely to experience overcrowding and overpayment.

HUD conducts annual household income surveys nationwide to determine a household's eligibility for federal housing assistance. Based on this survey, HCD developed income limits that can be used to determine the maximum price that could be affordable to households in the upper range of their

respective income category. Households in the lower end of each category can afford less by comparison than those at the upper end. Table 24 below shows the maximum amount that a household can pay for housing each month without incurring a cost burden (overpayment).

Table 24: Housing Affordability Matrix - Riverside County

Income Group	Annual Income Limits	Affordable Payment	Housing Costs		Affordable Price	
			Utilities	Taxes/ Insurance (Owner)	Sale	Rent
Extremely Low-Income (0-30% of AMI)						
1-Person	\$15,850	\$396	\$205	\$139	\$13,823	\$191
2-Person	\$18,100	\$453	\$218	\$158	\$20,902	\$235
3-Person	\$21,720	\$543	\$246	\$190	\$28,186	\$297
4-Person	\$26,200	\$655	\$274	\$229	\$39,993	\$381
5-Person	\$30,680	\$767	\$305	\$268	\$50,980	\$462
Very Low-Income (31-50% of AMI)						
1-Person	\$26,400	\$660	\$205	\$231	\$59,005	\$455
2-Person	\$30,150	\$754	\$218	\$264	\$71,697	\$536
3-Person	\$33,900	\$848	\$246	\$297	\$80,348	\$602
4-Person	\$37,650	\$941	\$274	\$329	\$89,028	\$667
5-Person	\$40,700	\$1,018	\$305	\$356	\$93,891	\$712
Low-Income (51-80% of AMI)						
1-Person	\$42,200	\$1,005	\$205	\$369	\$126,669	\$850
2-Person	\$48,200	\$1,205	\$218	\$422	\$148,997	\$987
3-Person	\$54,250	\$1,356	\$246	\$475	\$167,499	\$1,110
4-Person	\$60,250	\$1,506	\$274	\$527	\$185,815	\$1,232
5-Person	\$65,100	\$1,628	\$305	\$570	\$198,386	\$1,322
Median Income (80-100% of AMI)						
1-Person	\$52,700	\$1,318	\$205	\$461	\$171,637	\$1,112
2-Person	\$60,250	\$1,506	\$218	\$527	\$200,603	\$1,288
3-Person	\$67,750	\$1,694	\$246	\$593	\$225,313	\$1,448
4-Person	\$75,300	\$1,883	\$274	\$659	\$250,268	\$1,609
5-Person	\$81,300	\$2,033	\$305	\$711	\$267,764	\$1,727
Moderate Income (100-120% of AMI)						
1-Person	\$63,250	\$1,581	\$205	\$553	\$216,818	\$1,376
2-Person	\$72,300	\$1,808	\$218	\$633	\$252,208	\$1,590
3-Person	\$81,300	\$2,033	\$246	\$711	\$283,342	\$1,787
4-Person	\$90,350	\$2,259	\$274	\$791	\$314,721	\$1,985
5-Person	\$97,600	\$2,440	\$305	\$854	\$337,570	\$2,135
Sources: HCD 2020. Veronica Tam and Associates, 2020.						

EXTREMELY LOW-INCOME HOUSEHOLDS

Extremely low-income households earn 30 percent or less of the County area median income – up to \$15,850 for a one-person household and up to \$30,680 for a five-person household in 2020. Extremely low-income households cannot afford market-rate rental or ownership housing in Corona without assuming a cost burden.

Very- Low-Income Households

Very low-income households earn between 31 percent and 50 percent of the County area median income – up to \$26,400 for a one-person household and up to \$40,700 for a five-person household in 2019. A low-income household can generally afford homes offered at prices between \$59,005 and \$93,891, adjusting for household size. After deductions for utilities, a very low-income household can afford to pay approximately \$455 to \$712 in monthly rent, depending on household size. Given the cost of housing in Corona, very low-income households could not afford to purchase a home or rent an adequately sized unit in the City.

Low-Income Households

Low-income households earn between 50 percent and 80 percent of the County area median income – up to \$42,200 for a one-person household and up to \$65,100 for a five-person household in 2020. A low-income household can generally afford homes offered at prices between \$126,669 and \$198,386, adjusting for household size. After deductions for utilities, a low-income household can afford to pay approximately \$850 to \$1,322 in monthly rent, depending on household size.

Median-Income Households

Median-income households earn between 80 percent and 100 percent of the County's area median income - up to \$52,700 for a one-person household and up to \$81,300 for a five-person household in 2020. The affordable home price for a moderate-income household ranges from \$171,637 to \$267,764. After deductions for utilities, a one-person median-income household could afford to pay up to \$1,112 in rent per month and a five-person low-income household could afford to pay as much as \$1,727.

Moderate-Income Households

Moderate-income households earn between 100 percent and 120 percent of the County's Area Median Income – up to \$97,600 depending on household size in 2020. The maximum affordable home price for a moderate-income household is \$216,818 for a one-person household and \$337,570 for a five-person family. Moderate-income households in Corona could afford to purchase the median priced home in the City; however, finding an affordable adequately sized home could present a challenge for households earning incomes at the lower end of the middle/upper category. The maximum affordable rent payment for moderate-income households is between \$1,376 and \$2,135 per month. Appropriately sized market-rate rental housing is generally affordable to households in this income group.

Cost Burden

The CHAS developed by the Census Bureau for HUD provides detailed information on housing needs by income level for different types of households in Corona. Detailed CHAS data based on the 2013-2017 ACS data is displayed in Table 25 below. Housing problems considered by CHAS include:

- » Units with physical defects (lacking complete kitchen or bathroom);

- » Overcrowded conditions (housing units with more than one person per room);
- » Housing cost burden, including utilities, exceeding 30 percent of gross income; or
- » Severe housing cost burden, including utilities, exceeding 50 percent of gross income.

Sixty-one (61) percent of extremely low-income renter households spend more than 50 percent of their income on housing. Low-income households tend to more often be renters than buyers. Specifically, all extremely low, very low, and low-income renters in Corona reported experiencing at least one housing problem. Additionally, a higher than average portion of families who rent are housing-burdened (pay more than 30 percent of income on housing).

Table 25: Housing Assistance Needs of Lower-Income Households

Household by Type, Income, and Housing Problem	Renters	Owners	Total Households
Extremely low-income (0-30% AMI)	2,460	1,900	4,360
With any housing problem	87.4%	74.5%	81.8%
With cost burden >30%	85.8%	74.2%	80.6%
With cost burden >50%	80.3%	67.1%	74.4%
Very low-income (31-50% AMI)	2,605	1,830	4,435
With any housing problem	82.5%	62.4%	84.1%
With cost burden >30%	88.7%	73.2%	82.2%
With cost burden >50%	65.5%	59.6%	63.0%
Low-income (51-80% AMI)	3,925	2,730	6,655
With any housing problem	92.0%	69.2%	82.6%
With cost burden >30%	83.9%	66.1%	76.6%
With cost burden >50%	34.4%	41.4%	37.3%
Moderate & Above Income (>80% AMI)	1,740	2,720	4,460
With any housing problem	76.4%	66.4%	70.3%
With cost burden >30%	62.6%	60.8%	61.7%
With cost burden >50%	19.0%	24.3%	22.2%
Total Households	17,550	32,405	49,955
With any housing problem	11,550	11,720	23,270
% With housing problem	65.8%	36.7%	46.6%

Note: Data presented in this table are based on special tabulations from the ACS data. Due to the small sample size, the margins of errors can be significant. Interpretations of these data should focus on the proportion of households in need of assistance rather than on precise numbers.

Source: HUD CHAS, 2013-2017.

AT-RISK HOUSING (ASSISTED UNIT) ANALYSIS

ASSISTED HOUSING AT RISK OF CONVERSION

State law requires the City to identify, analyze, and propose programs to preserve existing multi-family rental units that are currently restricted to low income housing use and that will become unrestricted and possibly be lost as low income housing (i.e., “units at risk” or “at-risk units”). State law requires the following:

- » An inventory of restricted low-income housing projects in the City and their potential for conversion;
- » An analysis of the costs of preserving and/or replacing the units at risk and a comparison of these costs;
- » An analysis of the organizational and financial resources available for preserving and/or replacing the units “at risk,” and
- » Programs for preserving the at-risk units.

The following discussion satisfies the first three requirements of State law listed above pertaining to the potential conversion of assisted housing units into market rate housing before April 15, 2031. The Housing Plan section includes a program for preserving the at-risk units, which meets the final requirement of State law.

INVENTORY OF ASSISTED HOUSING UNITS IN CORONA

Table 26 below provides a description of assisted housing developments in Corona. All multi-family rental units assisted under federal, state, and/or local programs, including HUD programs, State and local bond programs, redevelopment programs, density bonus, or direct assistance programs, are included in the table.

AT-RISK PROJECTS

The planning period for this at-risk housing analysis extends from April 15, 2021, through April 15, 2031. The underlying income use restrictions of these projects were reviewed for potential conversion to market rate during this planning period. Detailed project information is listed in Table 26.

During this 10-year period, three projects will be at risk of losing their affordability controls. Combined, a total of 89 assisted units will be at risk between April 2021 and April 2031. The three housing projects are assisted under the following programs:

HUD Section 202 and HUD Section 8: Two of the projects were assisted under the Section 202 - Handicapped and Elderly Housing Program and the Section 8 program – Corona Community Towers and Garrison House. Section 202 provides loans to help build or rehabilitate handicap or elderly units. The maximum period for the loan is 40 years. These HUD Section 202-financed projects also maintain project-based Section 8 contracts.

Under the HUD Section 8 program, participating building owners are entitled to receive HUD Fair Market Rents (FMRs) for their units with Section 8 contracts. On the Section 8 units, HUD makes up the difference between 30 percent of a household’s monthly income and the FMRs. A total of 41 at-risk units are assisted under these programs.

Low/Moderate Developer Funds: One project received developer funds to construct low/moderate income housing – Park Place (Casa De Corona). Developer funds are given to finance a project with the condition that the project be used to support very low, low, and moderate income assisted units. A total of 48 at-risk units are assisted under this program.

COST ANALYSIS

The following discussion examines both the cost of preserving the units at-risk in Corona, and the costs of producing new rental housing comparable in size and rent levels to replace the units that could convert to market rate. Cost estimates provided in this analysis are intended to indicate an order of magnitude. Actual costs involved in each option will depend on the rental and real estate market situations at the time the affordability controls on these projects expire.

Preservation Costs: A total of 89 units distributed among three projects are at risk of losing their affordability controls between, April 15, 2021, and April 15, 2031. Preservation of the at-risk units can be achieved in several ways:

Rental Assistance: Tenant-based rent subsidies could be used to preserve the affordability of housing. Similar to Housing Choice Vouchers, the City, through a variety of potential funding sources, could provide rent subsidies to tenants of at-risk units. The level of the subsidy required to preserve the at-risk units is estimated to equal the Fair Market Rent (FMR) for a unit minus the housing cost affordable by a lower income household.

This type of preservation largely depends on the income of the family, the shelter costs of the apartment and the number of years the assistance is provided. If the typical very low-income family that requires rental assistance earns \$39,540, then the family could afford approximately \$989 per month for shelter costs. The difference between the \$989 and the typical rent for a two-bedroom apartment of \$1,757 would in necessary monthly assistance of \$768 a month or \$9,216 per year. For comparison purposes, typical affordable housing developments carry an affordability term of at least 20 years, which would bring the total cost to \$184,320 per family. Providing tenant-based rental assistance for all 89 at-risk units is estimated at \$16,404,480 over a 20-year period.

Purchase of Affordability Covenants: Another option to preserve the affordability of at-risk projects is to provide an incentive package to the owners to maintain the projects as affordable housing. Incentives could include writing down the interest rate on the remaining loan balance, and/or supplementing the subsidy amount received to market levels.

To purchase the affordability covenant on these projects, an incentive package should include interest subsidies at or below what the property owners can obtain in the open market. To enhance the attractiveness of the incentive package, the interest subsidies may need to be combined with rent subsidies that supplement the HUD fair market rent levels.

Replacement Costs: The construction of new low-income housing units is a means of replacing the at-risk units should they be converted to market-rate units. The cost of developing housing depends upon a variety of factors, including density, size of the units (i.e. square footage and number of bedrooms), location, land costs, and type of construction.

Assuming an average development cost is \$200,000 per unit for multi-family rental housing, replacement of the 89 at-risk units would require approximately \$17,800,000 excluding land costs. When land costs and developer profits are included, the construction costs of new units can easily double.

Table 26: Assisted Housing Developments in Corona

Project Name	Location	Total Units	Assisted Units				Total Assisted	Expiration Date	Funding
			Very Low	Low	Senior	Moderate			
Not At-Risk									
Corona del Rey	1148 D. St.	160	32	128	No	0	160	Perpetuity	Revenue Bond, Low/Mod Funds, City HOME, County HOME, Federal Tax Credits
Casa de la Villa Apartments	313 S. Vicentia Avenue	75	8	66	No	0	74	2060	Low/Mod Funds, Federal Tax Credits, Developer Funds
Corona del Oro	630-650 W. 2nd	72	71	0	No	0	71	2055	Low/Mod Funds, HOME Funds, Federal Tax Credits
River Run Senior Apartments	863 River Road	360	144	216	Yes	0	360	2055	RDA Low/Mod Housing Funds, Federal Tax Credits
Vintage Terrace Apartments	1910 Fullerton Street	200	0	200	Yes	0	200	2038	HUD and Tax Credit
Corona Community Villas	2600 S. Main Street	75	0	74	Yes	0	74	2073	HUD Section 202/ Section 8
Corona Park Apartments	956 Avenida Del Vista	160	0	158	No		158	2072	HUD Section 8
Citrus Circle Apartments	121-141-161 Buena Vista	61	42	18	No	0	60	2070	NSP, Federal Tax Credits, CHA
Meridian Apartments	1066 E. 6 th Street	85	8	76	No	0	84	2075	HOME, Federal Tax Credits, CHA

Table 26: Assisted Housing Developments in Corona

Project Name	Location	Total Units	Assisted Units				Total Assisted	Expiration Date	Funding
			Very Low	Low	Senior	Moderate			
William C. Arthur Terrace Apartments	1275 W. 8th Street	40	39	0	Yes	0	39	2044	HUD Section 202/811 Section 8
TOTAL		1,288	344	936	--	0	1280	--	
At-Risk									
Park Place (Casa De Corona)	935, 945, 950 W. Fifth Street	48	12	18	No	18	48	2027	Low/Mod Developer Funds
Corona Community Towers	910 S. Belle Street	36	0	35	Yes	0	35	2022	HUD Section 202/ Section 8
Garrison House	779 Ford Street	7	6	0	Yes	0	6	2027	HUD Section 202/ Section 8
TOTAL		91	18	53	--	18	89	--	
Source: City of Corona Redevelopment Agency, 2020; HUD Expiring Section 8 Database, 2020.									

COST COMPARISONS

The above analysis attempts to estimate the cost of preserving the at-risk units under various options. However, because different projects have different circumstances and therefore different options available, the direct comparison would not be appropriate. In general, providing additional incentives/subsidies to extend the affordability covenant would require the least funding over the long run, whereas the construction of new units would be the costliest option. Over the short term, providing rent subsidies would be least costly but this option does not guarantee the long-term affordability of the units.

RESOURCES FOR PRESERVATION OF AT-RISK HOUSING

The following describes active non-profit agencies that may have the capacity to develop, acquire, and/or manage affordable housing, including housing projects that are at risk of converting to market-rate housing.

Jamboree Housing: Founded in 1990, Jamboree specializes in the development and construction of new affordable rental and for-sale housing. The organization has a portfolio that includes development and/or ownership interest in nearly 6,600 affordable homes in 47 California cities – topping a market value of \$1 billion. Jamboree currently owns and operates Corona Park Apartments, a 158-unit affordable community, located in the City of Corona. Jamboree acquired and rehabilitated this project in 2004.

Western Community Housing: Western Community Housing Inc. (WCH) is a California non-profit public benefit corporation that was founded in 1999 and is headquartered in Costa Mesa, California. WCH's mission is to promote affordable housing and to provide social services to low-income senior and family households. By partnering with local governments, for-profit developers, lenders, syndicators and corporate investors, WCH and its affiliates currently have an ownership interest in 89 affordable housing communities comprising over 7,800 units. The agency currently owns and operates Heritage Park Apartments in the nearby City of Norco.

BRIDGE Housing: In 1983, BRIDGE was formed from a major anonymous grant given to the San Francisco Foundation to spearhead new solutions to the worsening shortage of affordable housing. Today BRIDGE's steady stream of diverse development efforts and pipeline activity exceeds 18,000 homes. The organization owns and operates Ivy at College Park, a 135 affordable apartment community, located in nearby Chino.

LINC Housing: LINC Housing has a 36-year history of creating communities for thousands of families and seniors throughout California. LINC is committed to building and preserving housing that is affordable, environmentally sustainable, and a catalyst for community improvement. The organization currently owns and operates Seasons Senior Apartments in nearby Chino.

AFFIRMATIVELY FURTHERING FAIR HOUSING

Under state law, affirmatively further fair housing means “taking meaningful actions, in addition to combatting discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity based on protected characteristics. Beginning January 1, 2019, all housing elements must include a program that promotes and affirmatively furthers fair housing opportunities throughout the community for all persons regardless of race, religion, sex, marital status,

ancestry, national origin, color, familial status, or disability, and other characteristics protected by the California Fair Employment and Housing Act (FEHA), Government Code Section 65008, and any other state and federal fair housing and planning law. Additionally, all housing elements due on or after January 1, 2021, must contain an Assessment of Fair Housing (AFH) consistent with the core elements of the analysis required by the federal Affirmatively Furthering Fair Housing (AFFH) Final Rule of July 16, 2015. The housing element land inventory and identification of sites must be consistent with a jurisdiction's duty to AFFH and the findings of its AFH. The AFH for the 2021-2029 Housing Element is included in Appendix C.

Chapter 3: Housing Constraints

Market, government, infrastructure, and environmental factors, among others, create constraints to the provision of adequate and affordable housing. These factors may restrict the development of housing, particularly that affordable to lower-income households. Constraints can generally be divided into "governmental constraints," meaning those controlled by federal, State, and local governments, and "nongovernmental constraints," or those that are neither generated nor affected by governmental controls. An analysis of these factors can facilitate the development of programs that lessen the effects such constraints have on the supply and cost of housing.

MARKET CONSTRAINTS

AVAILABILITY

The high cost of renting or buying a residence is the main, ongoing constraint to adequate housing opportunities in Corona. The high cost of land, construction, labor, and limits on financing contribute to a decrease in the availability of affordable housing. Corona is an urbanized area with few vacant parcels available for residential development. These parcels are identified and described further in the Housing Resources (Chapter 4) portion of this Housing Element. Opportunities exist on underutilized, residentially zoned sites capable of being developed at higher densities and non-residential zoned sites where mixed-use development is permitted.

Short-term rental housing is relatively low in Corona. Short-term residential rental is defined as the rental of any legally permitted dwelling unit or one or more portions of any legally permitted dwelling unit, for occupancy purposes for a period of 30 consecutive calendar days or less, counting portions of calendar days as full days. The City of Corona requires a short-term residential rental permit before renting or advertising the availability of a short-term residential rental unit. Furthermore, every broker must ensure that each short-term residential rental unit is registered with the City and that the owner or owner's authorized agent has obtained the requisite short-term residential rental permit and business license prior to listing or advertising the unit for rent. The requirement for a short-term residential rental permit is based on the actual duration of the rental period and not the stated time period of the reservation, rental or other contract or agreement. Permits must be renewed annually. In 2021 to date, the City has only received three permits. Therefore, City policies regarding short-term rentals are not a constraint for residents to access long-term housing.

There is potential to develop new affordable housing units on vacant land designated for multi-family residential and on vacant residential parcels where infill could occur. Reuse and redevelopment of existing sites can also accommodate additional housing in Corona with uses that range from multi-family units (e.g., duplexes and triplexes) or accessory dwelling units (i.e., granny flats) that are attached or detached from existing single-family homes on residential properties.

Throughout Riverside County, sale prices of single-family homes increased an average of 5.7 percent from 2015 to 2017, and indications are that the trend will continue. In Corona, property values increased by 5.97 percent from 2016 to 2017, slightly more than the county overall average.

CONSTRUCTION AND LABOR COSTS

The cost of labor and materials are the main determinants of construction cost. The relative importance of each is a function of the complexity of the construction job and the desired quality of the finished product. This puts builders under constant pressure to complete jobs for the lowest price possible while still providing a quality product, a situation that has led (and still leads) to an emphasis on labor-saving materials and construction techniques.

The price paid for material and labor at any one time will reflect short-term considerations of supply and demand. Between 2016 and 2020, construction costs rose approximately 10.5 percent.⁷ Costs have moderated somewhat due to fluctuations that followed the 2008 downturn, and more recently, from supply accessibility during the COVID-19 pandemic. Future costs are difficult to predict given the cyclical fluctuations in demand and supply that, in large part, are created by fluctuations in State and national economies. These circumstances impact construction in regions differently, and therefore do not deter housing construction in any specific community.

For the average home, the cost of labor is generally two to three times the cost of materials and therefore represents a substantial component of the total building costs. Most residential construction in Riverside County is performed with nonunion contractors, and labor costs are responsive to changes in the residential market. The relative ease with which a skilled tradesperson can get a contractor's license further moderates the pressures related to rising labor costs. Construction costs in Corona are about the same as in other parts of Southern California.

A reduction in amenities and quality of building materials (in line with a minimum acceptability for health, safety, and adequate performance) could result in lower sale prices. Economy building techniques may reduce costs. Prefabricated, factory-built housing may provide lower priced housing by reducing construction and labor costs. Another factor related to construction costs is the number of units built at one time. As the number of units increases, construction costs over the entire development generally go down, due to economies of scale. This reduction in costs is beneficial when density bonuses apply to affordable housing development.

LAND COST

High land costs are a primary factor affecting the feasibility of residential development in the City. The prices of land vary depending on location, zoning (allowable density), and availability of improvements. Additionally, land costs vary depending on the current use of the site; whether the site is vacant or has an existing use that will need to be removed or converted. In general, entitled single-family subdivisions with infrastructure extension plans command higher prices than raw land. Many variables influence land cost, including scarcity and developable density (both of which are indirectly controlled through government land use regulations), location, unique features, and the availability of public utilities. Undeveloped land in Corona ranges from \$39,200 to \$85,909 per acre. This high cost makes density optimization imperative to residential land developers.

Vacant land zoned for multi-family use is scarce and typically more expensive per acre than vacant land zoned for single-family residential. As the City becomes increasingly built-out and future development becomes more reliant upon the acquisition of underutilized parcels and demolition of existing structures, the cost of a finished residential site will further increase.

⁷ California Department of General Services (DGS). 2020. DGS California Construction Cost Index (CCCI). <https://www.dgs.ca.gov/RES/RESOURCES/> (accessed January 2021).

FINANCING

Construction Financing

The availability of construction financing affects the degree to which new housing can be built. Over the years, loan underwriting has become more conservative than in the past, when developers might receive construction loans for 100 percent or more of a project's estimated future value. Although no hard threshold exists for the amount of required equity that would be too much to make a project infeasible to develop, the higher amount of equity required, the more unlikely the developer would proceed with the project. Higher equity amounts require not only more cash upfront, but also would necessitate a higher project value at completion to generate the net cash flow needed to meet the minimum acceptable cash-on-cash return threshold. These trends inform the condition of the housing market throughout the Southern California region.

Availability of Mortgage and Rehabilitation Financing

The Home Mortgage Disclosure Act (HMDA) requires financial institutions to maintain, report, and disclose publicly information about mortgages. In 2017, 2,336 households applied for conventional mortgage loans in Corona and 774 households applied for government backed loans. Considerably fewer Corona households applied for government-backed loans than conventional loans to purchase homes in 2017. Another 569 Corona households applied for home improvement loans in 2017. In general, home improvement financing is less accessible during market downturns, compared to home purchase financing. High debt-to-income ratios coupled with lower property appraisals can make it more difficult to qualify for additional financing. Applications to refinance existing mortgages were most common with 3,551 total applications. Of these, 2,802 were conventional loans and 749 were government-backed loans. According to HMDI data for 2017, all loan applications were approved, including those for refinance and renovation. None were denied. This indicates the failure, denial, and origination rates since 2015 has improved for conventional and government backed loans.

Table 27 Disposition of Home Loan Applications

Applications (By Loan Type)	Number of Applications	Share of Applications	Number Approved	Percent Approved
Home Purchase	3,430	39.4%	3,120	90.9%
Conventional	2,671	30.7%	2,403	89.9%
FHA – Insured	506	5.8%	480	94.9%
VA – Guaranteed	253	2.9%	237	93.7%
FSA/RHS	0	0.0%	0	0.0%
Home Improvement	747	8.6%	543	72.7%
Conventional	674	7.7%	484	71.8%
FHA – Insured	41	0.5%	30	73.2%
VA – Guaranteed	32	0.4%	29	90.6%
FSA/RHS	0	0.0%	0	0.0%
Refinancing	4,538	52.1%	3,568	78.6%
Conventional	3,541	40.6%	2,808	79.3%
FHA – Insured	553	6.4%	425	76.9%
VA – Guaranteed	444	5.1%	335	75.5%
FSA/RHS	0	0.0%	0	0.0%
Total	8,715	100.0%	7,231	82.9%
Notes: “Approved” includes loans approved by the lenders whether or not they are accepted by the applicants. “Other” includes loan applications that were either withdrawn or closed for incomplete information. Source: HMDA 2017.				

About 50 percent of loan applicants reported incomes that exceeded 120 percent of the AMI. Given the high rates of approval, refinancing and home purchase loans are generally available and not considered to be a constraint in Corona. The City provides forgivable loans of up to \$25,000 to qualifying lower income homeowners to address critical home improvement needs (Program 1).

Federal agencies offer limited down payment assistance programs to assist with down payment and closing costs, including subordinate loans with deferred payments that help with affordable mortgage payment levels. Offered through the MyHome Assistance Program, the loan structure varies based on the agency with most capping the amount at \$11,000.⁸

GOVERNMENTAL CONSTRAINTS

Housing affordability is affected by factors in both the private and public sectors. Actions by the City can have an impact on the price and availability of housing in Corona. Land use controls, site improvement requirements, building codes, fees, and other local programs intended to improve the overall quality of housing may serve as a constraint to housing development.

⁸ California Housing Finance Agency (CalHFA). 2021. Loan Programs. [web page]. Calhfa.ca.gov/homebuyer/programs/index.htm. (accessed February 2021).

LAND USE CONTROLS AND DEVELOPMENT STANDARDS

The City regulates the type, location, density, and scale of residential development primarily through its General Plan and Zoning Ordinance. In general, the City's zoning and land use regulations are designed to balance the goal of providing affordable housing opportunities for all income groups while protecting the health and safety of residents and preserving the character of existing neighborhoods.

General Plan and Zoning Categories/Densities

As discussed below, the Corona General Plan, specific plans, and Zoning Ordinance provide for a wide range of residential land use designations/zones in the City. General residential standards are provided in Table 29. A comparison of these standards to neighboring cities is provided in Table 30.

Residential

Rural/Estate Residential (0 to 3 units per acre): Includes the Rural Residential I/II and Estate Residential General Plan land use designations, all E, ER, and HER designations in specific plans and the R14.4, A-14.4, R-1-A, R-1.20 and A zone districts.

Low Density Residential (3 to 6 units per acre): Includes the Low Density Residential and Low Medium Density Residential General Plan land use designations, all SFR, SF, LDR, SFC, SFD, LMDR and L designations in specific plans and the R-1-7.2, R-1 8.4, R-1 9.6, R-1 12, and MP zone districts.

Medium Density Residential (6 to 15 units per acre): Includes the Medium Density Residential General Plan land use designation, all M, MDR, MHDR, SFA designations in specific plans, and the R-2 and R-G zone districts.

High Density Residential (15 to 36 units per acre): Includes the High Density Residential General Plan land use designation, all HDR, MF, MFR and MHDR designations in specific plans, and the R-3 and R-3-C zone districts.

Urban Density Residential (37 to 60 units per acre): Includes the Urban Density Residential General Plan land use designation, the UDR designation in the North Main Street Specific Plan, and the R-3-C zone district.

Mixed Use

Mixed Use I and Downtown Commercial (2.0 to 3.0 floor area ratio): Includes the Mixed Use I and Downtown Commercial/Mixed Use land use designations and the MUD and MU designations in specific plans.

RESIDENTIAL COMMUNITY DEVELOPMENTS AND SPECIFIC PLANS

The City processes residential developments through conventional zoning regulations or Specific Plans. These mechanisms allow residential development of all types, with the development standards approved by the City Council for each individual application, and encourage whole-scale community planning with an appropriate balance of land use types. Specific Plans often incorporate mixed-use, higher density residential areas as a focal part of the plan. The only constraint is that single-family residential developments on fee simple lots must have a minimum 7,200 square-foot lot area, a size comparable to similar communities in the region.

The City has adopted 31 Specific Plans to date, two of which have been adopted since certification of the 5th cycle Housing Element Update. Specific plans outline development standards that govern development in the specific plan area. In general, they all incorporate provisions for housing, including the establishment of an Urban Density Residential zone, which allows up to 60 dwelling units per acre in one of the Specific Plans. These density levels are among the highest in the Inland Empire (similar to the City of Riverside) and higher than most suburban communities in the region.

Recent specific plans approved for development in Corona include the following:

- » Sierra Bella Specific Plan (updated July 2014)
- » Arantine Hills specific Plan (June 2020)

The Sierra Bella Specific Plan area is in northwest Corona, at the eastern terminus of Green River Road at Paseo Grande, south of the Sierra del Oro community. The Plan allows up to 249 single-family homes as a "hillside village," with a large part (62 percent) of the plan area remaining as open space. The Specific Plan was approved in 2005 but amended in 2014 to include provisions that reduce grading and visual impacts by clustering development in the lower portion of the plan area and reducing the minimum lot size to 7,200 square feet.

Table 2 identifies the City's development standards per zoning district. Site development standards are comparable to other community requirements in western Riverside County (see Table 3) and ensure a quality living environment for all household groups in Corona, including special groups such as lower and moderate income households and senior citizens. These development standard requirements, individually or together, are reasonable and have not impacted the ability of development to achieve the maximum allowable densities in any zone.

North Main Street District Specific Plan

The North Main Street District Specific Plan consists of 257.6 acres in the north-central portion of the City of Corona. The district contains a mix of land uses including commercial retail, commercial office, medium and high density residential, light industrial/manufacturing, and public/quasi-public land uses, with several vacant parcels of land scattered throughout. The district is located just north of the State Route 91 freeway (SR-91) and west of the Interstate 15 (I-15) corridor and bisected in a north-south direction by North Main Street which serves as the transportation spine. The Specific Plan allows residential development in the following areas with residential development potential (summarized in Table 28):

Single-family Condominiums (SFC) Area – This area, located at the northeast corner of River Road and Cota Street, would provide the opportunity for village-like residential uses near shopping and public transit. The SFC area encompasses approximately 8.3 acres, about eight percent of the entire Specific Plan area. Single-family condominiums can include both attached and detached units at a density no greater than 15 du/acre.

The following property development standards set forth in this section shall apply to all land and buildings in the SFC District:

- » Single Family Detached
- » Maximum Height: 30 ft. and no more than two stories
- » Maximum Density: 15 units / acre

- » Setbacks: 10 feet along all sides.
- » Parking: 2 covered spaces per unit, plus one guest space for every five units.
- » Single Family Attached
- » Maximum Height: 40 ft. and no more than three stories
- » Maximum Density: 15 units / acre
- » Setbacks: 10 feet rear, 5 feet sides, 10 feet front
- » Parking: Studio or single bedroom unit 1.5 covered spaces, Two bedroom unit 2.0 covered spaces, Three or more bedroom unit 2.5 covered spaces - Guest Parking 1 uncovered guest space/5 units

Urban Density Residential District (UDR) – This district is intended to accommodate and promote high density residential development up to 60 du/acre. The UDR district intends to create opportunities for integration between the commercial and residential uses along the Main Street corridor as well as enhanced commuter transit options with the nearby Metrolink Station and bus transfer hub. The UDR District encompasses approximately 17.3 acres generally located west of Main Street between Blaine Street and River Road.

The following property development standards set forth in this section shall apply to all land and buildings in the UDR District:

- » Maximum Height: 5 stories or 60 feet, whichever is lesser.
- » Maximum Density: 60 units / acre
- » Setbacks: 10 feet along all sides.
- » Parking: Single Bedroom 1.0 covered space, Two or more bedroom 1.0 covered space and 1.0 uncovered space per unit, Guest parking 1 guest space / 5 units

Mixed Use District (MU) – This district intends to provide opportunities for well-designed commercial projects or projects that combine residential with non-residential uses such office, retail, business services, personal services, public spaces and uses, and other commercial amenities. The District area covers approximately 29.2 acres in three areas bordering the east side of Main Street.

The North Main Street District Specific Plan can accommodate 400 units in the 6th Housing Element cycle upon rezone of parcels that could potentially be rezoned to accommodate lower and moderate-income units. The following property development standards set forth in this section shall apply to all land and buildings in the MU District:

- » Maximum Height: None. Height limited by Floor Area Ratio (FAR)
- » Maximum Density: Commercial FAR 0.5, Mixed Use FAR 2.0
- » Setbacks: 10 feet along all sides.
- » Parking: Studio or single bedroom unit 1.0 covered spaces, Two or more bedroom unit 2.0 covered spaces, Guest Parking 1 guest space/5 units

Table 28: Specific Development Standards for the North Main Street Specific Plan

	Urban Density Residential	Mixed Use
Density	60 units per acre	2.0 FAR
Maximum Height	5 stories or 60 feet	None
Lot Requirements	None	None
Private Open Space	None	None
Common Open Space	100 square feet per unit	100 square feet per unit
Setbacks	River Road – 10 feet Local/Private Street – 5 feet	Front – None Street Side – 10 feet
Parking	Studio/1-Bedroom – 1.0 covered space Two+ Bedrooms – 2.0 covered/uncovered spaces Guest Parking – 1.0 per 5 units	Studio/1-Bedroom – 1 covered space Two+ Bedrooms – 2.0 covered spaces Guest Parking – 1.0 per 5 units

These standards are established to facilitate high density residential and mixed-use developments. Specifically, for the Mixed-Use designation, up to 80 percent of the Floor Area Ratio can be dedicated to residential uses.

Downtown Corona Revitalization Specific Plan

The Downtown Corona Revitalization Specific Plan was adopted by the City in 1998 and most recently amended in 2011. The Specific Plan area includes approximately 621 acres and generally consists of the commercial corridor along 6th Street, from Lincoln Avenue on the west to the Temescal Creek Channel on the east, and the area within the Grand Boulevard Circle. Currently, seven districts within the Downtown Corona Revitalization Specific Plan area allow for residential development:

Downtown (D) District: The D District provides for medium-intensity commercial uses that serve mostly community-wide needs in a pedestrian-friendly environment. Uses allowed include commercial retail, service commercial, business offices (lodging), restaurants and sidewalk cafes, cultural and entertainment uses, nightclubs and microbreweries, mixed-use (including residential), as well as prominent buildings for governmental uses.

The following property development standards set forth in this section shall apply to all land and buildings in the D District:

- » Maximum Height: 5 stories or 60 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 3.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear

Transitional Commercial (TC) District: The TC District provides a buffer commercial district between the vehicular-oriented 6th Street Commercial, and the more pedestrian-oriented Downtown District. It provides great variety in low to medium intensity commercial uses in either a pedestrian or vehicular orientation. Mixed use developments, multi-family dwellings and senior citizen housing are allowed with a Conditional Use Permit (CUP) in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the TC District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear.

General Commercial (GC) District: The GC District provides for lower intensity uses that serve community and sub-regional needs with an emphasis on convenient automobile access, while incorporating efficient, safe, and attractive on-site pedestrian circulation. Mixed use developments are allowed with a CUP in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the GC District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear.

Community Services (CS) District: The CS District provides needed community services such as governmental or institutional offices, social service agencies, hospitals, pharmacies, health care offices, churches, parks and playgrounds, museums and performing arts facilities. Senior citizen housing is allowed with a CUP in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the CS District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 15 feet front, 10 feet side, and 10/20 feet rear.

Residential Office (RO) District: The RO District is a highly specialized area in the Specific Plan. The District provides for very low intensity office uses in either existing residential structures or in new buildings that take great architectural care to “fit in” with the historic residential structures found in the immediate vicinity. The District provides a much-needed land use buffer between the more intensive commercial districts and the low-density historic residential areas of the Circle.

The following property development standards set forth in this section shall apply to all land and buildings in the RO District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 1 units / acre
- » Setbacks: 20 feet front, 15 feet side, and 10 feet rear.

Single-family Residential (SF) District: The SF District is provided to protect the integrity of Corona’s historic residential neighborhoods within the Circle. The District is intended as an area for preservation and development of historically sensitive single-family detached residential.

The following property development standards set forth in this section shall apply to all land and buildings in the SF District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 4 units / acre
- » Setbacks: 20 feet front, 15 feet side, and 10 feet rear.

Multi-family Residential (MF) District: The MF District is intended for small areas that are presently developed with multi-family residential units.

The following property development standards set forth in this section shall apply to all land and buildings in the MF District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 10-20 units / acre based on overlay area
- » Setbacks: 25 feet front, 20 feet side, and 15 feet rear.

The Planning Commission may approve an increase in the overall height to 3 stories or 40 feet subject to Precise Plan approval. This stipulation is identified as a constraint to the development of multi-family housing and Program 14 has been developed to remove this impediment.

Dos Lagos Specific Plan

The Dos Lagos Specific Plan area consists of 542.89 acres located near the southern boundary of the City of Corona on the east side of Interstate 15. The Dos Lagos Specific Plan area was once a silica sand mining operation and processing plant that has been redeveloped as a mixed use area plan consisting of residential, commercial, hospitality, golf-course and an man-made lake.

Commercial (C) Designation: The Commercial (C) designation within the Specific Plan area is designed for commercial oriented uses and is intended to provide local community retail services and freeway support services including hospitality services.

The following property development standards set forth in this section shall apply to all land and buildings in the C District:

- » Maximum Height: 60 feet.
- » Maximum Density: N/A
- » Setbacks: 20 feet from Front, 0 rear and sides, 10 street sideyard

Entertainment Commercial (EC) Designation: The Entertainment Commercial (EC) planning area is intended to provide opportunities for local and regional entertainment and recreation.

The following property development standards set forth in this section shall apply to all land and buildings in the EC District:

- » Maximum Height: 60 feet.
- » Maximum Density: Up to 218 units
- » Setbacks: 20 feet from Front, 0 rear and sides, 10 street sideyard

Single Family Residential: The single family residential is for single family homes.

- » Maximum Height: 30 feet
- » Maximum Density: 6 du/ac
- » Setbacks: Front: 20 feet, Sides: 10/5, Rear: 10.

High Density Residential: is for attached multiple family units, including but not limited to townhouses and stacked condominiums.

- » Maximum Height: 60 feet/5 stories
- » Maximum Density: 36 du/ac
- » Setbacks: Street setbacks: 10 feet, Building Separation: 15 feet

Parking:

- » One bedroom: 1.5 covered per units
- » Two bedrooms: 2 covered/uncovered per units
- » Three + bedrooms: 2.5 covered/uncovered per units
- » Guest: 1 space every 5 units

Arantine Hills Specific

The Arantine Hills Specific Plan is located on 325.7 acres on the southeastern boundary of Corona East of Interstate 15. The Specific Plan allows 1,621 single-family and multi-family homes with an additional 185 age-qualified units for a total of 1,806 dwelling units.

General Commercial District: The General Commercial District (GC) is intended for commercial uses that serve neighborhood and community needs with an emphasis on convenient automobile access, while incorporating efficient, safe and attractive on-site pedestrian circulation. In addition to retail uses, the General Commercial District may also contain low- and medium-rise office uses.

The following property development standards set forth in this section shall apply to all land and buildings in the GC District:

- » Maximum Height: Four (4) stories or 50' , whichever is greater
- » Maximum Density: Up to 228 units
- » Setbacks: No requirements. Maximum FAR 0.25

High Density Residential District: The High Density Residential (HDR) District is planned for attached multi-family dwelling units, including, but not limited to, townhomes and row homes, clusters, stacked flats and age-qualified apartments, at densities of up to 36 dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the HDR District:

- » Maximum Height: Shall not exceed three stories or 40 feet, whichever is greater
- » Maximum Density: Up to 36 units/ acre
- » Setbacks: 10 or 26 feet front, 0 or 6 feet sides, 10 or 26 feet rear

Parking:

- » One bedroom: 1.5 covered/uncovered spaces
- » Two bedrooms: 2 covered spaces
- » Three+ bedrooms: 2 covered plus .5 uncovered
- » Age-Qualified: 1.5 uncovered spaces/unit
- » Guest: 1 space every 5 units

Medium Density Residential District: The Medium Density Residential District (MDR) is intended as a residential district for single family dwellings, duplexes townhomes, row homes, and multiple-family residences at densities up to 15 dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the MDR District:

- » Maximum Height: Shall not exceed three stories or 40 feet, whichever is greater
- » Maximum Density: Up to 15 units
- » Setbacks: 10 or 26 feet front, 0 or 6 feet sides, 10 or 26 feet rear

Low Density Residential District: The Low Density Residential Districts (LDR) are intended to provide for single-family detached homes and/or low density condominium homes with a maximum density of six dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the LDR District:

- » Maximum Height: Shall not exceed two stories or 35 feet, whichever is greater
- » Maximum Density: Up to 6 units
- » Setbacks: 20 feet from Front, 15 rear and sides, 10 street sideyard

Table 29: General Residential Development Standards in Zoning Code

Zone	Max. Density	Yard Setback Minimums			Parking Standards	Maximum Height	Maximum Lot Coverage
		Front	Side	Rear			
Rural/Estate Residential							
A [†]	1.0 du/5.0 acres	25'	15'	10'	2/unit	30' 2-story	30%
A-14.4 [†]	3.0 du/acre	25'	15'	10'	2/unit	30' 2-story	40% (1-story) 30% (2-story)
R-12.0 [†]	3.0 du/acre	25'	10'	7'	2/unit	30' 2 story	30% (2-story) 40% (1-story)
R-1-20.0 [†]	3 du/acre	25'	15'	10'	2/unit	30' 2-story	30% (2-story) 35% (1-story)
R-1A [†]	1.0 du/acre	25'	15'	10'	2/unit	30' 2-story	25%
Low-Density Residential							
R-1-12.0 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 30% (2-story)
R-1-9.6 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 35% (2-story)
R-1-8.4 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 35% (2-story)
R-1-7.2 [†]	6.0 du/acre	23'	5'-10'	10'-15'	2/unit	30' 2-story	45% (1-story) 35% (2-story)
Medium-Density Residential							
MP	8.0 du/acre	5'	4'	5'	2/unit + 1 for every 4 units	30' 2-story	75%
R-G	12.0 du/acre	30'	5'-15'	10'	**	35' 2-story	40%
R-2	15 du/acre	25'	5'-15'	10'	**	30' 2-story	50%
High Density Residential							
R-3	36 du/acre*	20'- 25'	5'-15'	10'	**	40' 3-story	60%
R-3-C	23.2- 58 du/acre	20'- 25'	5'-15'	10'	**	45' 3-story	70%
Source: City of Corona Municipal Code, Title 17, 2020.							
†Accessory dwelling unit of a permanent character placed in a permanent location is permitted under Corona Municipal Code Section 17.06.025							
* 75 dwelling units per acre (du/acre) for senior citizen/handicapped housing per Conditional Use Permit (CUP).							
**Parking Requirements:							
Single-family - 2 covered spaces/unit							
Studio and one-bedroom - 1.5 covered spaces per unit + 1.0 uncovered guest space per 5 units							
Two-bedroom – 2.0 covered spaces per unit + 1.0 uncovered guest space per 5 units							
3+ bedroom - 2.5 covered spaces per unit + 1.0 uncovered guest space per 5 units							
Market rate senior citizen apartment - 1.5 spaces per unit							
Lower income senior citizen apartment – 0.5 spaces per unit							
Senior congregate housing – 1.0 space per unit							
Disabled or handicapped housing – 0.3 spaces per unit							
Secondary dwelling – 1.0 uncovered space per unit							

Table 30: Regional Comparison of Residential Development Standards

Residential District	Development Standard	Corona	City of Riverside	Norco	Temecula
Rural/Estate Residential	Maximum Density	1 du/acre	3.3 du/acre	1 du/acre	1 du/2.5 acres
	Front Yard Setback	20'-25'	30'	25'	25'
	Parking Standards	2/unit	2/unit	2/unit	2/unit
	Maximum Height	30'/2-story	35'/2-story	35'	35'
Low Density Residential	Maximum Density	6 du/acre	6.0 du/acre	4.3 du/acre	2.0 du/acre
	Front Yard Setback	20'-25'	25'	25'	15'
	Parking Standards	2/unit	2/unit	2/unit	2/unit
	Maximum Height	30'/2-story	35'/2-story	35'/2.5-story	35'
Medium Density Residential	Maximum Density	15 du/acre	8.0 du/acre	8.0 du/acre	12.0 du/acre
	Front Yard Setback	25'	25'	25'	10'
	Parking Standards	*	2/unit	2/unit	*
	Maximum Height	30'/2-story	30'/	35'/2.5-story	40'
High Density Residential	Maximum Density	36.0 du/acre**	29.0 du/acre	No Comparable Zone	20.0 du/acre
	Front Yard Setback	20'-25'	15'	*	20'
	Parking Standards	*	*	*	*
	Maximum Height	40'/3-story	50'	*	50'
<p>Land Uses / Zone Districts Compared:</p> <p>Rural Residential: Corona = R-1A; Riverside = RE; Norco = A-E; Temecula = VL</p> <p>Low Density Residential: Corona = R-1-12; Riverside = R-1-1300; Norco = R-1; Temecula = L-2</p> <p>Medium Density Residential: Corona = R-2; Riverside = R-3-4000; Norco = R-3; Temecula = M</p> <p>High Density Residential: Corona = R-3; Riverside = R-4; Norco = N/A; Temecula = H</p> <p>* Parking standards vary by unit type.</p> <p>** Up to 75 du/acre for senior citizen/handicapped housing per CUP.</p> <p>Sources: City of Corona 2020, City of Riverside 2018, City of Norco 2020, City of Temecula 2020.</p>					

LOT COVERAGE

As shown in Table 29, maximum lot coverage varies between 25 and 75 percent, depending on the underlying zone. If maximum lot coverage standards were set too low, it could impede the ability to achieve greater densities or full residential development potential on-site. However, the standards set within the zoning ordinance are reasonable and allow for greater lot coverage within higher-density zones, while preserving the character of designated lower-density communities through lower maximum lot coverage.

OPEN SPACE

While there are no open space requirements for most residential zones (yard setbacks, maximum lot coverage and building separation requirements aside), multi-family units under higher density zones are required to provide common park or recreation space. The MP zone includes interior community center parks standards of at least 2,000 square feet of usable outdoor park space and a minimum of 150 square feet of combined outdoor and indoor net usable recreation area per mobile home space. The R-G, R-3, and R-3-C zone requires outdoor common space for the multi-family unit complex of at least 200 square feet (150 square feet for senior congregate care facilities) of usable outdoor space per dwelling unit exclusive of front yards, with other criteria.

PARKING

Excess parking can reduce the number of housing units that can be achieved on a given site. As shown in Table 29, the number of spaces required varies by zone; generally then, single-family residences are required to have two covered spaces, and multi-family units will have at least 1.5 covered spaces per studio or one-bedroom, 2.0 covered spaces per two-bedroom, and 2.5 covered spaces per three-bedroom (or greater). Multi-family units must also provide at least one uncovered guest space per five units. Senior units have reduced parking requirements at 0.5 to 1.5 spaces per unit, depending on the affordability of the unit, while all secondary dwelling units where allowed must have one covered space per unit. Housing for the disabled or handicapped requires only 0.3 spaces per unit. Homeless or emergency shelters must provide only one space per staff member/shift plus one space per 12 beds and two guest spaces. The City's parking requirements are not considered excessive and are similar to most communities in the region.

The Zoning Ordinance includes a provision for project applicants in the downtown area to pay an in-lieu fee to a parking fund when able to demonstrate that meeting requirements is infeasible, and the Planning and Housing Commission concurs and sets the appropriate fee. This provision is applied to a focused area of the downtown to facilitate redevelopment in the downtown. However, there has been no request to utilize this provision since adoption in 1978 and therefore, no formal program has been established to implement this in-lieu fee.

To facilitate high density residential development within ½ mile of public transportation, the City's parking standards for Urban Density Residential in the North Main Street Specific Plan is one space per unit for Studio/One-Bedroom Urban Residential and two spaces per unit for Three+ Bedrooms.

MINIMUM LOT SIZE REQUIREMENTS

Large-lot zoning is primarily established for residential areas zoned R1, which means single family. The City's R1 zoning has various minimum size requirements with the largest lot size starting at one acre and the smallest lot size being 7,200 square feet. In 1986, Corona voters approved Measure H, which requires a minimum lot area of 7,200 square feet for single-family homes located on fee simple lots. The City's multiple family residential zones, R-2 and R-3 also require a minimum lot size of 7,200 square feet per lot. These minimum requirements are very typical in suburban communities and do not seem excessive or burdensome in that they will not preclude most lots from developing residential use at an achievable maximum density assumed under these zones.

The minimum lot size requirement for an R-3-C zoned parcel is 6,000 square feet. To effectuate the purposes of the R-3-C zone and to encourage new development at one time of large areas of land for multi-family dwelling use, and the redevelopment at one time of many existing buildings in the zone for

this use, a minimum of 1,875 square feet of gross lot area per dwelling unit is required for lots less than 22,500 gross square feet. A minimum of 1,500 square feet of gross lot area per dwelling unit is required for larger lots. However, if a property was previously burdened by public street easements and abuts a lot or contiguous lots of 22,500 square feet or more, the minimum lot requirement may further be reduced to 750 square feet of gross lot area per dwelling unit. These minimum lot size requirements are designed to encourage lot consolidation and to facilitate the development of large-scale multi-family developments that would achieve economies of scale, potentially making units more affordable.

MINIMUM UNIT SIZES

For R-1 zones (single-family dwelling units), the minimum unit size is 1,000 to 1,400 square feet of living area exclusive of open patios and garages, depending on the specific district. For multi-family developments, the minimum unit size in an R-2 zone is 800 square feet per dwelling unit; for R-3-C and R-G is 600 square feet per dwelling unit; and for R-3 is 600 square feet per dwelling unit except for senior care facilities, which may be reduced to 550 square feet per unit, or further reduced to 375 to 550 square feet per unit depending on the unit type and under the provision that an equal amount of area under 550 square feet is provided elsewhere in the building in the form of common activity centers or facilities. These minimum unit sizes are smaller than those standards set by most communities and allow development to achieve the maximum densities permitted. These smaller unit sizes allow for the creation of a variety of housing types and affordability levels.

FLEXIBILITY IN DEVELOPMENT STANDARDS

Densities of up to 60 units per acre are permitted, with higher densities for senior citizen or handicapped housing units up to 75 units per acre via CUP. The City has also relaxed standards for minimum unit size and parking to encourage affordable senior housing and housing for disabled or handicapped persons.

Other density bonuses reflect current State Density Bonus Law, which allows for a 20 to 35 percent increase in density where units are reserved for lower income (minimum ten percent) or very low income (minimum five percent) units, or condominium units are reserved for moderate income residents (minimum ten percent). Density bonuses may also be achieved under the State Density Bonus Law for applicants who donate at least ten percent of their land for affordable housing (15 to 35 percent density bonus increase) or when a childcare facility is involved (matching square footage increase). Specific terms are negotiated between the City Manager or Community Development Director and the project developer under special agreement.

In addition to these density provisions, the City has adopted provisions for factory-built housing and second units, and encourages the preparation of specific plans as a means of proposing use regulations and development standards tailored to specific areas.

HOUSING FOR PERSONS WITH SPECIAL NEEDS

PROVISIONS FOR A VARIETY OF HOUSING TYPES

State law requires that each jurisdiction must identify adequate sites and provide the appropriate zoning to accommodate housing for all segments of the population. identifies the housing types permitted in the residential zoning categories.

Table 31: Residential Zoning Provisions for a Variety of Housing Types

Housing Type	Zoning District								
	A A-14.4	R-1-A R-1-20.0 R-14.4 R-1-12.0 R-1-9.6 R-1-8.4 R-1-7.2	MP	R-G	R-2 R-3 R-3-C	C-2 CP	C-3	M-1	M-2 M-3
Single-family	P	P	X	X	P	X	X	X	X
Multi-family	X	X	X	C	P	X	X	X	X
Accessory Dwelling Unit	P	P	P	X	P	X	X	X	X
Manufactured Housing	P	P	P	X	P	X	X	X	X
Care Facility for 6 or Less	P	P	X	P	P	X	X	X	X
Care Facility for 7 or More	C	C	X	C	C	X	X	X	X
Emergency Shelters	X	X	X	X	X	X	X	P	BZA
Farmworker Housing	P	X	X	X	X	X	X	X	X
Mobile Homes	X	X	P	X	X	X	X	X	X
Accessory Dwelling Units	P	P	X	X	P	X	X	X	X
Transitional and Supportive Housing	P	P	X	P	P	X	X	X	X
Single-Room Occupancy	-	-	-	-	-	-	-	-	-

Source: City of Corona Zoning Ordinance, 2012.

Notes: "P" = Permitted; "C" = Conditional Use Permit; "BZA" = Board of Zoning Approval; and "X" = Not Permitted.

Single-Family

A single-family dwelling (known as one-family dwelling) means a detached building or qualifying manufactured home, set on permanent foundation and provided such housing unit is architecturally compatible with other housing units in the surrounding neighborhood as well as used exclusively for occupancy by one family, including necessary domestic employees of such family, and containing one dwelling unit. One-family residences are permitted in all residential zones in the City. Projects with four or more units are subject to review and approval by the Planning and Housing Commission.

Multi-Family

Multi-family developments are permitted in the R-2, R-3, and R-3-C zones. They are also permitted in the R-G zone with a CUP. The maximum densities are 12 dwelling units per acre in the R-2 and R-G zones; 36 dwelling units per acre (or up to 75 senior citizen units per acre with CUP) in the R-3 zone; and 23 dwelling units per acre (for lots less than 22,500 square feet), 29 dwelling units per acre (for lots equal to or greater than 22,500 square feet), or 58 dwelling units per acre (for lots previously burdened by or

adjacent to a public street easement) in the R-3-C zone. Multiple family residential projects with four or more units are subject to review and approval by the Planning and Housing Commission.

Manufactured Housing

Pursuant to California law, the City permits manufactured housing on a permanent foundation in all residential zones that permit single-family dwellings. This type of housing is subject to the same development standards and design as “stick-built” housing.

24-Hour Care Facilities

The Zoning Ordinance regulates a variety of uses that provide 24-hour care to persons with disabilities, including State-licensed residential care facilities. The City revised its Zoning Ordinance in July 2013 to allow all such facilities that serve six or fewer persons by right wherever single- or multi-family housing is allowed, pursuant to the California Lanterman Developmental Disabilities Services Act. Care facilities that provide 24-hour care to seven or more disabled persons are allowed in all zones that permit residential uses subject to approval of a CUP. The Zoning Ordinance does not require a special separation distance requirement between residential facilities and other structures in residential zones. The requirement of a CUP is a constraint to the development of care facilities that provide 24-hour care to seven or more disabled persons. Under Program 25, the City will review the provisions to remove the constraint and amend the Zoning Ordinance and other documents as necessary.

Emergency Shelters

The City defines “emergency shelter” as housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person within any one year period, as defined by § 50801(e) of the California Health and Safety Code. No individual or household may be denied emergency shelter because of an inability to pay. In July 2013, the City revised its Zoning Ordinance to allow emergency shelters by right and subject to ministerial review within the M-1 zone, consistent with State law. The five-year Homeless Strategic Plan calls for Annual Action Plans that are tied to the budget. With City Council's approval of the Fiscal Year 2021 Homeless Solutions Annual Action Plan on July 15, 2020, the City planned to develop each component of the homeless system of services within approximately six months. The goal is to open the City's new homeless shelter/navigation center and housing programs in Fall 2021. The City continues to provide emergency shelter through its Motel Voucher Program and contracted shelter beds with the Path of Life in Riverside.

In addition to the same land use regulations and development standards that apply to all development within the M-1 zone (e.g., lot size, setbacks, building height, etc.), an emergency shelter proposed in this district must be demonstrated to meet the following standards, as permitted by § 65583(a)(4) of the Government Code:

- » The proposed shelter is in conformance with the applicable Building and Fire Codes
- » The proposed shelter use is consistent with the General Plan and zoning of the proposed site
- » The maximum number of beds or persons permitted to be served nightly by the facility must be based upon California Building Code Occupancy limits for the building in which the shelter is to be housed or developed

- » Off-street parking must be provided in accordance with CMC Section 17.76.030.A.2 (1.0 space per staff member of largest shift, plus 1.0 space per 12 beds and 2.0 guest spaces)
- » On-site management must be provided on a 24-hour basis
- » The shelter must be located no less than 300 feet from any other shelter facility
- » The length of stay for any client cannot exceed 180 nights in any one year period
- » Adequate exterior lighting must be provided and maintained for security purposes

The M-1 zone in Corona covers more than 2,000 acres and includes 532 parcels. Of this M-1 zoned land, 49 parcels (encompassing 195 acres) are currently undeveloped; the City also currently owns five parcels (totaling 135 acres) of M-1 land. Clusters of M-1 parcels are located along California State Highway 91 and the Railroad corridor. Most M-1 parcels are located within one-half mile of public transit, and several M-1 lots are directly adjacent to public bus routes. Corona's City Hall, hospital, library, senior center, community buildings, the hospital, Metrolink stations, and other locations serving homeless individuals and families are also located along public transit routes or within walking distance of M-1 parcels.

Emergency shelters are also permitted upon approval by the Board of Zoning Adjustment (BZA) in the M-2 and M-3 zones. For M2 and M3 zones, there are about 2,008.9 acres in the city with an average size of 4.7 acres.

Prior to approving an application to establish an emergency shelter within the M-2 or M-3 zones, the BZA must make the following findings:

- » At least ten days before the hearing, notice of the application for an emergency shelter was mailed to property owners of record on abutting properties and adjacent properties directly across a street or alley. The notice included a postcard for the property owner's use to return written comments on the proposed shelter and all responses have been considered by the Board
- » Land uses and development in the immediate vicinity of the site will not constitute an immediate or potential hazard to occupants of the proposed shelter
- » The site of the proposed shelter is safely accessible by pedestrians
- » The proposed shelter is located with reasonable access to public agencies and transportation services
- » Sewer, water, electricity and telephone services will be provided at the site

Emergency shelter applications in the M-2 and M-3 zones are also subject to the following standards:

- » The proposed shelter is in conformance with the Uniform Building and Fire Codes
- » The proposed shelter use is consistent with the General Plan and zoning of the proposed site
- » The proposed shelter meets the development standards that are applicable to the zoning of the proposed site
- » The proposed shelter is at least 300 feet away from any other shelter facility
- » Off-street parking must be provided in accordance with CMC Section 17.76.030.A.2 (1.0 space per staff member of largest shift, plus 1.0 space per 12 beds, plus 2.0 guest spaces)

- » No person shall be allowed to sleep at the same shelter for more than a total of 180 nights in any one year period

Any approval by the BZA for an emergency shelter in the M-2 or M-3 zones shall be subject to conditions of approval which must include, but are not limited to, the following:

- » No homeless person will be allowed to sleep at the same shelter for more than a total of 180 nights in any one year period
- » The maximum number of beds or persons permitted to be served nightly by the facility must be based upon California Building Code Occupancy limits for the building in which the shelter is to be housed or developed
- » On-site management is provided on a 24 hour basis
- » Adequate exterior lighting must be provided and maintained for security purposes

The above emergency shelter requirements and conditions are currently not in compliance with State law and will be amended. In 2019, AB 101 was passed requiring that a Low Barrier Navigation Center development be a use by right in mixed-use zones and nonresidential zones permitting multifamily uses. The City will need to amend its Zoning Ordinance to explicitly allow the development of Low-Barrier Navigation Centers, by right, in residential and use mixed-use zones, as well as nonresidential zones permitting multifamily uses. Additionally, AB 139 was passed in 2019 establishing new criteria for evaluating the needs of the homeless population. The analysis must assess the capacity to accommodate the most recent homeless point-in-time count by comparing that to the number of shelter beds available on a year-round and seasonal basis, the number of beds that go unused on an average monthly basis, and the percentage of those in emergency shelters that move to permanent housing. The bill also established new parking standards for emergency shelters by providing parking based on the number of staff rather than beds and emergency shelters are not required to be more than 300 feet apart Chapter 17.44.130 of the City's municipal code states that shelters shall be located no less than 300 feet from any other shelter facility and parking shall be provided at one space every 12 beds, which is inconsistent with State law. Under Program 21 Housing for Persons Experiencing Homelessness Program, the City will review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply. The City will review the AB 101 and AB 139 provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply (Program 14).

Farmworker Housing

According to the American Community Survey in 2018, 244 people were employed in the agriculture, forestry, fishing, and mining industry within the City⁹. The City's Agricultural (A) zone, permits different types of housing including; farm employee housing projects, farm labor camps, single-family dwellings, and residential care homes with no more than six persons. Farm employee housing in the A zone complies with sections 1721.5.6 and 1721.5.8 of California's Health and Safety Code, which require permitting of 36 beds or 12 residential units for farmworker use.

⁹ Census Bureau – American Community Survey. 2020. Corona Community Survey. https://data.census.gov/cedsci/table?g=0400000US06_1600000US0682996&d=ACS%205-Year%20Estimates%20Data%20Profiles&tid=ACSDP5Y2018.DP03

Employee Housing

Title 25, California Code of Regulations, Division 1, Chapter 1, Subchapter 3 Opens in New Window includes specific requirements for the construction of housing, maintenance of grounds and buildings, minimum allowable sleeping space and facilities, sanitation, and heating for employee housing. The provisions of the California Building Standards Code (Title 24) govern the construction of permanent buildings used for employee housing. Also see the State Housing Law for appropriate building standards. The construction of mobile home and recreational vehicle lots within an employee housing facility is subject to provisions in the Mobile Home Parks Act and regulations adopted by the Department for such facilities. Furthermore, buildings used for human habitation, and buildings accessory thereto, within employee housing shall comply with the building standards published in the State Building Standards Code relating to employee housing and with the other regulations adopted pursuant to this part, unless a local ordinance prescribing minimum standards adopted in accordance with Sections 17958.5 and 17958.7 which is equal to such regulations is applicable. Notwithstanding the provisions of Section 17050, if such a local ordinance is applicable to buildings used for human habitation, and buildings accessory thereto, within employee housing, these buildings shall comply with the construction and erection provisions of the ordinance. Every person operating employee housing shall obtain a permit to operate that employee housing from the enforcement agency, unless otherwise exempted by this part. It shall be unlawful for any person to operate employee housing without a valid permit to operate issued by the enforcement agency, as required by this part. Permits to operate shall be issued annually by the enforcement agency, except as provided in this section and Section 17030.5. The City is not in compliance with the Employee Housing Act and will amend its zoning. Under Program 14, the City will review the Employee Housing Act provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply.

Mobile Homes

The City has established a Mobile Home Park Zone as a means of establishing, maintaining and protecting mobile home rental parks in its jurisdiction. The zone designation provides added protection for tenants from unmitigated displacement due to change in use, including approval of a phase-out plan as a condition of rezoning an existing mobile home park. The zone is intended to provide for a combination of mobile homes in planned, integrated mobile home parks according to standards consistent with the protection of the health, safety and welfare of the city.

Accessory Dwelling Units

The City's Zoning Code was amended and adopted in January 2020 to comply with the new State law regulating Accessory Dwelling Units (ADUs). The passage of SB 1069 and AB 2299 in 2016, SB 229 and AB 494 in 2017, as well as SB 13 and ABs 68, 587, 670, 671, and 881 in 2019, made it necessary for Corona to revise its provisions related to the construction of ADUs and requirements for parking spaces to be consistent with State law. AB 68 allows an ADU and a junior ADU to be built on a single-family lot if certain conditions are met. The State has also removed owner-occupancy requirements for ADUs, created a tiered fee structure that charges ADUs based on their size and location, prohibits fees on units of less than 750 square feet, and permits ADUs at existing multi-family developments. ADUs are currently permitted on a lot zoned for single family, multiple family residential and mixed-use that allows an integration of residential and commercial.

The maximum size of an attached unit shall not exceed 50 percent of the size of the primary residence, or 1,200 square feet, whichever one is less. The maximum size for a detached unit is 1,200 square feet.

Transitional and Supportive Housing

The City revised the Zoning Ordinance in July 2013 to define and permit transitional and supportive housing facilities by right in accordance with State law within all zones that allow residential uses. The City's definitions are consistent with definitions for these facilities found in California Health and Safety Code Section 50675.

The City defines transitional housing and transitional housing development as "buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no less than six months. Transitional housing shall be considered a residential property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone. Per Health and Safety Code Section 50675.2(d), rental housing development means a structure or set of structures with common financing, ownership, and management, and which collectively contain five or more dwelling units, including efficiency units. No more than one of the dwelling units may be occupied as a primary residence by a person or household who is the owner of the structure or structures."

Supportive Housing is defined in the Zoning Ordinance as "housing with no limit on length of stay that is occupied by the target population as defined in subdivision (d) of Section 53260 of the Health and Safety Code, and that is linked to on-site or off-site services that assist the supportive housing resident in retaining housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community. As defined per said section of the Health and Safety Code, target population means adults with low income having one or more disabilities including mental illness, substance abuse, or other chronic health conditions, or individuals eligible for service provided under the Lanterman Development Disabilities Services Act (Division 4.5 [commencing with Section 4500] of the Welfare and Institutions Code) and may, among other populations, include families with children, elderly persons, young adults aging out of the foster care system, individuals exiting from institutional settings, veterans, or homeless. Supportive housing is provided in residential dwellings or in health care and community facilities listed in Chapter 17.73 under this code and shall be permitted, conditionally permitted or prohibited in the same manner as other residential dwellings or health care and community facilities. Supportive housing shall be considered a residential use of the property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone."

In 2018, AB 2162 required cities to change their zoning to provide a "by right" process and to expedite review for supportive housing. Effectively, this law applies to sites in zones where multi-family and mixed uses are permitted, including in nonresidential zones permitting multi-family use. The City's Supportive Housing is permitted in all zones where multi-family and mixed-use is permitted. The City is currently in compliance with this portion of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this portion of AB 2162. Program 14 will amend Title 17 of the Corona Municipal Code to reflect this portion of AB 2162.

Single-Room Occupancy (SRO)

The City revised the North Main Street Specific Plan and Downtown Revitalization Specific Plan in July 2013 to facilitate and encourage single-room occupancy (SRO) units, a housing type that is considered suitable to meet the needs of extremely low income households, consistent with State law.

The Specific Plans define SROs as “an efficiency unit intended or designed to be used, rented, sold or occupied as a primary residence for a period of more than 30 consecutive days which can serve as an affordable housing alternative for one to two persons per unit.”

SROs require a CUP in the Urban Density Residential (UDR) and Mixed Use (MU) districts of the North Main Street Specific Plan and the Multi-family Residential (MF) district of the Downtown Revitalization Specific Plan and are subject to the following requirements and development standards:

- » The minimum unit size is 220 square feet gross area
- » Each unit must have provisions for kitchen purposes including a sink, food preparation area, microwave, refrigerator, dry food and utensil storage
- » Each unit must have a closet area
- » Each unit must have access to an on-site laundry facility with at least one washer and one dryer for every 15 units
- » Common open space must be provided as follows:
 - A minimum of 400 square feet for the first 20 units, then 25 square feet per unit for each additional unit in excess of 20
 - Such common open space must be located on-site to be easily accessible to all residents and must exclude required building and landscape setbacks and required parking or parking lot landscaping
- » Up to one-half of the common usable open space area may be located indoors in the form of a recreation room, exercise room, or similar common facility
- » Off-street parking must be provided in accordance with Section 17.76.030 of the Zoning Ordinance for hotel or motor inn at one space per unit
- » Trash pick-up is governed by Section 17.24.160 of the Municipal Code

The City has one zone explicitly for agricultural (A) use that allows housing for agricultural workers employed by property owners by right. Other rural residential zones and certain single-family and multi-family residential zones also permit housing that could be suitable for farm workers, including one additional secondary residential structure or small residential facilities. In July 2013, the City eliminated a restriction on renting rooms to no more than four boarders in single-family residences within the A and A-14.4 zones, which could have constrained opportunities for farm worker housing.

AFFIRMATIVELY FURTHERING FAIR HOUSING (AFFH)

As part of the CDBG program certification process, participating jurisdictions must prepare an analysis of impediments to fair housing choice every five years. This analysis, the Riverside Regional Analysis of Impediments to Fair Housing Choice (AI), is an assessment of the regional laws, ordinances, statutes, and administrative policies, as well as local conditions that affect the location, availability and accessibility of housing. It also analyzes the conditions in the private market and public sector that may limit the range of housing choices or impede a person’s access to housing, and provides solutions and measures that will be pursued to mitigate or remove identified impediments. The analysis of impediments to fair housing choice certified by the Corona City Council covers the Riverside region and provides a demographic profile of Riverside County, assesses the extent of housing needs among specific income groups and evaluates the

availability of a range of housing choices for residents. Regionally, the AI identifies the following impediments to fair housing:

- » Hispanic and Black residents continue to be underrepresented in the homebuyer market and experienced large disparities in loan approval rates.
- » Due to the geographic disparity in terms of rents, concentrations of housing choice voucher use have occurred.
- » Housing choices for special needs groups, especially persons with disabilities, are limited.
- » Enforcement activities are limited.
- » Today, people obtain information through many media forms, not limited to traditional newspaper noticing or other print forms.

The regional AI provides a strong foundation and context within which to assess the State of fair housing in the city of Corona. The AI report also listed the following impediments that are specific to Corona's land use policies:

- » Recent changes to density bonus law
- » Lack of inclusionary housing requirements

Since the publication of the AI report, the City of Corona is taking steps to remove these impediments by amending its zoning ordinance to comply with recent changes to density bonus law and accessory dwelling units policies.

The City of Corona takes additional steps to affirmatively further fair housing by contracting with the Fair Housing Council of Riverisde County (FHCRC), a non-profit organization to counsel property owners, managers, tenants, and homebuyers on fair housing related issues. Various services are implemented through this partnership including:

- » Providing tenant/landlord counseling to all citizens;
- » Responding to all citizens complaints regarding violations of the fair housing laws;
- » Promoting community awareness of fair housing rights and responsibilities;
- » Monitoring fair housing legislation, attending training and reporting to the City; and
- » Serving as an overall fair housing resource for the area, including implementation of an affirmative fair housing market plan

Additionally, while the AI lists several impediments to fair housing in Corona, the City is working separately to address some impediments, and will address the remainder through implementing programs of this Housing Element. As for the regional impediments noted in the AI, this Housing Element's AFFH programs (Programs 19 and 20) will work to increase fair housing practices such as outreach and education through social media and providing resources such as fair housing counseling and mediation, including targeting populations that have historically had fewer housing choices; promote equitable employment, and continue existing work with the FHCRC.

On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update, which were attended by individuals who represent non-profit agencies that provide housing and services to low-income and special needs populations, including the Inland Regional Center,

the Corona Norco United Way, Habitat for Humanity Riverside, Fair Housing Council, C&C Development (Affordable Housing Developer), Inspire Lifeskills Training, Homeless Services, Fair Housing Council Riverside County, and Supportive Services for Hopeyou Housing Foundation. During the workshop, the participants identified the biggest challenges their clients experienced when finding appropriate housing that suits their needs: rental costs, access to low-income housing, locating housing proximate to public transportation, and locating housing accessible for persons with physical disabilities.

HOUSING FOR PERSONS WITH DISABILITIES

Persons with disabilities have a number of specific housing needs, including those related to design and location. Design needs generally include the removal of architectural barriers that limit the accessibility of dwelling units and construction of wheelchair ramps, railings, etc. Location needs include accessibility to public transportation, commercial services, healthcare, and supportive services. Some persons with disabilities need group housing opportunities, especially those who are lower-income or homeless.

Both the Federal Fair Housing Act and the California Fair Employment and Housing Act direct local governments to make reasonable accommodations (i.e., modifications or exceptions) in their zoning laws and other land use regulations to allow disabled persons an equal opportunity to use and enjoy a dwelling. For example, it may be a reasonable accommodation to waive a setback requirement so that elevated ramping can be constructed to provide access to a dwelling unit for a resident who has mobility impairments. Whether a particular modification is reasonable depends on the circumstances and must be decided on a case-by-case basis.

California statutes require that the Housing Element include an analysis of the Zoning Ordinance, permitting procedures, development standards, building codes, and permit processing fees to identify potential constraints for housing for persons with disabilities. The following discussion addresses these issues and determines that no specific City policy or regulation serves to impede the access that persons with disabilities have to housing that have reasonable accommodations to their specific needs.

ZONING AND LAND USE

The Lanterman Development Disabilities Service Act (Sections 5115 and 5116) of the California Welfare and Institutions Code declares that mentally and physically disabled persons are entitled to live in normal residential surroundings. The use of property for the care of six or fewer persons with disabilities is a residential use for the purposes of zoning. A State-authorized or certified family care home, foster home, or group home serving six or fewer persons with disabilities or dependent and neglected children on a 24-hour-a-day basis is considered a residential use that is permitted in all residential zones.

The City's Zoning Ordinance complies with the Lanterman Act and permits 24-hour care facilities (including adult and senior residential facilities, as well as small family homes) in all residential zones and most commercial zones. Facilities for more than six persons are conditionally permitted in most residential and commercial zones as well.

According to the State of California Community Care Licensing Division, 85 residential care facilities were located in the City as outlined below:

- » Adult Residential Facilities (31)
- » Group Homes (four)

- » Residential Care For the Elderly (36)
- » Small Family Homes (four)

DEFINITION OF FAMILY

The City revised the Zoning Ordinance in January 2013 to remove the definition “family.”

REASONABLE ACCOMMODATION

Reasonable accommodation refers to flexibility in standards and policies to accommodate the needs of persons with disabilities. The City’s zoning and building codes, as well as approach to code enforcement, allow for special provisions that meet the needs of persons with disabilities without the need for variances. Specifically, parking requirements are reduced for senior housing, assisted living facilities, and congregate care facilities. City staff is available to provide assistance regarding the procedures for special accommodations under the City’s Zoning Ordinance.

Accessory uses such as wheelchair ramps are permitted within all residential zones as incidental structures related to the residence. The building permit process facilitates most reasonable accommodation requests to increase accessibility of existing properties. The City’s Zoning Administrator has ministerial authority to hear and decide applications for reasonable accommodation as provided by the federal Fair Housing Amendments Act and California’s Fair Employment and Housing Act to allow reasonable remedy from zoning standards for individuals with physical or mental impairment. Applications are not charged a fee for review and the Zoning Ordinance establishes the following criteria:

- » The housing which is subject of the request for reasonable accommodation will be used by an individual protected under fair housing laws;
- » The request for reasonable accommodation is necessary to make housing available to an individual protected by fair housing laws;
- » The requested accommodation does not impose an undue financial or administrative burden on the jurisdiction; and
- » The requested accommodation does not require a fundamental alteration in the jurisdiction’s land use and/or zoning programs.

Current and proposed planning policies and zoning regulations have mitigated potential constraints to the availability of housing for persons with disabilities. The City has analyzed its zoning ordinance and procedures to ensure that it is providing flexibility in, and not constraining the development of, housing for persons with disabilities.

FEES AND ON-/OFF-SITE IMPROVEMENTS

The City and other public service providers charge various fees and assessments to cover costs of processing permits and providing services and facilities, such as utilities, schools, and infrastructure. Nearly all of these fees are assessed through a pro rata share system, based on the magnitude of the project’s impact or the extent of the benefit that will be derived.

Table 32 shows a list of fees the City charges for residential development in Corona. These fees cover the operating and processing costs incurred by the City for a given development permit or action and are not

seen as revenue generating fees. These fees are comparable to other cities in Riverside County as shown in Table 33.

Other fees may be assessed depending upon the circumstances of the development. For example, the builder may need to pay an inspection fee for sidewalks, curbs, and gutters, if their installation is needed, or the builder may need a variance, CUP, or site plan review. The fees in Table 32 show those typically charged for a standard residential development and further describes the average development fees, building fees, and water/sewer connection fees associated with new single-family or multi-family units.

On/off-site improvements include street right-of-way dedication, sidewalks, street lighting, curbs and gutters, water and sewer connections, circulation improvements, etc. These are generally provided directly by developers when building a new subdivision and are regulated by the Subdivision Ordinance (Title 16) of the Municipal Code. Specifically, Chapter 16.24 specifies the improvement requirements to be performed and fees to be collected prior to approval of the final map. Typical requirements include:

- » Traffic Signalization fees
- » Streetlights
- » Drainage facilities
- » Quimby Fees or Parkland and Open Space

These requirements are typical for residential development. Most of the City's on- and off-site improvements are provided through the payment of fees, which have been accounted for under development fees. Outside of subdivision development, new construction within established zones pays its pro-rated share for on/off-site improvements, if found to be required, as a part of the standard fee schedule.

The City's Circulation Element provides development standards for street type widths. These development standards may be a constraint to development by adding costs. Specifically, for special residential or private streets. Special residential streets may have many added uses and features that add to cost and private streets are not managed by the City; therefore, that cost is responsible by the homeowner. Below is a list of the development standards from the City of Corona's General Plan Circulation Element:

- » **Major Arterial:** Major arterials have the highest traffic-carrying capacity, with the highest speeds and limited interference with traffic flow from driveways or abutting properties. Major arterials may be 4 or 6 lanes depending on traffic volumes, and may have center medians. Parking may or may not be allowed. Major arterials are 82 to 106 feet wide curb-to-curb within a 106- to 130-foot right of-way. Key major arterials include portions or all of Main Street, Magnolia Avenue, Ontario Avenue, Cajalco Road, McKinley Avenue, Grand Boulevard, and Green River Road.
- » **Secondary Arterial:** Secondary arterials connect traffic from collector streets to streets of higher classification with limited access to abutting properties. Secondary arterials carry some through traffic and may or may not provide on-street parking or Class 2 bike lanes. Secondary arterials are typically 4 lanes, 64 feet wide curb-to-curb, and within an 88-foot right-of-way. Secondary arterials include Foothill Parkway, Lincoln Avenue, and Hidden Valley Parkway.
- » **Collector:** Collectors are intermediate routes in a road network. Collector streets may handle some localized "through" traffic from one local street to another; but their purpose is to connect local streets to the arterial network. Collectors typically are 44 feet wide curb-to-curb (2 lanes) within a 68-foot right-of-way and are often equipped with sidewalks and bicycle routes.

- » **Mixed Use Boulevard:** Mixed use boulevards are streets that serve land use patterns in the City's mixed-use land use districts. A prime example is 6th Street, which runs through the Circle and is designed to support a mixed-use district and encourage pedestrian activity by having wide sidewalks and on-street parking where people will park and walk to multiple businesses.
- » **Special Residential:** Special residential arterials are a type of street intended to accommodate land use patterns in the City's Circle and surrounding environment. These streets will include improvements sensitive to adjacent residential uses. These may include parking cutouts, raised medians, roundabouts, bike lanes, special treatments at pedestrian crossings, peak period parking, etc.
- » **Local Street:** Local streets principally provide vehicular, pedestrian, and bicycle access to property that is directly abutting the public right-of-way. Movement of through traffic on local streets is discouraged. Local streets are 40 feet wide curb-to-curb within a 64-foot right-of-way and have 2 lanes (1 in each direction). Sidewalks are included.
- » **Private Street:** Streets not maintained by the City; they principally provide access to and within developments. Most of these streets are within multifamily residential developments; however, a few private streets are in single-family residential neighborhoods. Residents and/or homeowner associations manage and maintain these streets.
- » **Rural Streets:** Rural roads carry vehicles in very low volumes and can only be used in appropriate locations. The rural road carries less than 100 vehicles daily and has a 28-foot-wide travel width and 50-foot right-of-way. The high-traffic-volume rural road may carry up to 200 vehicles per day, and generally has a 36-foot travel width within a 50-foot right-of-way.

Costs related to meeting these development standards may impact the cost of developing housing on sites selected to include affordable housing. The City will incorporate Program 15 to review potential reductions in development standards for affordable and/or high-density housing.

In some areas, residential development is also subject to special fees to offset the costs of development. For example, in south Corona, an infrastructure development program has been developed to provide the roads, water, sewer, drainage, and other infrastructure necessary to serve the area. The funding mechanism allows developers to contribute a fair-share of the total cost to provide service. Without the fees, the individual developers would need to construct all facilities necessary to serve proposed projects. Having developers pay a pro-rata share ensures that public facilities and services will be provided in a planned and coordinated manner. It is also more cost effective and efficient than having developers construct facilities in piecemeal fashion.

Table 32: Planning Fees Charged for Residential Development in Corona (June 2021)

Type of Fee	Cost
Amended Final Map	\$4,071 plus environmental assessment, and Notice Posting \$137 and Scanning Fee \$47
Conditional Use Permits (CUP)	
▪ Time Extension	\$2,034
▪ Major CUP	\$6,500 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
▪ Minor CUP	\$2,625 plus environmental assessment and Scanning Fee \$47
▪ Modifications	\$3,981 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
Density Bonus Agreement	\$1,476 plus Scanning Fee \$47
Development Plan Review	
▪ Time Extension	\$555.00
▪ Precise Plans and Projects 4+ units	\$4,682 + \$15/du
▪ Parcel Map	\$3,567
▪ Specific Plan	\$12,541
▪ Specific Plan Amendment	\$2,566 - \$5,662
▪ Tentative Tract Map	\$5,119 + \$15/lot
Environmental Assessment	
▪ Exemption	\$251
▪ Negative Declaration (ND/MND)	\$6,722
▪ ND/MND Fish and Game Fee	\$2,480.25
Environmental Impact Report (EIR)	Full Cost
▪ EIR Fish & Game Fee	\$3,445.25
General Plan Amendment	\$6,048 plus environmental assessment and Scanning Fee of \$47
▪ Per Acre	\$16.00
▪ Per Acre Digitized Mapping Fee	\$220.00-\$555.00
Nonconforming Building Uses	\$1,114 plus Scanning Fee \$47
Parcel Map (Residential)	\$5,355 plus environmental assessment, Scanning Fee \$47, Notice Posting \$137 and Legal publication fee/City Clerk's office (if appealed) \$85

Table 32: Planning Fees Charged for Residential Development in Corona (June 2021)

Type of Fee	Cost
Precise Plan <ul style="list-style-type: none"> Site Plan and Architectural Review <ul style="list-style-type: none"> Per Dwelling Unit Time Extension Modification Review <ul style="list-style-type: none"> Per Dwelling Unit 	\$6,807 plus environmental assessment and Scanning Fee of \$47 \$15.00/du \$2,034 \$4,923 plus environmental assessment and Scanning Fee of \$47 \$15.00/du \$6,400.00 plus environmental assessment \$15.00/du \$1,795.00 \$4,290.00 plus environmental assessment \$15.00/du
Specific Plan <ul style="list-style-type: none"> Amendment 	Full cost plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee of \$47 \$4,252 – 7,272
Waiver or Modification from Subdivision Standards	\$1.889
Tentative Tract Map <ul style="list-style-type: none"> Per lot 	\$8,741 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47 <ul style="list-style-type: none"> \$35.00/lot
Variance (minor)	\$2,084
Variance (major) from one section <ul style="list-style-type: none"> Per lot 	\$4,230 plus environmental assessment Notice Posting \$137, and Scanning Fee \$47 <ul style="list-style-type: none"> \$20.00/lot
Zone Text Amendment	\$4,213 plus environmental assessment, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
Source: City of Corona Fee Schedule, effective January 1, 2021. Note: Other fees not included on table include building, plumbing, mechanical, and electrical permit fees, meter application fees, and engineering/public works fees.	

Table 33: Fees Charged for Residential Development: Regional Comparison

Type of Fee ¹	Corona	Riverside	Norco	Temecula
Major CUP	\$6,500	\$8,615	\$8,020	\$3,947
General Plan Amendment	\$6,048	\$9,933	\$8,905	\$8,965
Zone Text Amendment	\$4,213	\$5,320	\$3,685	\$7,025
Variance (Major)	\$4,230	\$6,868	\$2,639	\$4,567
Tentative Tract Map	\$8,741	\$10,516+	\$8,046	\$12,428+
Source: City of Corona Fee Schedule, effective January 1, 2021.				
¹ Some fees have additional minor environmental fees or per acre/per lot fees.				

Table 34: Development Fees for a Typical Unit

Development Fees for a Typical Unit	Single-family	Multi-family
Estimated City DIF fees per unit (as of July 1, 2020)	\$36,166	\$24,866
Estimated non-City DIF fees per unit	\$9,478	\$6,389
Estimated Grading Plan Check Fees per unit	\$853	\$1,021
Estimated Improvement Plan Check Fees per unit	\$2,182	\$64
Estimated Grading Permit and Inspection Fees per unit	\$8,503	\$377
Estimated Building Permit Fees per unit	\$4,582	\$5,541
Estimated Water/Sewer Fees per unit	\$25,000	\$15,000
Total estimated fees per unit	\$86,764	\$53,258
Estimated Construction Cost per unit	\$457,380 ^{1, 2}	\$173,523 ³
Typical estimated cost of development per unit	\$544,144	\$229,770
Estimated proportion of fee cost to overall development cost per unit	15.9 percent	23.2 percent
Description of Development Impact Fees	Single-family	Multi-family
Transportation Uniform Mitigation Fee (TUMF) ⁴ per unit	\$9,810	\$6,389
Street and Signal	\$4,047	\$3,238
Drainage	\$1,176	\$303
Law Enforcement	\$338	\$583
Fire Protection Facilities	\$349	\$466
Library Expansion Facilities	\$479	\$346
Quimby Fees	\$12,708	\$0
Public Meeting Facilities	\$311	\$218
Aquatic Center Facilities	\$192	\$135
Parkland and Open Space	\$12,708	\$8,924
Multi Species Habitat Conservation Plan Fee ⁵	\$2,935	\$1,473.00 (8-14 D.U./acre) \$670.00 (Over 14 D.U./acre)
<p>Source: City of Corona 2020</p> <p>Notes: DIF: Development Impact Fees</p> <p>¹ Construction costs do not include land costs. When land costs are considered, fees as a proportion of total development cost are significantly lower.</p> <p>² Single-family prototype is a 2,541 SF dwelling with attached three-car garage, at \$180 per SF to develop.</p> <p>³ Multi-family prototype is a two-story garden style apartment complex with 100 units (average 1,242 SF each), each with a two-car, enclosed garage.</p> <p>⁴ Fee Levels per 2016 TUMF Nexus Study as adopted June 3, 2020: https://wrcog.us/DocumentCenter/View/1020/TUMF-2017-Nexus-Study-current?bidId=</p> <p>⁵ Fee per adopted 2020 MSHCP Nexus Study: https://www.wrc-rca.org/Permit_Docs/Nexus_Report/Draft_MSHCP_Fee_Nexus_Report_2020.pdf</p>		

Planning and permitting fees are charged on an at-cost basis to cover staff services and administrative expenses for processing development applications. Development impact fees are required to provide essential services and infrastructure to serve new residents. Impact fees are governed by State law to demonstrate a nexus between development and potential impacts. State law also requires the proportionality test to ensure the pro-rata share of costs to provide services and infrastructure by individual developments is reasonable.

The City recognizes that planning/permitting and development fees add to the cost of residential development. To mitigate the impact of planning/permitting and impact fees on the cost of residential development, the City uses HOME and CDBG funds, deferral of development impact fees as well as other funding sources to gap-finance affordable housing development. In accordance with new transparency requirements, the City of Corona has posted all zoning, development standards and fees on the City's website.

BUILDING CODES AND ENFORCEMENT

Building procedures within Corona are required to conform to the California Building Standards Code, as adopted in the City's Municipal Code. Standards within the Code include provisions to ensure accessibility for persons with disabilities. These standards are consistent with the Americans with Disabilities Act. No local amendments that would constrain accessibility or increase the cost of housing for persons with disabilities have been adopted.

The City of Corona adopted the 2019 California Building Standards Code with minor administrative amendments. The Code establishes minimum construction standards for residential construction and is structured to be the minimum necessary to protect the public health, safety, and welfare, while not unduly constraining the development of housing.

Under the Community Development Department, the City has a Code Enforcement Division to assist the Planning Division, Building Division, Fire Department, Animal Control, Public Works Department, and Police Department in the interpretation and enforcement of various municipal codes related to property maintenance standards, signage, land use and development standards, abandoned vehicles, and substandard property.

Since 1987, the City of Corona has had a comprehensive Property Maintenance Ordinance (Chapter 8.32) dealing with the maintenance of private property. The ordinance was designed to set minimum standards for the maintenance of real property and to prevent unsafe and unsightly conditions. Properties that do not meet these minimum standards are considered to be in violation and a public nuisance.

City Code Enforcement staff conduct both proactive and reactive inspections to ensure compliance with these standards. Code Enforcement Officers strive to draw the property owner's attention to any existing code violation which could have a negative impact on their property, neighborhood, and the City of Corona as a whole. Through voluntary compliance and a spirit of personal responsibility, the majority of these violations are corrected. The success of this program rests upon each resident, business owner and property owner, acting as a good neighbor by properly maintaining his/her property.

If a complaint is filed against a property owner for non-compliance with property maintenance regulations, an inspection is made by a Code Enforcement Officer and a written notice to comply within a specific number of days is issued. Normally a minimum of seven days are given, but no more than 30 days. If compliance is not obtained within the time frame given, the City begins to issue administrative

citations to the property owner to hopefully obtain compliance. If administrative citations are not successful in getting the property owner to resolve outstanding violations, a public hearing is scheduled to determine and declare the property a public nuisance. If the violation remains uncorrected, the City would abate the violation and impose administrative costs to the property. The costs would be payable in addition to the annual property tax bill.

PERMIT PROCESSING PROCEDURES

The City of Corona's development approval process is designed to accommodate, not hinder, development. Most residential uses, including single- and multi-family, do not require any discretionary review other than the subdivision process (if applicable). The City of Corona requires that all single-family residential subdivisions consisting of five or more parcels and all multi-family construction projects undergo site plan and architectural review through the City's Precise Plan process. Single-family homes, second units, transitional housing, and mobile home projects in the appropriate zone are subject to ministerial design review. The Precise Plan requirement is waived for projects that require a CUP.

Projects that include a General Plan Amendment or change of zone must also be considered and approved by the City Council. Generally a period of four to six months can take place between discretionary approval and construction permit issuance (including review by the Planning Commission). Discretionary permits such as a conditional use permit, precise plan and tentative tract maps are reviewed and decided in a public hearing by the Planning Commission and City Council where minor modifications to previously approved permits are done administratively by staff.

Projects involving the construction of new residential units (five or more parcels for single family and four or more units for multiple family residential) require preliminary review through the city's Development Plan Review (DPR) application. The DPR process is an administrative review process. Within 21 business days after submitting a DPR application, the project applicant and city staff have a scheduled meeting to review the project against city ordinances and development standards. Applicants are provided draft written comments from the city at the time of the meeting. Final written comments are provided within 20 business days after the meeting. If the project qualifies for the preparation of a Mitigated Negative Declaration (MND) under the California Environmental Quality Act (CEQA), the City generally needs 14 days after the project has been deemed complete to prepare the MND before the 20-day published public notice for the project. . Therefore, once a project application is considered complete, the application is generally reviewed by the Planning Commission 35 days later.

Established Review Times for Approved Projects

The City's engineering and building department has established plan check turn around times for plan check review. The City's engineering review for grading plans, and tract map reviews is as follows:

- » First Check: four weeks
- » Second Check: three weeks
- » Third check and thereafter: two weeks

The City's building plan review time is as follows:

- » First Check: 10 working days
- » Second Check and thereafter: five working days

The timeline on the applicant's side to address the City's comments varies. Therefore, the City is only responsible for its review time upon plan submittal. The City currently monitors its reviews of plan checks through an electronic data dashboard. The City's meets its building plan check turnaround time on average 90 percent of the time.

The City's processing and permit procedures do not appear to unduly constrain the development of housing. Typical permit processing time frames for the most common types of residential projects are summarized below in Table 35.

Table 35: Permit Processing Timeframes for Typical Residential Developments

Development Type	Timeframe	Notes
Small single-family subdivision (up to 3 units)	3-6 months	Project requires a parcel map. No design review required.
Other single-family subdivision (4 units and more)	6-9 months	Project requires a tentative map and precise plan, which reviews plotting, architecture, amenities, etc.
Condominiums	6-9 months	Project requires a tentative map, precise plan, or possibly a CUP. Permit applications would be processed concurrently.
Apartments (4 or more units)	4-6 months	Project requires a precise plan or CUP but may also involve a subdivision map. Permit applications would be processed concurrently.
Source: City of Corona 2021 Note: Timeframes depend upon applicant responsiveness and could be longer if an Environmental Impact Report is required for the project		

To guide the development review process, providing consistent criteria for review, the City has adopted design guidelines for single-family and multi-family residential development, as well as commercial and industrial development citywide. Specific design guidelines have also been adopted for the various specific plans in the City. Precise Plan review is intended to ensure that development projects are well designed, compatible in terms of scale and aesthetics with surrounding areas and in accord with applicable city requirements, policies and guidelines.

Precise Plans and CUPs are heard by the Planning and Housing Commission and confirmed by the City Council. The Planning and Housing Commission may impose objective conditions on the development, such as: open spaces; screening and buffering of adjacent properties; fences and walls; architectural design; requirements for installation and maintenance of landscaping and erosion control measures; requirements for street improvement and dedication; regulation of vehicle ingress and egress and traffic circulation; regulation of signs; regulation of hours or other characteristics of operation; requirements for maintenance of landscaping and other improvements; and establishment of development schedules or time limits for performance or completion. These conditions are intended to ensure compatibility with surrounding uses, to preserve the public health, safety and welfare. For Precise Plans, the decision-making entity to make the following required findings:

- » The proposal is consistent with the Corona General Plan.
- » The proposal complies with the zoning ordinance, other applicable provisions of the Corona Municipal Code and, if applicable, the South Corona Community Facilities Plan or Specific Plans.

- » The proposal has been reviewed in compliance with the CEQA and all applicable requirements and procedures of the act have been followed.
- » The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal.
- » The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses.
- » The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood and will provide for the harmonious, orderly and attractive development of the site.
- » The design of the proposed development would provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture and color that will remain aesthetically appealing and will retain a reasonably adequate level of maintenance.

For CUPs, the approving entity must find that the proposed use at the proposed location will not be detrimental to the public health, safety, convenience and general welfare and will be in harmony with the City's General Plan. Prior to making such findings, the Zoning Ordinance instructs the Planning and Housing Commission and/or City Council to consider whether the proposed use at the proposed location is detrimental to other existing and permitted uses in the general area thereof and relates properly to existing and proposed streets and highways.

SB 35 requires the availability of a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. Eligible developments must include a specified level of affordability, be on an infill site, comply with existing residential and mixed-use general plan or zoning provisions, and comply with other requirements such as locational and demolition restrictions. The intent of the legislation is to facilitate and expedite the construction of housing. In addition, as part of the legislation, the Legislature found ensuring access to affordable housing is a matter of statewide concern and declared that the provisions of SB 35 would apply to all cities and counties, including a charter city, a charter county, or a charter city and county. Currently, the City of Corona has no written procedures for the SB 35 Streamlined Ministerial Approval Process. Program 12 will be implemented to address these requirements.

DESIGN REVIEW

The current design review process consists of staff review at the time of building permit plan check. The architectural plans are reviewed for consistency with design guidelines such as adequate variation of rooflines, articulations of structure, and no blank walls. Projects are not denied but are revised through this process. The Residential Development Design Guidelines, originally adopted by the City Council in 1999 and revised in 2009, complement the mandatory site development regulations contained in the City's Zoning Ordinance and Specific Plans. There is no special fee for design review and the additional time and cost to the developer is minimal. The most common changes resulting from the review are additional windows or other minor architectural features. This process does not serve as a constraint to housing production. Program 5 addresses the design review process in addition to project review.

STATE TAX POLICIES AND REGULATIONS

PROPOSITION 13

Proposition 13, a voter initiative that limits increases in property taxes except when there is a transfer of ownership, may have increased the cost of housing. The initiative forced local governments to pass on more of the costs of housing development to new homeowners.

ARTICLE 34

Article 34 of the State constitution requires that low-rent housing projects developed, constructed, or acquired in any manner by a public agency must first be approved by a majority of the voters. Requiring such approval can act as a barrier to the development of affordable housing due to the uncertainty and delay caused by the process. In general, the City assists with the development of affordable housing but does not act as developer or owner of the development.

FEDERAL AND STATE ENVIRONMENTAL PROTECTION REGULATIONS

Federal and State regulations require environmental review of proposed discretionary projects (e.g., subdivision maps, use permits, etc.). Costs, resulting from fees charged by local government and private consultants needed to complete the environmental analysis, and from delays caused by the mandated public review periods, are also added to the cost of housing and passed on to the consumer. However, these regulations help preserve the environment and ensure environmental quality for Corona residents.

ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS

Additional factors that could constrain new residential construction are the cost and accessibility of adequate infrastructure such as street upgrades, water and sewer lines, lighting, etc. All of these utilities are required to serve and support residential development. In most cases, these improvements are dedicated to the City, which is then responsible for their maintenance. The cost of these facilities is generally borne by developers, thereby increasing the cost of new construction.

Additionally, environmental constraints are another potential housing constraint, as they have the potential to limit the density and locations of housing developments due to various factors and hazards. A city's environmental setting and characteristics can greatly affect the feasibility and cost of developing housing. There are a number of environmental factors in Corona that can affect the character and density of development in the City. These include the availability of natural resources such as land and water, to environmental hazards such as earthquakes/seismic activity, flooding, and wildfires. The majority of sites identified in Corona's Sites Inventory are located in the urban core of the City, which is not impacted by these environmental constraints.

ENVIRONMENTAL HAZARDS

The City has identified areas in Corona where land development should be carefully controlled. For example, hillsides with steep slopes, flood prone areas, and seismic hazards, including active faults, can constrain future residential development.

Hillsides and Steep Slopes

Where slopes above 25 percent are evident, development difficulties often include the provision of proper access, utility service, and site improvements. Development in these areas, where possible, must retain the natural skyline, ridges, drainage courses, and natural outcrops. According to the Corona General Plan, western and southwestern areas of the City are susceptible to landslides. There are several sites identified as vacant, and planned-approved-pending projects within or near areas that are considered to be at risk for landslides. All significant development is subject to development review procedures, the California Building Code, and the City's Hillside District Zoning regulations. Adherence to these requirements for grading and building permits reduce risk and accommodate safe development in these areas.

Earthquakes and Seismic Activity

The City of Corona is situated within the Peninsular Ranges Geomorphic Province. The Peninsular Ranges Province is traversed by a group of subparallel and fault zones trending roughly northwest. Major active fault systems—San Andreas, San Jacinto, Whittier-Elsinore, and Newport-Inglewood fault zones—form a regional tectonic framework consisting primarily of right-lateral, strike-slip movement. Corona is situated between two major active fault zones—the Whittier-Elsinore Fault Zone to the southwest and the San Jacinto Fault to the northeast. Other potentially active faults located near the City of Corona include the San Jose, Cucamonga, Sierra Madre, Newport-Inglewood, and San Andreas faults.

Historically, the City of Corona has not experienced a major destructive earthquake. However, based on a search of earthquake databases of the United States Geological Survey (USGS) National Earthquake Information Center (NEIC), several major earthquakes (magnitude 5.8 or more) have been recorded within approximately 60 miles of the City since 1769. The latest of these were the Northridge earthquake and Granada Hills aftershock in 1994, about 60 miles from the City. According to the Corona General Plan, a fault zone traverses the western portion of the city. There are several planned, approved, or pending projects, and vacant sites identified for inclusion in the housing plan within this area.

The City will implement all California Building Code standards for future housing development as well as the City's own building code to reduce any potential hazards related to earthquakes and seismic activity.

Flood Hazard Areas

Flood hazard areas include the Prado Basin and the area within the Federal Insurance Administration Flood Hazard Boundary. Within the Prado Basin, development is regulated by the U.S. Army Corps of Engineers. Allowable uses for this area include natural open space, public park and other recreational uses, agriculture, and other public uses. According to the Corona General Plan flood map, there are several identified nonvacant, vacant, potential rezone, and approved and pending projects sites that are within the 100-year flood zone. Additionally, there are several identified planned, approved, or pending project sites within or near 500 year flood zone.

To help offset impacts on residential development due to local flooding, all future developments must comply with the requirements and design standards of the Corona Grading Ordinance as well as the City's Development Code, which requires issuance of a Development Permit to be issued by the Floodplain Administrator prior to any construction or other development in any of the flood hazards areas. In addition to these regulations, the City's General Plan outlines policies that help to discourage future development within these zones.

Geologic Hazard Areas

Geologic hazards include the fault zone of the Chino Fault and portions of the Prado Basin that may be subject to liquefaction in the event of seismic activity. According to the Corona General Plan, northwestern and northeastern portions of the City contain areas that are susceptible to liquefaction. There are several sites identified as non-vacant, vacant, potential rezone, and planned, approved, or pending projects that are within or near areas that are considered to be very high risk, high risk, or moderate risk for liquefaction. The policy approach to areas with potential geologic hazards is similar to that utilized for areas within the 100-year floodplain.

An evaluation of these areas is recommended to be included in a required environmental review prior to development, and, as appropriate, mitigation measures would require adequate building setbacks from identified faults and other controls that may be required to reduce any potential hazard. Furthermore, the City will implement all California Building Code standards for future housing development as well as the City's own building code to reduce any potential hazards related to geologic hazard areas.

Open Spaces

Areas designated for Open Space require a very low level of development as a result of environmental considerations including erosion, landslides, rockfall, steep slopes, fault zones, fire hazards, difficulty providing city service, flood hazards, biological and archaeological resources, liquefaction, and other environmental or safety constraints.

The Open Space designation is intended to limit development in environmentally sensitive areas; to protect human health, safety, and welfare; and to protect and preserve hillsides, ridgelines, and sensitive habitats. The City's Open Space and Conservation Elements provide goals and policies to protect open space from development. According to the Corona General Plan, areas zoned as Open Space are mostly located in the hillsides of northwestern and northeastern portions of the City which are likely not conducive to residential development. The amount of City land designated as Open Space is not excessive and does not constrain residential development.

Wildfire

The City's General Plan identifies wildfire hazards as a primary concern regarding public safety Corona. Factors such as a dry climate, a semi-rural setting, an abundance of dry, low-lying brush, open hillsides, and the frequency of high wind velocity from Santa Ana winds contribute to the City's overall fire risk. Large portions of the City are built and developed, reducing potential impacts of wildfires in these areas. However, wildfires are of special concern in communities located in the Wildland-Urban Interface (WUI). WUI areas are located within City boundaries and are of particular concern to the Corona Fire Department. According to the CalFire, there are VHFHSZ areas in southwestern and southeastern portions of the City. There are several sites identified as planned, approved, or pending projects, potential rezone, and vacant that within or near VHFHSZs.

To reduce and mitigate against wildfire threats, the City has established standards for new construction including; natural hazard real estate disclosures, 100-foot defensible space clearance around all buildings, property development standards including road widths, water supply, and signage and consideration of General Plan policies. Additionally, any new development located in an area that is designated by CalFire as a Very High Fire Hazard Severity Zone (VHFHSZ) is required to comply with all sections of Chapter 7A of the revised CBC (Materials and Construction Methods for Exterior wildfire Exposure) and Chapter 47 of the CFC (Requirements for WUI Fire Areas). Additionally, future development would be guided by the

General Plan Public Safety, Facilities, and Services Element that outlines policies pertaining to wildfire threat.

WESTERN RIVERSIDE MULTIPLE SPECIES HABITAT CONSERVATION PROGRAM

The Western Riverside County Multi-Species Habitat Conservation Plan (MSHCP) is a comprehensive, multi-jurisdictional plan that addresses biological and ecological diversity by conserving species and associated habitats, while allowing approval of development in western Riverside County. The MSHCP is administered by the Regional Conservation Authority Western Riverside County. The MSHCP's plan area encompasses 1,967 square miles and addresses 146 sensitive plant and animal species and the vegetation communities they depend on. Of these, 14 animal species and 11 plant species are listed by the United States Fish and Wildlife Service (USFWS) under the Federal Endangered Species Act (FESA). Several species also have federally designated critical habitat within the MSHCP jurisdiction.

The MSHCP has 14 planning areas with specific conservation goals for each area. Corona is entirely within the Temescal Canyon Area Plan (TCAP). The TCAP is divided into five subunits, defined by the presence or potential occurrence of listed species, those with specific habitat requirements, and key biological issues and considerations, such as habitat linkages. Specific cells comprising 160 acres each are designated for planning purposes. Several cell groups are defined that meet MSHCP criteria for conservation. The listing status of plants and animals may change over time, with species added or deleted from the listing. All proposed development projects, including those under the Housing Element update, would be assessed for consistency with the MSHCP. The MSHCP provides a streamlined regulatory process from which development can proceed in an orderly process while protecting the existing character of the City and the region through the implementation of a system of reserves which will provide for permanent open space, community edges, and habitat conservation for species covered by the MSHCP. The construction of accessory dwelling units and the rehabilitation and conversion within existing structures that do not result in additional useable square footage are exempt from the MSHCP provisions included in Chapter 16.33 of the City's municipal code.

INFRASTRUCTURE CONSTRAINTS

Another factor adding to the cost of new construction is the provision of adequate infrastructure – major and local streets; curbs, gutters, and sidewalks; water and sewer lines; storm drains; and street lighting – which is required to be built or installed in new development. In most cases, these improvements are dedicated to the City, which is then responsible for their maintenance. The cost of these facilities is borne by developers, is added to the cost of new housing units, and eventually is passed on to the homebuyer or property owner.

The City's 2005 Sewer Master Plan and 2015 Urban Water Management Plan indicate the city has adequate capacity to serve future development anticipated under the General Plan, including this Housing Element. Senate Bill 1087 (enacted 2006) requires that water providers develop written policies that grant priority to proposed development that includes housing affordable to lower income households. The legislation also prohibits water providers from denying or conditioning the approval of development that includes housing affordable to lower-income households, unless specific written findings are made. Senate Bill 1087 also mandates priority sewage collection and treatment service to housing developments providing units affordable to lower income households. Since affordable housing is mostly constructed on infill urban sites within the City or on redeveloped sites, the availability of water and sewer infrastructure exists. The Community Development Department will provide a copy of the adopted 2021-2029 Housing

Element to the City's Department of Water and Power within 30 days of adoption. The City does not have written policies that grant water and sewer priority to proposed development that includes housing affordable to lower income households. Program 12 addresses the development of such policies.

OPPORTUNITIES FOR ENERGY CONSERVATION

In relation to new residential development, and especially affordable housing, construction of energy efficient building does add to the original production costs of ownership and rental housing. Over time, however, the housing with energy conservation features should reduce occupancy costs as the consumption of fuel and electricity is decreased. This means the monthly housing costs may be equal to or less than what they otherwise would have been if no energy conservation devices were incorporated in the new residential buildings.

STATE REGULATIONS

Title 24 of the California Code of Regulations establishes energy conservation standards that apply to all new residential buildings. The regulations specify energy saving design for walls, ceilings, and floor installations, heating and cooling equipment and systems, gas cooling devices, conservation standards, and the use of non-depleting energy sources such as solar energy or wind power. Compliance with the energy standards is achieved by satisfying certain conservation requirements and an energy budget. Methods to meet the energy standards include the following:

- » Passive Solar Approach: requires proper solar orientation, appropriate levels of thermal mass, south facing windows, and moderate insulation levels.
- » High Insulation Approach: generally requires higher levels of insulation than the Passive Solar Approach, but no thermal mass or window orientation requirements.
- » Active Solar Water Heating Approach: requires active solar water heating in exchange for less stringent insulation and/or glazing requirements.

The home building industry must comply with these standards. Localities are responsible for enforcing the energy conservation regulations.

Energy conservation has the added benefit of reducing greenhouse gas emissions (GHG), consistent with the legislative intent of AB 32, enacted in 2006. AB 32 tasks the California Air Resources Board (CARB) with establishing a statewide GHG emissions limit that is equivalent to the statewide GHG emission levels in the year 1990 to be achieved by the year 2020. CARB establishes rules and regulations to achieve the AB 32 GHG emission reduction targets. New developments that are subject to CEQA must show consistency with AB 32.

STATE AND FEDERAL PROGRAMS

The California Department of Community Services and Development, in partnership with local community services agencies, administers the Low-Income Home Energy Assistance Program (LIHEAP) and Energy Low-Income Weatherization Assistance Program (DOE-LIWAP). Assistance available to lower income households through State LIHEAP programs include: financial assistance towards a household's energy bill, emergency assistance if a household's home energy service is shut off or about to be shut off, and a

range of other energy-related services that States may choose to offer, such as weatherization improvements, utility equipment repair and replacement, budgeting counseling, etc. The DOE-LIWAP provides installation and weatherization measures that increase energy efficiency of existing residential and multi-family dwellings occupied by lower-income persons. Eligible weatherization services include a wide variety of energy efficiency measures that encompass the building envelope, its heating and cooling systems, its electrical system, and electricity consuming appliances.

LOCAL MEASURES

The City of Corona is a proud GOLD Energy Level Leader in standing partnership with the Community Energy Partnership (CEP). The City's GOLD Level is the result of substantial and sustained energy savings in its municipal facilities and throughout the community. To achieve this status, the City of Corona undertook a number of activities and projects to reduce energy costs, lower its carbon footprint, and extend natural resources.

The Western Riverside Council of Governments (WRCOG) has a Energy Efficiency and Water Conservation Program that allows residents and businesses in Western Riverside County to implement energy and water efficiency improvements using low-interest loans that will be repaid over time through annual property tax payments. The WRCOG HERO Program stands for "Home Energy Renovation Opportunity" and provides low cost, fixed interest rate financing for a broad range of energy and water efficient products and renewable energy systems. Homeowners repay the HERO Financing through their property tax bill.

The City of Corona is also at a turning point in its development. Most of its "greenfields" (greenfields refers to previously undeveloped land) have now been developed. Future development efforts will need to focus on the redevelopment of previously developed land that has become underutilized or obsolete. Redevelopment and infill development have gained popularity as sustainable smart growth solutions. Infill development encompasses sustainable reuse that recycles existing land sources, minimizes impacts to habitat, reduces greenhouse gas emissions, and preserves open space. The City promotes such development in its various specific plans, including the Downtown Specific Plan.

Opportunities for additional energy conservation practices include the implementation of "mitigation measures" contained in environmental impact reports prepared on residential projects in the City. These mitigation measures may be adopted as conditions of project approval.

Chapter 4: Housing Resources

Resources that are available for the development, rehabilitation, and preservation of housing in the City of Corona are discussed in this section. The analysis demonstrates the City's ability to satisfy its share of the region's future housing need and identifies financial and administrative resources available to support housing activities and facilitate implementation of City housing policies and programs. Opportunities for energy conservation are also explored.

FUTURE HOUSING NEEDS

State law requires each jurisdiction to play a role in meeting the region's housing needs. Specifically, a jurisdiction must demonstrate in the Housing Element that its land inventory is adequate to accommodate its share of the region's projected growth. This section assesses the adequacy of Corona's land inventory in meeting future housing needs.

RHNA REQUIREMENT

This update of the City's Housing Element covers the planning period of October 2021 through October 2029 (called the 6th Cycle Housing Element update). Corona's share of the regional housing need is allocated by SCAG and based on factors such as recent growth trends, income distribution, and capacity for future growth. Corona must identify adequate land with appropriate zoning and development standards to accommodate its allocation of the regional housing need.

Corona's share of regional future housing needs is a total of 6,088 new units between October 2021 and October 2029. This allocation is distributed into five income categories, as shown below in Table 36. The RHNA includes a fair share adjustment which allocates units by income category in order to meet the State mandate to reduce over-concentration of lower income households in historically lower-income communities in the region.

Table 36: Corona's RHNA Allocation for 2021-2029

Income Category (% of County AMI)	Number of Units	Percent of Corona's RHNA Allocation
Extremely Low (30% or less)*	867	14.2%
Very Low (31 to 50%)	885	14.5%
Low (51 to 80%)	1,040	17.1%
Moderate (81% to 120%)	1,096	18.1%
Above Moderate (Over 120%)	2,200	36.1%
Total	6,088	100.0%

Source: Final Regional Housing Needs Allocation, SCAG, (2020).

*The City has a RHNA allocation of 1,752 very low-income units (inclusive of extremely low-income units). Pursuant to State law (AB 2634), the City must project the number of extremely low-income housing needs based on Census income distribution or assume 50 percent of the very low-income units as extremely low. According to the Comprehensive Housing Affordability Strategy (CHAS) data developed by HUD, 17.6% of City households earned less than 50 percent of the AMI. Among these households, 49.5 percent earned incomes below 30% (extremely low). Therefore, the City's RHNA allocation of 1,752 very low-income units may be split into 867 extremely low and 885 very low-income units. However, for purposes of identifying adequate sites for the RHNA allocation, State law does not mandate the separate accounting for the extremely low-income category.

RHNA UNITS PLANNED OR APPROVED

Housing units approved and/or pending (and not yet permitted for construction) as of June 30, 2021, can be used towards meeting the City's RHNA. Accessory dwelling units (ADUs) that are anticipated to be permitted between 2021 and 2029 are also used towards the City's RHNA. The City must demonstrate in this Housing Element its ability to meet the remaining housing needs, through the provision of sites, after subtracting anticipated units or units under construction. Table 37 shows the remaining unit deficit after subtracting units that are pending or approved as of June 30, 2021, and the assumed number of ADUs permitted between 2021 and 2029.

Table 37: Remaining 2021-2029 Share of Regional Housing Needs

Income/ Affordability Category	RHNA	Units Pending or Approved	ADUs	Remaining Units Deficit
Lower (including Extremely Low, Very Low, and Low)	2,792	0	46	2,746
Moderate	1,096	92	28	976
Above Moderate	2,200	2,110	6	84
Total	6,088	2,202	80	3,806

The number of housing units planned or approved but not yet issued a building permit is 2,202 as of June 30, 2021. Based on regional sales prices and market rents (Table 23), apartments are affordable to moderate income households. Single-family homes and townhomes/condominiums are generally affordable only to above moderate-income households (Table 22). Table 38 shows the locations of the planned or approved projects that have been used towards meeting the City's RHNA. As shown in Table 24, moderate income households could generally afford monthly rents of \$1,376 for one-person households and \$1,590 for two-people households. The planned and approved apartment projects listed as "moderate income" are located in or near the central Corona area and would be infill development. According to a search conducted on Apartments.com for similar-style apartment communities, the following listings in central Corona generally support moderate income households:

- » Country Hills: \$1,504/1 bedroom; \$1,763/2 bedroom
- » The Vintage Apartments: \$1,400/1 bedroom; \$1,625/2 bedrooms

Planned and approved projects achieve an average maximum density of 53 percent; however, more than half achieve a density of at least 50 percent of the maximum allowable density. A number planned or approved projects achieve a high percentage of the maximum allowable units, including units within the Arantine Hills Specific Plan which achieves nearly 100 percent of its maximum capacity. These projects are spread out across the City and are symbolized with corresponding Map ID numbers on Figure 6.

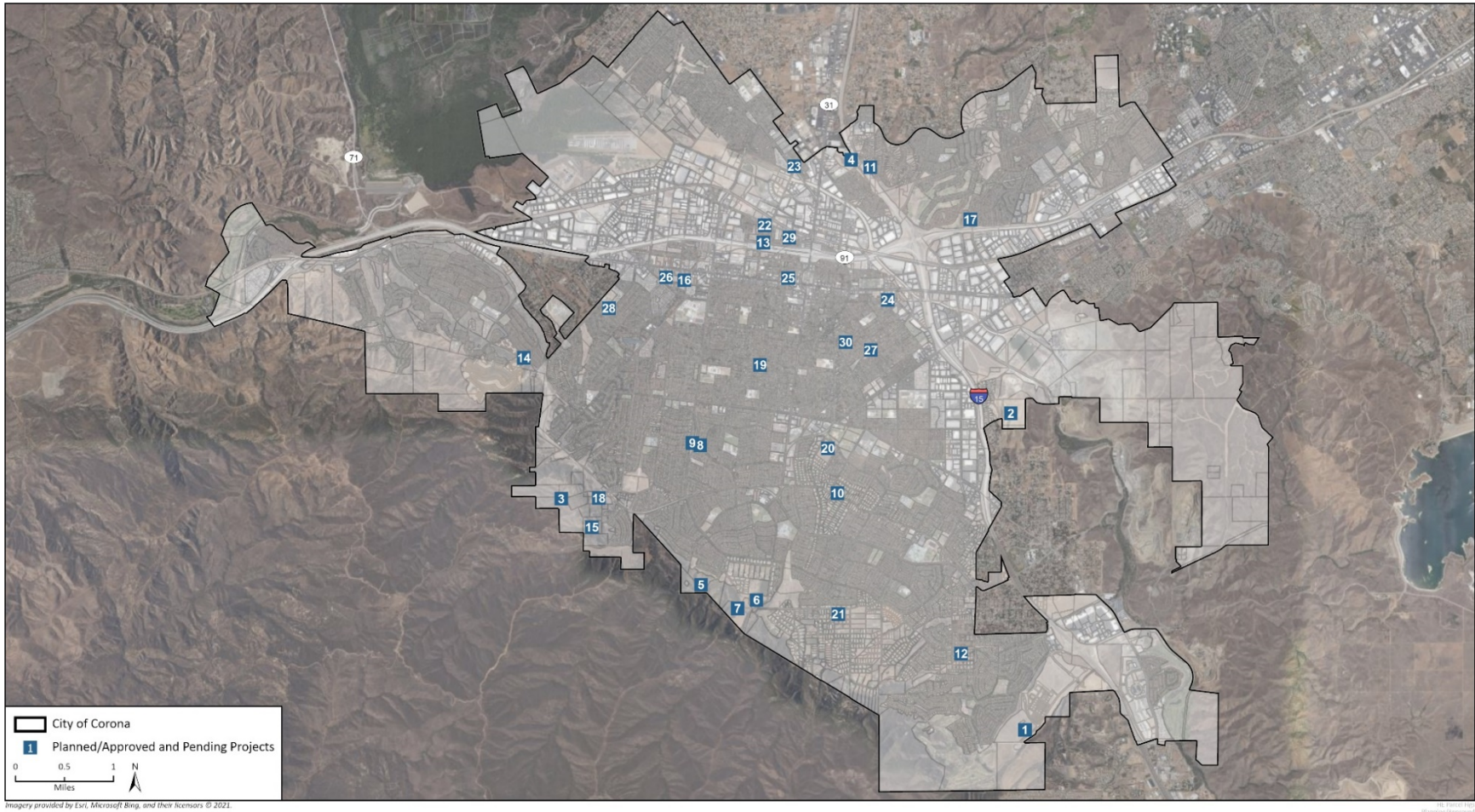
Table 38: Planned or Approved Units (2021)

Map ID	Project Name	Zoning	Acreage	Max. Units Allowed	Units Achieved	Percent of Max. Density	Income Category
1	Arantine Hills Specific Plan	LDR, MDR, HDR	140.76	1,207	1,204	99%	Above Moderate
2	T 37895	R-1-12	61.6	223	103	46%	Above Moderate
3	T 36544	R-1-7.2	271	1,640	291	18%	Above Moderate
4	T 35851	R-3	3.55	127	60	47%	Above Moderate
5	T 34760	ER	65.4	65	34	52%	Above Moderate
6	T 32703	R-1-20	9.45	20	13	65%	Above Moderate
7	T 32386	SFD-14.4	75	227	52	23%	Above Moderate
8	T 36608	R-1-9.6	11.05	66	23	35%	Above Moderate
9	T 36605	R-1-7.2	6.13	5	4	80%	Above Moderate
10	T 36821	R-1A	5.16	5	5	99%	Above

Table 38: Planned or Approved Units (2021)

Map ID	Project Name	Zoning	Acreage	Max. Units Allowed	Units Achieved	Percent of Max. Density	Income Category
							Moderate
11	T 37024	R-1-8.4, 1-7.2	6.31	208	18	9%	Above Moderate
12	T 35576	R-1-9.6	11.05	243	32	13%	Above Moderate
13	CUP17-004	R-3	2.21	165	62	39%	Moderate
14	T 36701	LDR	21.51	64	12	19%	Above Moderate
15	PM 37588	R-1-7.2	2.48	15	2	13%	Above Moderate
16	PP2020-0001	R-3	1.13	40	15	38%	Moderate
17	T 37719	SF	5.19	45	23	51%	Above Moderate
18	T 37691	R-2	8.07	121	78	64%	Above Moderate
19	T 37980	R-1-8.4	4.73	42	20	83%	Above Moderate
20	DPR2020-0009	R-1-14.4	4.67	14	2	14%	Above Moderate
21	T 37784	R-1A	4.91	5	5	99%	Above Moderate
22	DPR2019-0028	R-1-7.2	0.46	2	2	99%	Above Moderate
23	DPR2019-0025	R-3	0.42	15	9	60%	Above Moderate
24	PP2019-0009	R-3	0.34	12	6	50%	Moderate
25	DPR2019-0017	D	0.17	5	5	99%	Moderate
26	DPR2019-0009	R-3	4.09	147	59	40%	Above Moderate
27	DPR2018-0003	R-1-8.4	2.23	11	7	63%	Above Moderate
28	DPR2017-005	R-3	2.87	103	48	47%	Above Moderate
29	DPR2017-004	R-3	0.17	6	4	67%	Moderate
30	PM 37203	R-1-7.2	1.1	6	4	67%	Above Moderate
Source: City of Corona 2021							

Figure 6: Planned or Approved Projects



ACCESSORY DWELLING UNITS

ADUs provide affordable housing options for family members, friends, students, the elderly, in-home health care providers, the disabled, and others. An ADU can be located on residentially zoned property that has an existing single-family or multi-family residence. Recent trends indicate that ADU permit applications have increased in recent years. A total of three units were permitted in 2018. In 2019, the City permitted no applications for ADU units. The following year, 14 ADU units permitted in 2020. This increase is likely attributed to recent State legislation that simplifies the building and permitting process for ADUs on single-family and multi-family zoned property. Conservatively assuming that annual permits will average 10 units per year, it can be assumed that 80 ADUs will be permitted between 2021 and 2029. The City will monitor ADU trends within the City. Based on SCAG's regional ADU affordability analysis for Riverside County, it is assumed that 15 percent (12 units) would be affordable extremely low income units, 8 percent (6 units) would be affordable for very low income units, 35 percent (28 units) would be affordable for lower income, 35 percent (28 units) would be affordable for moderate income, and 8 percent (6 units) would be affordable for above moderate-income households.

PLANNING FOR REMAINING RHNA

After accounting for units planned and approved as of June 30, 2021 and anticipated ADUs, there is a remaining need of 3,806 units, which includes 2,746 lower income units, 976 moderate units, and 84 above moderate-income units. The City must demonstrate the availability of sites with appropriate zoning and development standards that can facilitate and encourage the development of such units.

RESIDENTIAL SITES INVENTORY

State law requires that jurisdictions demonstrate in the Housing Element that the land inventory is adequate to accommodate a jurisdiction's share of the regional growth. The City is committed to identifying sites at appropriate densities as required by law. The State, through AB 2348, has established "default" density standards for local jurisdictions. For metropolitan jurisdictions such as Corona, State law assumes that a density standard of 30 units per acre (du/acre) is adequate to facilitate the production of housing units affordable to lower income households. Therefore, in estimating potential units by income range, it is assumed that:

- » A density of zero to 14 du/acre (primarily for single-family homes) is assumed to facilitate housing in the above moderate-income category; and
- » A density of 15 to 29 du/acre (primarily for medium density multi-family developments) is assumed to facilitate housing in the moderate-income category; and
- » A density of 30 or more du/acre (primarily for higher density multi-family developments) is assumed to facilitate housing in the very low- and low-income category.

Geographic information system (GIS) data was used to identify vacant and nonvacant properties within the City. Nonvacant parcels were chosen as sites likely to be redeveloped during the next eight years based on the parcel's Improvement-to-Land Value ratio of less than 1.0 (i.e. improvements on site are worth less than the value of the land), the parcel's existing use vs. zoned use, age of structure, floor area ratio, and ownership patterns (i.e. if contiguous parcels have one owner, they are more likely to be consolidated and redeveloped). The parcels were reviewed to eliminate those unlikely to be redeveloped in the near term, such as parcels containing medium to larger size apartment buildings or condominiums and parcels with newer structures.

The City used conservative assumptions to estimate the development capacity of each site. Specifically, the sites inventory assumed 75 percent of the maximum allowable density of most parcels, instead of the full development potential. This assumption is based on historical development patterns and is necessary to accommodate for a variety of site-specific factors that cannot be evaluated until a development proposal is brought to the City for review such as previous development applications submitted for the site, conversations with landowners, development standards and requirements of the corresponding specific plan, and site-specific environmental constraints such as topography, seismic activity, flooding, and wildfire. Many current planned and approved projects, recently constructed projects, or projects under construction realized densities of more than 75 percent of the maximum allowable density (Table 38). For the smaller lots in the inventory, a minimum of one dwelling unit is assumed for each legal lot.

A total of 1,153 residential units can be accommodated on the vacant and nonvacant sites under existing land use policies and approved plans, as shown on Figure 7 and Figure 8. Of these units, 214 qualify as feasible for facilitating the development of extremely low-, very low- and low-income units. Two vacant parcels and eight nonvacant parcels have been used in previous Housing Element cycles. The City will allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units (Program 9).

In addition to vacant and nonvacant parcels, the City has identified a number of parcels with potential to be rezoned to accommodate the City's lower and moderate income RHNA allocation. 368 units can be accommodated through the rezone of low density residential and commercial parcels to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU). Of these rezoned parcels, 149 will qualify as feasible for facilitating the development of very low- and low-income units. The City prioritizes rezoning in transit priority areas that are within 0.5-mile of public transit (i.e. high frequency bus route or trolley line) to improve walkability and reduce dependence on automobile use. The Housing Element will rezone within three years of the beginning of the planning period to allow residential use by right at specified densities for housing developments in which at least 20 percent of the units are affordable to lower income households. Figure 9 identifies potentially rezoned parcels in Corona.

The City has also identified nonvacant commercial and residential parcels that are specifically suitable for an affordable housing overlay (AHO). AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing. Incentives include:

- » Increased density bonus;
- » Increased allowable heights;
- » Lower parking requirements;
- » By-right zoning or administrative project approval;
- » Streamlined permitting;
- » Allowing housing in locations not zoned for residential uses; and
- » Impact fee waivers.

The City will modify existing zoning to introduce an AHO that would allow for or require certain types of residential development, or development at certain densities, on a parcel without modifying the standards of the underlying zoning district. The AHO would support densities between 35-60 du/ac. Sites designated with an AHO would keep the underlying zoning but would have the AHO if housing is to be

considered on the site in the future. 3,652 units will be accommodated through implementation of the AHO, including 2,983 units considered supportive of extremely low, very low-, and low-income units. Figure 10 identifies the locations of parcels with the AHO. A more detailed sites inventory of the residential capacity can be found in Appendix B.

If a housing element relies on nonvacant sites to accommodate 50 percent or more of its RHNA for lower income households, the nonvacant site's existing use is presumed to impede additional residential development, unless the housing element describes findings based on substantial evidence that the use will likely be discontinued during the planning period. As shown on Appendix B, approximately five percent of lower income units are located on vacant sites, while approximately 95 percent are located on nonvacant sites. This includes sites that will be rezoned and will include an affordable housing overlay. This is a result of Corona being a predominately built out city with limited available vacant land. Nonvacant sites with residential and nonresidential uses have been prioritized on the Sites Inventory if the existing structure are older, if the floor area ratio is low, and if the improvement-to-land value ratio is less than one. There is no assumption that existing residences would be demolished, and ADUs can be developed or more units added. Other sites that do not meet these thresholds were included due to the likelihood of developer interest or property owner intent to redevelop or increase the intensity of a site. The Sites Inventory in Appendix B provides assumption values on the likelihood the uses will discontinue in the planning period and contains information on the various factors used for identification and characteristics related to recent trends. The City also mailed letters to the property owners of sites on the residential sites inventory that are proposed to be rezoned to plan for higher density housing and affordable housing. None of the property owners contacted the city expressing objection to the potential rezone.

The AHO in MU land use designations would introduce housing development opportunities to areas that had not previously allowed residential. MU-1 with an AHO would be amended to allow for 100 percent residential development or a mix of residential and commercial uses (see Program 7).

Table 39 shows recent residential and non-residential projects anticipated, approved or constructed within central Corona where the City plans to apply the AHO zone as part of the residential sites inventory. The City is experiencing commercial redevelopment within the downtown area and on parcels along 6th Street. A new medical campus containing two new medical office buildings totaling 60,000 square feet is under construction and located on 6th Street between Belle Avenue and Sheridan Street. This project involved the consolidation of 13 parcels and the partial vacation of 7th Street between Belle Avenue and Sheridan Street to accommodate the new development. This new medical campus is also directly across the street from the City's Public Library and the Corona Regional Medical Center. The Planning Commission approved the construction of a new LA Fitness building on West 6th Street near Smith Street. The property is currently vacant.

The residential and non-residential projects demonstrate redevelopment opportunities in the area. The recent residential projects achieved an average density of over 27 du/acre and an average 78 percent of the maximum density. These recent projects are shown in relation to the AHO zone in Figure 11.

Table 39: Recent Projects in Central Corona

APN	Lot Size	Residential Density	Percent of Maximum Density (Residential Only)	Description
118-270-055	4.01 acres	33 du/acre	90%	Consultant selected by Corona Housing Authority on June 16, 2021, to build 135 Affordable Housing Units. Incomes of 30% to 70% AMI. HDR Zone (36 du/acre maximum)
118-270-053	0.16 acres			
118-130-034	1.34 acres	N/A		New commercial for a LA Fitness Center. Approved by Planning Commission on August 26, 2019.
118-130-033	3.65 acres			
118-290-049	2.15 acres	29 du/acre	81%	New 62 senior housing apartment units approved by Planning Commission on November 6, 2017. Project being amended by applicant. Revisions submitted to City on March 25, 2021. R-3 Zone (36 du/acre maximum)
117-320-061	3.69 acres	21 du/acre	63%	Completed construction of 85 affordable housing units in 2020. HDR General Plan (36 du/acre maximum)
117-320-062	0.32 acres			
117-181-016	0.53	N/A		New medical campus under construction. Includes a 30,000 square foot building for the City of Hope and a 30,000 square foot medical office building.
117-181-015	0.20			
117-181-002	0.17			
117-181-003	0.17			
117-181-011	0.19			
117-181-012	0.51			
117-186-011	0.18			
117-186-010	0.17			
117-186-012	0.19			
117-186-004	0.18			
117-186-003	0.17			
117-186-002	0.05			
117-186-015	0.10			
Partial street vacation				
117-270-021	4 acres	N/A		New 100,000 square foot industrial building constructed in 2020.

The City is also reinvesting in its Downtown by partnering with LAB Holdings on the redevelopment of the Corona Mall located at the northeast corner and southeast corner of Main Street and 6th Street. LAB Holdings has developed several successful redevelopment projects in Orange County, CA, including the packing house in Anaheim, California. The City sold properties it had assembled in the aging Corona Mall to LAB Holdings. The plan is to reinvigorate the Downtown with façade improvements and independently owned eateries and shops in the Corona Mall. Corona Mall redevelopment is shown by parcel in Table 40.

Table 40: Corona Mall Redevelopment

Parcels Owned by LAB Holdings	Acres
117-143-033	.13
117-143-031	.06
117-143-032	.06
117-143-038	.24
117-143-039	.10
117-143-040	.17
117-151-002	.22
117-151-021	.11
117-151-004	.20
117-151-005	.14
117-151-015	.07
117-151-016	.11
117-151-007	.07
117-191-001	.04
117-191-002	.04
117-191-003	.04
117-191-004	.05
117-191-021	.07
117-191-022	.22
City Owned Parcels	Acres
117-143-015	2.37
117-151-022	3.49
117-191-019	2.27
117-183-004	.67
117-151-013	.09

Figure 7: Vacant Residential Parcels

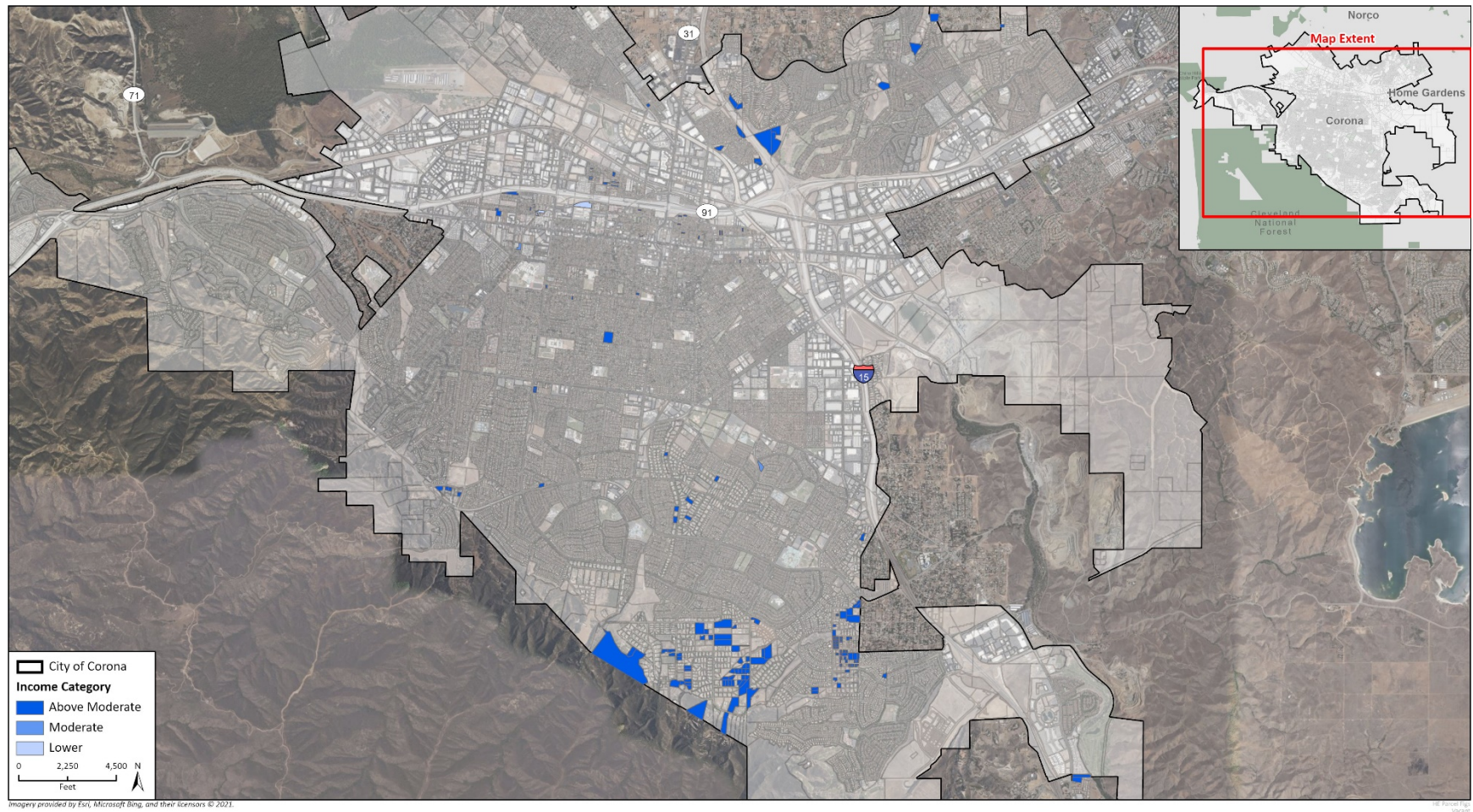


Figure 8: Nonvacant Residential Parcels

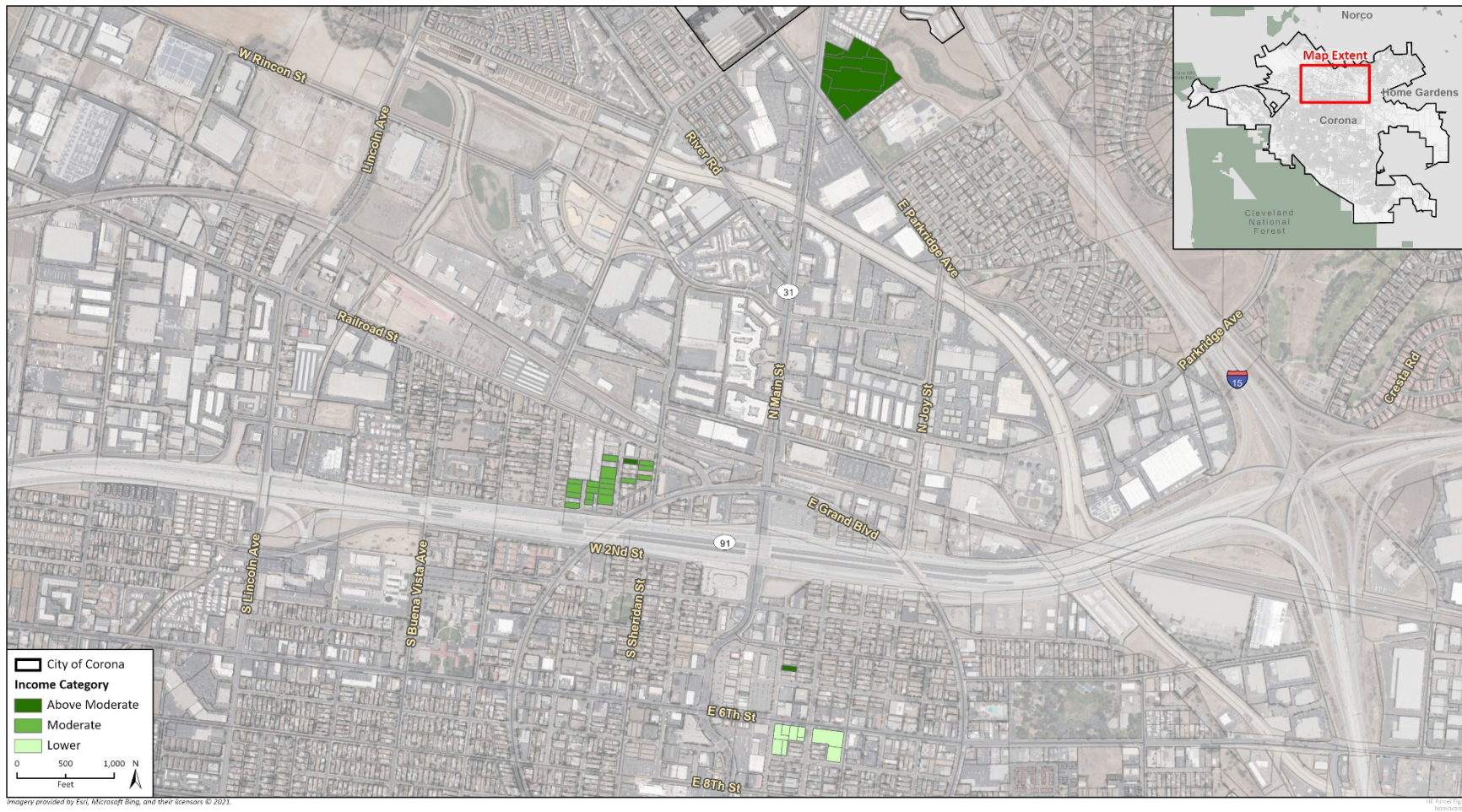


Figure 9: Rezone to Higher Density Residential

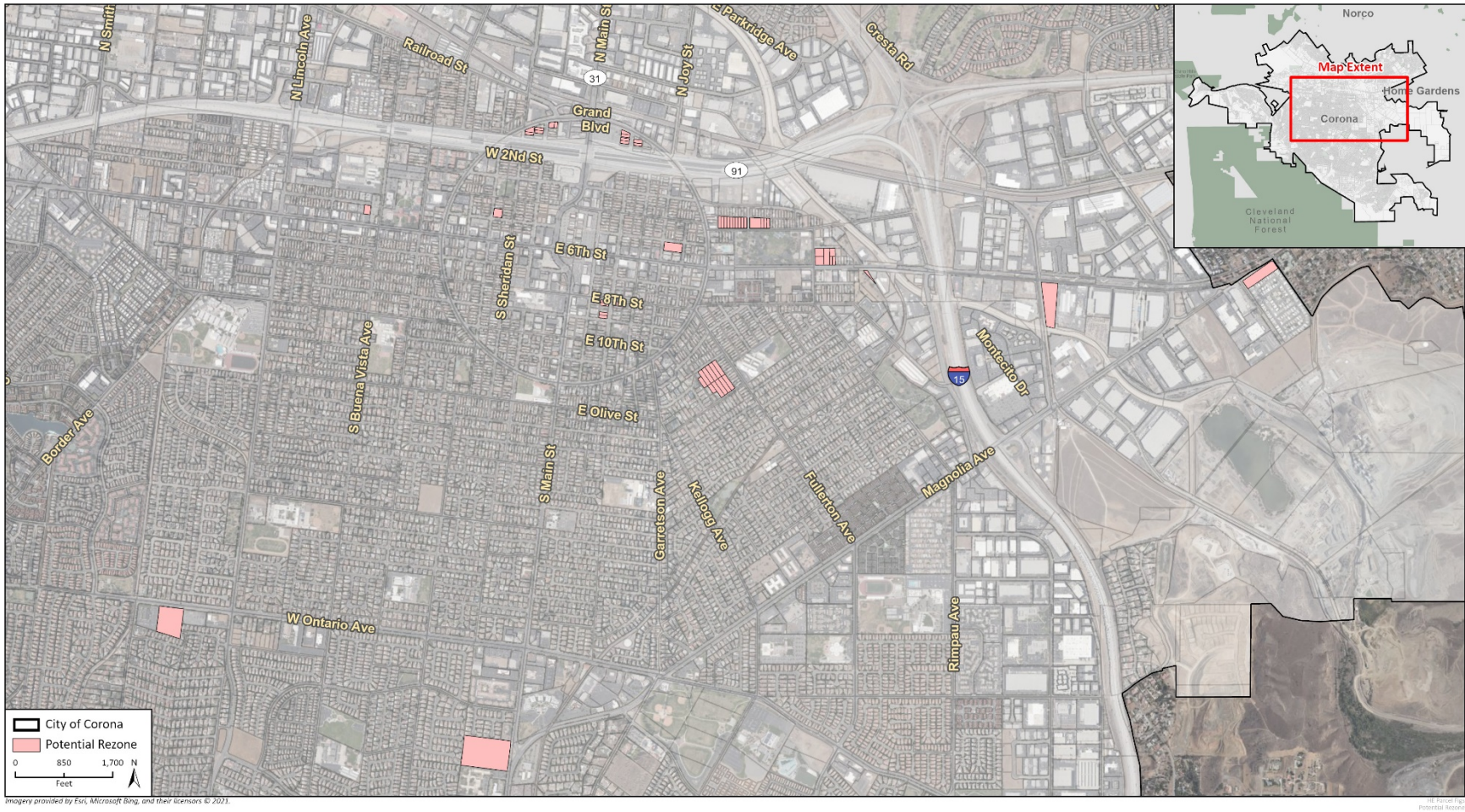


Figure 10: Sites with Affordable Housing Overlay

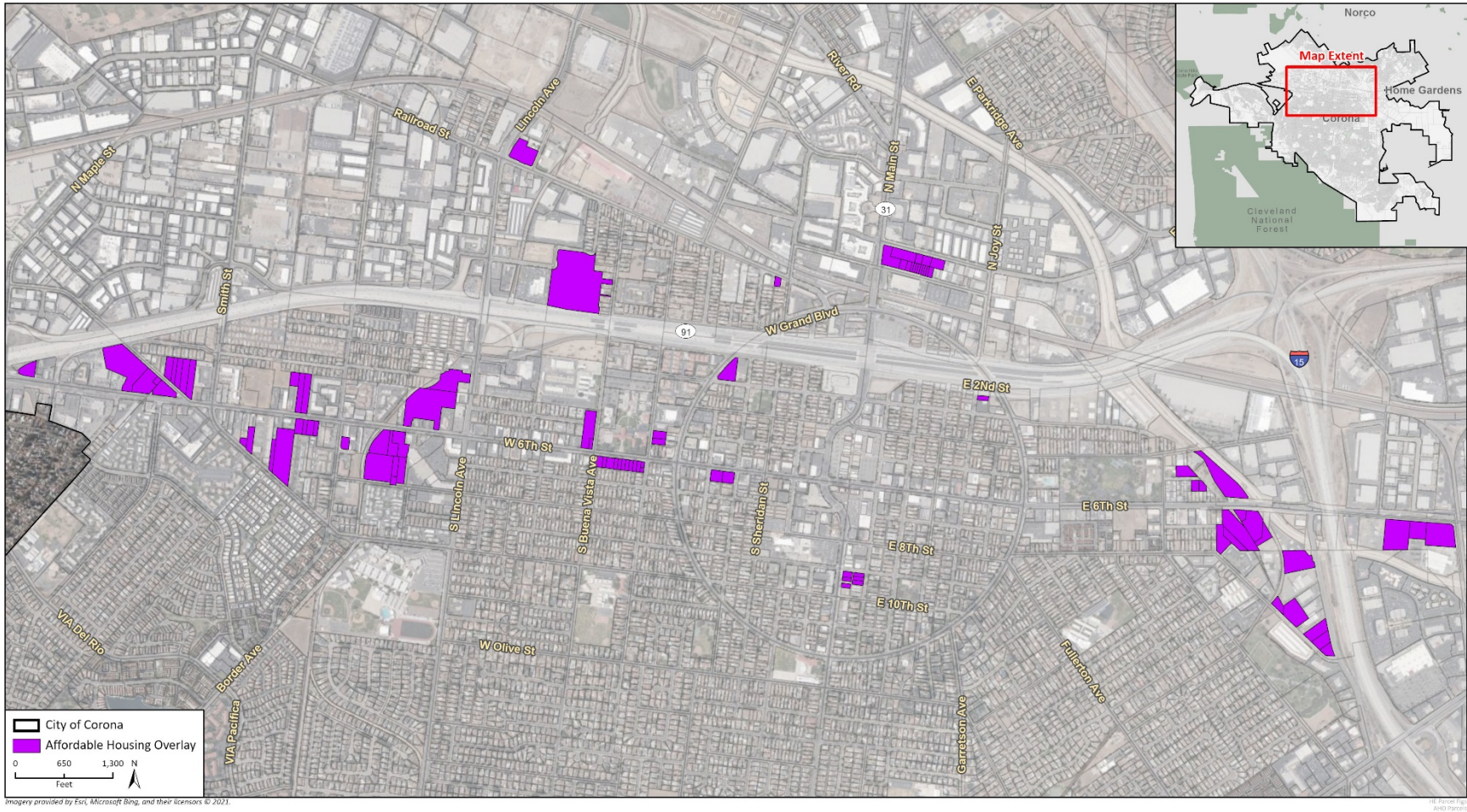
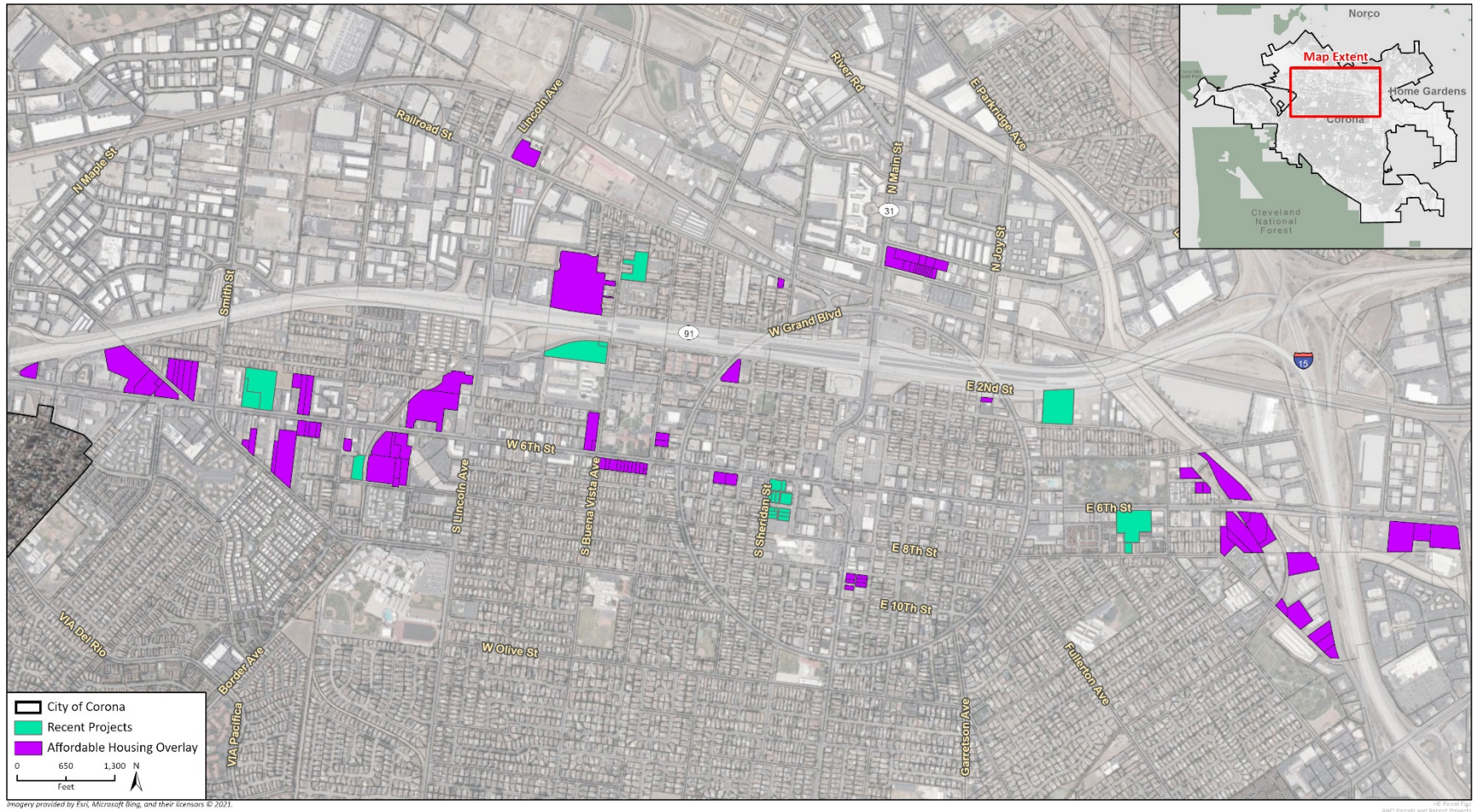


Figure 11: Recent Projects in Central Corona



SPECIFIC PLAN AREAS

The City has several specific plans with residential development potential during the 2021-2029 planning period. The following provides a description of these specific plans that have significant vacant, nonvacant, and rezone potential. A more detailed sites inventory of the residential capacity within these specific plans is located in Appendix B.

NORTH MAIN STREET SPECIFIC PLAN

Over a period of several years, the North Main Street District has experienced a gradual transition from an area with neighborhood retail, food, and drug stores to one with discount retail stores and vacant commercial centers. This transition can be attributed to several factors including significant traffic pattern changes and competing retail destinations in other growing areas of the city. Eventually, much of the land within the district was underutilized. Recognizing the need to address the issues facing North Main Street, the City of Corona initiated the North Main Street Specific Plan to provide guidance and direction for the future development and revitalization of this important area within the city and the region. The North Main Street Specific Plan was adopted in 2000 and amended throughout the years to adjust to changes in the market. The most recent amendment was in 2019.

The North Main Street District Specific Plan consists of 257.6 acres in the north-central portion of the City of Corona (Figure 12). The district contains a mix of land uses including commercial retail, commercial office, light industrial/manufacturing, public/quasi-public land uses, residential and several vacant parcels of land scattered throughout. The district is located just north of the State Route 91 freeway (SR-91) and west of the Interstate 15 (I-15) corridor and bisected in a north-south direction by North Main Street which serves as the transportation spine. Just south of SR-91, on Main Street, is the area generally referred to as Downtown Corona. Grand Boulevard is a circular street that completely encompasses the approximate limits of the downtown area. Main Street is perpendicular to and bisects Grand Boulevard. The North Main Street District Specific Plan area borders the northernmost portion of Grand Boulevard.

The Specific Plan allows residential development in the following areas with residential development potential:

Single-family Condominiums (SFC) Area – This area, located at the northeast corner of River Road and Cota Street, would provide the opportunity for village-like residential uses near shopping and public transit. The SFC area encompasses approximately 8.3 acres, about eight percent of the entire Specific Plan area. Single-family condominiums can include both attached and detached units at a density no greater than 15 du/acre.

Urban Density Residential District (UDR) – This district is intended to accommodate and promote high density residential development up to 60 du/acre. The UDR district intends to create opportunities for integration between the commercial and residential uses along the Main Street corridor as well as enhanced commuter transit options with the nearby Metrolink Station and bus transfer hub. The UDR District encompasses approximately 17.3 acres generally located west of Main Street between Blaine Street and River Road.

Mixed Use District (MU) – This district intends to provide opportunities for well-designed commercial projects or projects that combine residential with non-residential uses such office, retail, business services, personal services, public spaces and uses, and other commercial amenities. The District area covers approximately 29.2 acres in three areas bordering the east side of Main Street.

The North Main Street District Specific Plan allows for greater flexibility in land use types and locations to provide opportunities for transit oriented residential and commercial developments that increase transit ridership and decrease automobile trips. The Urban Density Residential land use designation permits up to 60 dwelling units per acre in both the General Plan and North Main Street District Specific Plan, a significant increase from the city's high density residential designation, which allows up to 36 units per acre.

The North Main Street District Specific Plan also has incentives for small lot consolidation. Owner-initiated adjustment of parcel lines among four or fewer contiguous parcels under common ownership via the City's Lot Line Adjustment process or the consolidation of lots through a Subdivision Map is allowed within the Mixed Use (MU) and Urban Density Residential (UDR) districts. Incentives may be provided for owner-initiated lot line adjustments or subdivision map consolidation of properties that serve to achieve orderly transit-focused residential development and improved level of pedestrian use:

- » Required parking may be reduced by a maximum of 20 percent provided a finding can be made that adequate parking will be available to serve the subject project or if the project site is located within 1,000 feet of public transportation (i.e., active bus stops, Metrolink station, RTA bus station);
- » Area of permitted signs may be increased by a maximum of ten percent provided a finding can be made that the increased area does not detract from the beautification and streetscape improvement objectives set forth in the Specific Plan; and
- » Front yard setbacks may be reduced by a maximum of twenty percent in any MU or UDR designation provided a finding can be made that the reduced setback will not negatively impact adjacent land uses, will not trigger significant impacts, or detract from the beautification and streetscape improvement objectives set forth in this Specific Plan. Furthermore, properties which front Grand Blvd. shall continue to maintain a minimum distance of 60 feet from building to the centerline pursuant to Section 17.86.020 of the Corona Municipal Code.

The map displays various land use designations across the North Main Street District. The legend identifies the following categories:

- Commercial Retail District**: Red shaded areas.
- Business Park District**: Light blue shaded areas.
- Industrial District**: Blue shaded areas.
- Single Family Condominium District**: Yellow shaded areas.
- Urban Density Residential District**: Orange shaded areas.
- Mixed Use District**: Purple shaded areas.
- Fire Station**: Red square symbol.
- SP99-01 Boundary**: Dashed line.

Key streets shown include N. Main St, E. Rincon St, W. Harrison St, W. Blaine St, Railroad St, E. Grand Bl, N. Joy St, E. Parkridge Av, Prince Land Ct, and W. Rincon St. Specific zones labeled on the map include GC, MU-1, LI, UDR, UDR to GC, UDR to MU-1, FS, and MDR.

Exhibit 4-1 General Plan Land Use Designations

City of Corona North Main Street District Specific Plan (SP99-01)

Date: December 16, 2009

The North Main Street District Specific Plan can accommodate a realistic potential of 434 units in the 6th Housing Element cycle. Table 41 outlines the potential residential capacity.

Table 41: Residential Capacity in the North Main Street Specific Plan

	Acres	Realistic Unit Capacity
Vacant	0	0
Nonvacant	9.89	256
Rezone	0	0
Affordable Housing Overlays	4.47	178
Total	14.36	434

The City selected available sites in the North Main Street District Specific Plan area for inclusion in the 6th Housing Element Cycle due to their proximity to public transit, low improvement-to-land value ratio, and potential for future recycling. The majority of the existing uses on the nonvacant sites are small, independently owned businesses in older/antiquated commercial buildings that not configured for modern commercial uses. The sites contain a dilapidated commercial center with expansive surface parking space – a development pattern that is not consistent with City goals that encourage economic sustainability and development of transit oriented residential and commercial development and prefabricated metal buildings. By increasing the allowable density on these sites, the City intends to foster recycling of these uses into mixed-use and high-density residential developments.

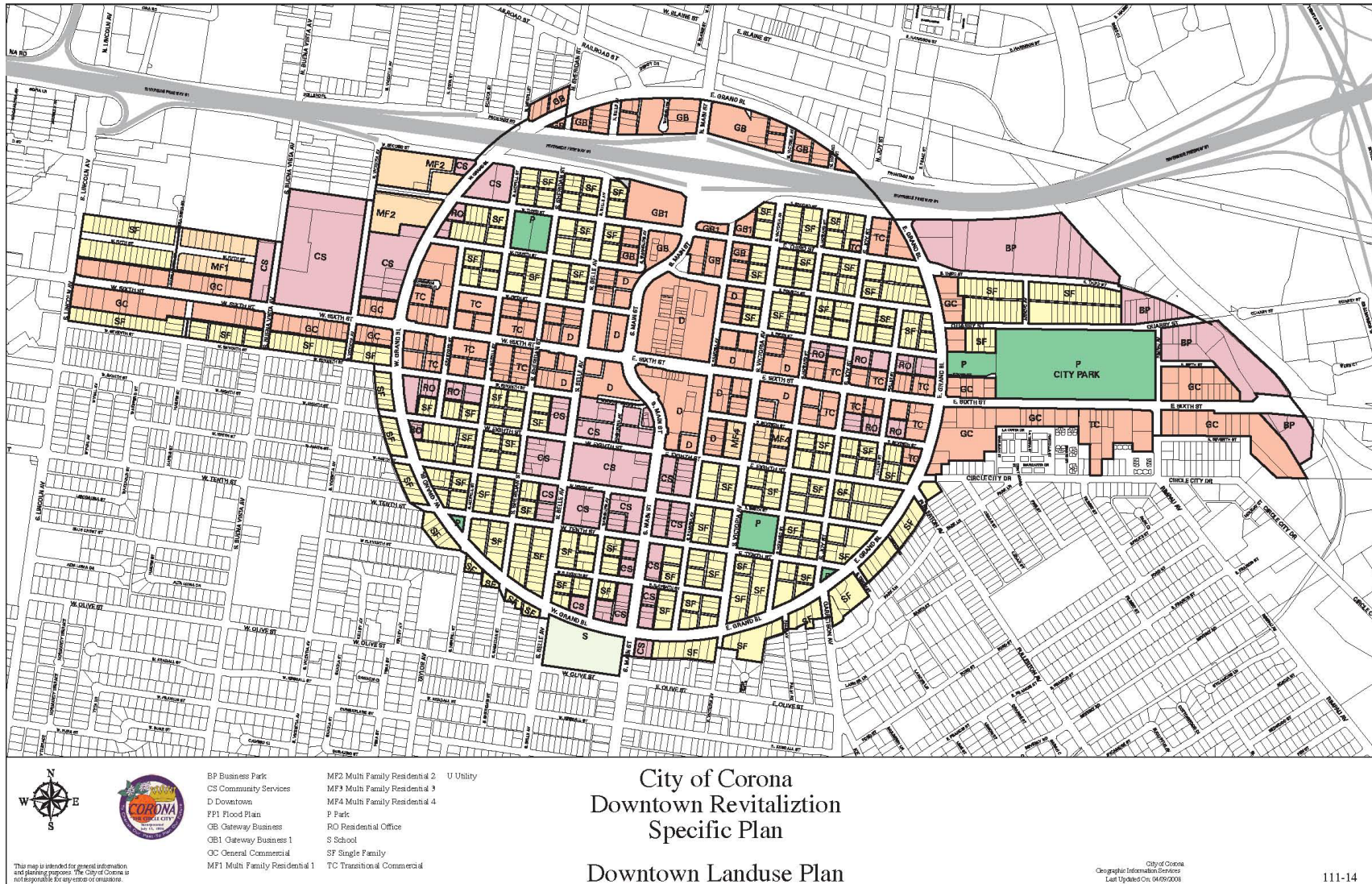
DOWNTOWN CORONA REVITALIZATION SPECIFIC PLAN

The Downtown Corona Revitalization Specific Plan was adopted by the City in 1998 and most recently amended in 2011. The Specific Plan area includes approximately 621 acres and generally consists of the commercial corridor along 6th Street, from Lincoln Avenue on the west to the Temescal Creek Channel on the east, and the area within the Grand Boulevard Circle (Figure 13). The prominent structures in the planning area are:

- » The Corona Mall at Main Street and 6th Street;
- » The public library across from the Mall;
- » The City Hall, six blocks to the west; and
- » The Landmark Theater building on 6th Street.

Within the Grand Boulevard Circle are also some of the City's oldest residential neighborhoods mixed with some commercial uses. The Corona Regional Medical Center, located on South Main Street, is a major property owner in the southwest quadrant of the Grand Boulevard Circle. Additionally, Grand Boulevard south of 6th Street contains many elegantly restored historic residences.

Figure 13: Downtown Specific Plan



Currently, seven districts within the Downtown Corona Revitalization Specific Plan area allow for residential development:

- » **Downtown (D) District:** The D District provides for medium-intensity commercial uses that serve mostly community-wide needs in a pedestrian-friendly environment. Uses allowed include commercial retail, service commercial, business offices (lodging), restaurants and sidewalk cafes, cultural and entertainment uses, nightclubs and microbreweries, mixed-use (including residential), as well as prominent buildings for governmental uses.
- » **Transitional Commercial (TC) District:** The TC District provides a buffer commercial district between the vehicular-oriented 6th Street Commercial, and the more pedestrian-oriented Downtown District. It provides great variety in low to medium intensity commercial uses in either a pedestrian or vehicular orientation. Mixed use developments, multi-family dwellings and senior citizen housing are allowed with a Conditional Use Permit in this district.
- » **General Commercial (GC) District:** The GC District provides for lower intensity uses that serve community and sub-regional needs with an emphasis on convenient automobile access, while incorporating efficient, safe, and attractive on-site pedestrian circulation. Mixed use developments are allowed with a Conditional Use Permit in this district.
- » **Community Services (CS) District:** The CS District provides needed community services such as governmental or institutional offices, social service agencies, hospitals, pharmacies, health care offices, churches, parks and playgrounds, museums and performing arts facilities. Senior citizen housing is allowed with a Conditional Use Permit in this district.
- » **Residential Office (RO) District:** The RO District is a highly specialized area in the Specific Plan. The District provides for very low intensity office uses in either existing residential structures or in new buildings that take great architectural care to “fit in” with the historic residential structures found in the immediate vicinity. The District provides a much-needed land use buffer between the more intensive commercial districts and the low-density historic residential areas of the Circle.
- » **Single-family Residential (SF) District:** The SF District is provided to protect the integrity of Corona’s historic residential neighborhoods within the Circle. The District is intended as an area for preservation and development of historically sensitive single-family detached residential.
- » **Multi-family Residential (MF) District:** The MF District is intended for small areas that are presently developed with multi-family residential units.

Overall, approximately 155 acres of land in the Specific Plan area are designated for single-family and multi-family uses. The Specific Plan also has 167 acres designated as Downtown, Transitional Commercial, General Commercial, Community Services, and Residential Office.

The Downtown Corona Revitalization Specific Plan can accommodate a realistic potential of 964 units in the 6th Housing Element cycle. Table 42 summarizes the potential residential capacity on sites that can potentially accommodate residential units.

Table 42: Residential Capacity in the Downtown Revitalization Specific Plan

	Acres	Realistic Unit Capacity
Vacant	1.82	11
Nonvacant	3.41	115
Rezone	11.00	180
Affordable Housing Overlays	14.96	658
Total	31.19	964

AVAILABLE SITES NOT INCLUDED IN SPECIFIC PLAN AREAS

Corona is almost entirely built out; however, the City has been able to identify infill opportunity sites and sites available for re-use for residential purposes that are not already included in the North Main Street Specific Plan or Downtown Corona Revitalization Specific Plan. The residential development capacity of these sites is summarized in Table 43 below.

Table 43: Residential Capacity Outside of the North Main Street Specific Plan and Downtown Specific Plan

	Acres	Realistic Unit Capacity
Vacant	279.73	772
Nonvacant	3.92	28
Rezone	17.11	188
Affordable Housing Overlays	68.05	2,816
Total	368.81	3,804

RECYCLING TRENDS

As the City becomes increasingly built out, recent developments in the City have involved the recycling of underutilized and non-performing commercial and residential uses and the consolidation of existing small lots. The following recent projects demonstrate the ability to achieve higher density residential development on previously underutilized parcels and show a trend in the City of recycling into higher intensity:

- a. Citrus Circle Apartments, located at 301 S. Buena Vista, is an affordable housing project constructed in 2013 that rehabilitated 19 existing multiple family units and constructed 42 new multifamily units for incomes 60 percent AMI or less. The entire site consisted of seven parcels that were acquired by the City's former Redevelopment Agency. These parcels were consolidated to create one parcel totaling 2.47 acres. The seven parcels previously comprised of two single-family homes, eight multi-family units, and vacant parcels. The project was allowed a HDR density of 36 du/ac and achieved an actual density of 24.6 du/ac. The project consists of one-, two-, and

three-bedroom units ranging in size from 556 square feet to 1,248 square feet. The Corona Housing Authority has an affordable housing agreement with the developer for 55 years.

Citrus Circle Apartments



Source: City of Corona

- b. Meridian Apartments, located at 1040 E 6th Street, is an affordable housing project constructed in 2019 consisting of 85 multiple family units for incomes at or lower than 60 percent AMI. The project was allowed a HDR density of 36 du/ac and achieved an actual density of 21 du/ac. The entire site consisted of 10 parcels that were acquired by the City's former Redevelopment Agency. The parcels consisted of four single-family units, one restaurant and vacant parcels. The parcels were consolidated to create one parcel totaling four acres. The unit mix consists of one-, two-, and three-bedroom units ranging from 768 square feet to 1,101 square feet. The Corona Housing Authority has an affordable housing agreement with the developer for a period of 55 years. The Meridian Apartments used lot consolidation from sites that were mostly under 0.5-acre, as shown in Table 44.

Table 44: Meridian Apartment Parcels

APN	Parcel Acreage
117-322-012	.68 acres
117-322-016	.17 acres
117-322-017	.17 acres
117-322-018	.17 acres
117-322-059	.17 acres
117-322-015	.31 acres
117-322-014	.30 acres
117-322-051	.32 acres
117-322-020	.63 acres
117-322-023	1.07 acres

Meridian Apartments



Source: City of Corona

- c. The North Main Metro Mixed Use Residential and Commercial development, located at 111 N. Main Street, was built in 2015 and consists of 464 market-rate multiple family units and 77,000 square feet of new commercial space. The project is a transit-oriented development located within 0.5-mile of the Metrolink train station. The site formerly consisted of six parcels totaling 14 acres, with a former commercial center that included two anchor commercial tenants for a grocery store and drug store, in-line commercial tenant spaces, two freestanding restaurant buildings and a freestanding bank building constructed in the 1960s. The buildings were demolished, except for the bank building, to accommodate the new multiple family residential units and ground floor commercial buildings. The residential portion of the project was allowed an Urban Density Residential density of 60 du/ac. The actual residential density constructed was 47.7 du/ac.

North Main Metro



These recycling activities have taken place since the certification of the 5th cycle Housing Element and are representative of a pattern of small lot consolidation in the City. The conditions and characteristics of the underutilized and non-performing commercial sites identified in Appendix B are similar to those that have gone through redevelopment in recent years. For example, the Citrus Circle Apartments site, which involved the consolidation of 7 smaller lots not commonly owned, previously contained 19 multifamily units in need of repair and refurbishment. The consolidation of sites allowed for the redevelopment of the parcels for a total of 42 units. Examples of conditions that mirror this recycling trend include sites on Victoria Avenue (117193002, -003, -004, -005, -006) which consist of four single-family residences, a commercial use with a low floor area ratio, and a parking lot. These sites could be consolidated to accommodate a lower income project on 2.08 acres with a maximum density of 35 du/ac. These contiguous sites do not share a common owner and would require either one master developer to purchase the parcels and consolidate as one cohesive development or would require each owner to redevelop each site separately. Examples of contiguous sites included in Appendix B that share similar owners are sites along Belle Avenue and 6th Street. These sites, located in the Downtown Corona Revitalization Specific Plan, could be consolidated to facilitate 35 du/ac.

Recycling activities are also likely to occur on sites zoned for mixed-use. Development trends in the City indicate that the vast majority of mixed-use zoned projects include a residential component with a marginal representation or square footage being devoted to commercial use, and none of the mixed use zoned projects that have been proposed are 100 percent devoted to non-residential purposes. Therefore, it can also be reasonably assumed that residential development would continue to occur in mixed-use zones that can accommodate both residential and non-residential uses. Redevelopment of residential projects on non-residentially zoned land comparable to the North Main Metro Mixed Use project is likely in Corona. To support recycling of underutilized sites with small lots consolidation, the City will develop a

lot consolidation and large lot development program (Program 10) that will facilitate continued development of residential projects throughout the identified sites in Appendix B.

Sites included in the inventory of this Housing Element for the 6th cycle RHNA are very similar to those used for the sample projects identified above, in terms of size, existing conditions, and existing uses. Given the potentially devastating impact of COVID-19 on the market for commercial and office spaces in the future, it is reasonable to expect future recycling of commercial properties would favor residential and mixed-use development.

AVAILABILITY OF INFRASTRUCTURE AND SERVICES

The City is committed to a number of actions and expenditures to provide infrastructure and enhancements meant to encourage and facilitate subsequent development. Corona's Capital Improvement Plan provides for the maintenance and improvement of the City's infrastructure including such items as: streets, alleyways, sidewalks, sewers, storm drains, water system, street lighting, and traffic signals. The existing infrastructure system may require minor upgrades to address age and condition-related issues, however, the systems do contain sufficient capacity to allow for the development of additional residential units, as required by the City's RHNA allocation.

SEWER SYSTEM

The Corona Department of Water and Power is responsible for supplying the majority of sewer collection and treatment services within the City. The City's sewer system consists of 13 sewer lift stations, associated force mains, and gravity sewer pipes. Corona's three water reclamation facilities (WRFs) treat up to 15.5 million gallons per day. In accordance with City standards, sewer is treated to tertiary levels so that it can be used for irrigation purposes or safely be discharged to the Santa Ana and Temescal rivers. The City's sewer system has sufficient capacity to handle peak dry weather flows and has not experienced any wet weather overflows. The City adopted the 2020 Sewer System Management Plan which establishes management, operation, and maintenance practices for the sewer system. The City's Sewer Master Plan is a living document and is updated on an on-going basis or at least every five years.

WATER SYSTEM

The Corona Department of Water and Power is responsible for supplying clean water to the City and surrounding areas. The department provides potable water service to the city's residential and service population and portions of its sphere of influence. The City adopted the 2015 Urban Water Management Plan (UWMP), which establishes the planned upgrades to the water distribution system within the City. The UWMP estimates that projected water use for residential, commercial, institutional, and industrial purposes would decrease annually at a rate of 0.2 percent as an elastic response to anticipated wholesale cost increases and installation of more efficient water fixtures. All water system improvements needed to accommodate buildout in the City is identified in the UWMP.

STORMWATER AND DRAINAGE SYSTEM

The City of Corona and Riverside County have constructed a vast storm drainage system to protect from floodwaters and protect groundwater resources from urban runoff. The City's current storm drainage system releases water into flood control channels, washes, Santa Ana River, and Prado Basin. The National Pollutant Discharge Elimination System (NPDES) permit program is designed to monitor, reduce, and control the amount and type of pollutants that enter the storm drainage system. As required by state law,

Corona implements a Drainage Area Management Plan and Local Implementation Plans (LIP) to manage urban runoff and preserve predevelopment hydrology.

DRY UTILITIES

The Corona Department of Water and Power is responsible for supplying electricity to the City and surrounding areas. Other dry utilities such as natural gas, telephone and data services, and cable television are serviced by contracted providers within the City. Providers include, but are not limited to, SoCalGas, AT&T, and Spectrum.

CIRCULATION SYSTEM

The City's Circulation Element outlines the long-term plan for roadways, including numbers of lanes, right-of-way, and general operating conditions. It also provides guidance relating to the transit system, goods movement system, and nonmotorized travel, including bicycle and pedestrian travel.

ADEQUACY OF RESIDENTIAL SITES INVENTORY IN MEETING RHNA

A majority of Corona's RHNA is expected to be met through sites within the City's specific plan areas. However, the City also has a handful of vacant, nonvacant, and rezoned sites outside of any adopted specific plan with potential for redevelopment. Overall, vacant and nonvacant parcels in Corona can accommodate approximately 1,153 new housing units and rezoned parcels and AHO can accommodate an additional 4,020. Given these figures, the City will have enough capacity to accommodate its 2021-2029 RHNA plus a buffer of approximately 22 percent, as shown in Table 45.

Table 45: Adequacy of Residential Sites Inventory

	Lower Income	Moderate Income	Above Moderate Income	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
ADUs Anticipated	46	28	6	80
Remaining RHNA	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units	3,346	1,097	2,966	7,455
Total Unit Surplus	600	1	766	1,367

FINANCIAL RESOURCES

The primary funding source that Corona uses for implementation of its housing programs is Community Development Block Grant (CDBG) funds. The City will also continue to use U.S. Department of Housing and Urban Development (HUD) funds administered through the County's Housing Choice Voucher Program for rental assistance. Another significant financial resource available to the City of Corona for the preservation of at-risk housing, improvement, and development of affordable housing is HOME Investment Partnership (HOME) funds accessible through the State of California.

COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG)

The CDBG Program is administered by HUD. Through this program, the federal government provides funding to jurisdictions to undertake community development and housing activities.

Activities proposed by the jurisdictions must meet the objectives and eligibility criteria of CDBG legislation. The primary CDBG objective is the development of viable urban communities, including decent housing and a suitable living environment, and expanding economic opportunity, principally for persons of low-and moderate income. Each activity must meet one of the three broad national objectives of:

- » Benefit to low-and moderate income families;
- » Aid in the prevention of elimination of slums or blight; or
- » Meet other community development needs having a particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community.

For the 2019-2020 program year, the City received \$1,197,231 of CDBG funds and \$446,458 of HOME funds from HUD, which were combined in the Action Plan with \$703,882 of prior year unspent CDBG funds for a total investment of \$2,347,571. This investment of CDBG and HOME funds was a catalyst for positive change in the community. The City will continue to use CDBG funds to assist low- and moderate-income individuals in improving the health and safety conditions of their homes through the rehabilitation of owner-occupied and mobile homes, maintenance of affordable housing through the Mobile Home Assistance Program, and implementation of capital projects that focus on sites for shelters.

HOME INVESTMENT PARTNERSHIP ACT (HOME)

The HOME program provides federal funds for the development and rehabilitation of affordable rental and ownership housing for households with incomes not exceeding 80 percent of area median income. The program gives local governments the flexibility to fund a wide range of affordable housing activities through housing partnerships with private industry and non-profit organizations. HOME funds can be used for activities that promote affordable rental housing and homeownership by low-income households, including:

- a. Building acquisition
- b. New construction and reconstruction
- c. Moderate or substantial rehabilitation
- d. Homebuyer assistance
- e. Rental assistance

f. Security deposit assistance

Corona will receive annual grants from HUD. The program's flexibility allows the City to use HOME funds for grants, direct loans, loan guarantees or other forms of credit enhancements, or rental assistance or security deposits.

PERMANENT LOCAL HOUSING ALLOCATION (PLHA)

The PLHA program, also known as the Building Homes and Jobs Act, or Senate Bill 2 (SB 2), provides a permanent source of funding to all local governments in California to help cities and counties implement plans to increase the affordable housing stock. Funding will help Corona to:

- » Increase the supply of housing for households at or below 60% of area median income;
- » Increase assistance to affordable owner-occupied workforce housing;
- » Assist persons experiencing or at risk of homelessness;
- » Facilitate housing affordability, particularly for lower- and moderate-income households;
- » Promote projects and programs to meet the local government's unmet share of regional housing needs allocation; and
- » Ensure geographic equity in the distribution of funds.

Corona will receive grants based on the formula prescribed under federal law for the Community Development Block Grant. Funding amounts will vary from year to year based on annual revenues to the Building Homes and Jobs Trust Fund.

ADMINISTRATIVE RESOURCES

CITY OF CORONA COMMUNITY DEVELOPMENT DEPARTMENT

The Community Development Department provides and coordinates development information and services to the public. Specifically, this involves inspection and enforcement of City-adopted building codes, plan checking for code compliance, issuance of City-required permits, record keeping of city maps, and processing of Site Development Plans.

The Planning division is tasked with ensuring that land uses in Corona comply with the Zoning Code, the General Plan, the Corona Municipal Code and State law requirements. Approval of projects through the planning process is required prior to issuing grading and building permits. Advanced planning programs provided by the division include a comprehensive General Plan update (including periodic update of the Housing Element), preparing and amending specific plans, and conducting special land use studies as directed by the Planning and Housing Commission and City Council.

COUNTY OF RIVERSIDE

The County of Riverside administers a number of housing programs that are utilized in the City. These include the Mortgage Credit Certificate Program, and Section 8 Housing Choice Voucher Program.

NONPROFIT ORGANIZATIONS

Nonprofit housing developers and service providers are a critical resource for accomplishing the goals and objectives of this Housing Element. The following developers and service providers are some of the nonprofit organizations that have been active in the City and may assist in the implementation of Housing Element programs:

- » California Department of Fair Employment and Housing
- » Housing and Economic Rights Advocates
- » Jamboree Housing
- » Riverside Housing Development Corporation
- » Southern California Association of Nonprofit Housing

Chapter 5: Review of Past Accomplishments

To develop appropriate programs to address the housing issues identified in the 2021-2029 Housing Element, the City of Corona has reviewed the housing programs adopted in 2014-2021 Housing Element and evaluated the effectiveness of these programs in delivering housing services and assistance. Table 46 summarizes the City's progress toward the previous RHNA and Table 47 provides a detailed program-level assessment of housing accomplishments over the last planning period.

EFFECTIVENESS IN ADDRESSING SPECIAL NEEDS

During the fifth cycle Housing Element, the City was successful in facilitating the development housing for special needs groups. Specifically, the City purchased surplus property from the Riverside County Transportation Commission to support the future development of roughly 130 affordable housing units located at the southwest corner of Second Street and Buena Vista. This project is expected to include Permanent Supportive Housing units. The City used Corona Housing Authority Funds and CDBG and HOME funds for Tenant Based Rental Assistance and for future construction financing of PSH units at the RCTC surplus property previously acquired. The City also maintained the affordability covenant on the William C. Arthur Terrace Apartments, Corona Community Villas, Corona Community Towers, Corona Park Apartments and Garrison House, maintaining the affordability covenants for 312 assisted units.

Table 46: Quantified Housing Objectives (2013-2021)

	New Construction		Rehabilitation		Conservation/ Preservation	
	Objectives	Actual	Objectives	Actual	Objectives	Actual
Extremely Low Income	92	155	60	77	134	312
Very Low Income	100				135	
Low Income	128		60		0	
Moderate Income	142	67	0		0	
Above Moderate Income	308	2,496	0	4	0	0
Total	770	2,718	120	81	269	312

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
Goal 1: Conserving and Improving Existing Affordable Housing			
1	Residential Rehabilitation Program (RRP)	<ul style="list-style-type: none"> Assist 120 households during the planning period with an average of 15 household annually. Continue to provide community outreach regarding available loans and grants. 	<p>Implementation of this program is ongoing. In 2019-2020, the City provided 7 single-family dwelling homeowners with loans for health and safety improvements, processed 15 subordination requests for people with housing loans wishing to refinance, referred approximately 45 people to miscellaneous County programs such as the 1st Time Homebuyer program, and referred approximately 17 mobile homeowners to Community Action Partnership Riverside's weatherization and appliance replacement program.</p> <p>Loans under the Program are forgivable, and grants are administered by Habitat for Humanity and only available to mobile homes. The Program will continue to be funded with Federal HOME Investment Partnerships Program (HOME) funds.</p> <p>Continued Appropriateness: Improving the City's housing stock is an important goal of the community. This program is included in the 2021-2029 Housing Element.</p>
2	Housing Choice Voucher Program	<ul style="list-style-type: none"> Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners. 	<p>Implementation of this program is ongoing and is administered by the County of Riverside. Under the Housing Choice Voucher (HCV) Program, the Housing Authority of Riverside County administers over 9,000 vouchers per year. As vouchers become available, the Housing Authority selects families from the HCV waiting list to fill all funded turnover vouchers. In 2019-2020, the agency selected 4,087 new families from the HCV waiting list in order to fill turnover vouchers. In 2019-2020, the Housing Authority selected 3,131 new families from the Project-Based Voucher (PBV) waiting lists in order to fill vacant PBV units. The HCV and PBV waiting lists are open for new registrations. Staff also referred dozens of callers to the County seeking this assistance.</p> <ul style="list-style-type: none"> 2015 - 346 vouchers 2016 - 363 vouchers 2017 - 363 vouchers 2018 - 334 vouchers

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
			<ul style="list-style-type: none"> 2019 – 333 vouchers 2020 - 353 vouchers <p>Continued Appropriateness: Housing Choice Vouchers are an important source of rental assistance for very low-income households. This program is included in the 2021-2029 Housing Element.</p>
3	Conservation of Existing and Future Affordable Units	<ul style="list-style-type: none"> Identify and analyze inventory that may be at risk of losing affordability controls. Maintain communication with the local United States Department of Housing and Urban Development (HUD) office. Assist in tenant education. Identify potential buyers. Identify potential acquisition funds. Coordinate with non-profit developers to identify potential acquisition opportunities. 	<p>Implementation of this program is ongoing and monitored annually. Four of the at-risk projects listed in the 2013-2021 Housing Element (William C. Arthur Terrace Apartments, Corona Community Villas, Corona Community Towers, Garrison House) remain affordable and continue to get Section 8 assistance. Affordability covenants for 3 units at French Quarter, 12 units at Jasmine Springs, and 6 units at Villas De Corona, and 82 units at Country Hills Apartments expired during the 2013-2021 planning period.</p> <p>Continued Appropriateness: The City will continue to monitor and work to preserve any units at-risk of losing affordability controls. This program is included in the 2021-2029 Housing Element.</p>
4	Neighborhood Improvements (Enhancing Community Pride)	<ul style="list-style-type: none"> Continued implementation of neighborhood public improvements, property maintenance ordinance, design review, and historic preservation. 	<p>The City continues to make public improvements in low- and moderate-income neighborhoods. Annually, the City allocates Community Development Block Grant (CDBG) funds to improve targeted neighborhoods.</p> <p>In 2018-2019, CDBG funds were utilized to reconstruct sidewalks and accessible paths throughout low-income eligible areas, including Americans with Disabilities Act (ADA) ramps.</p> <p>In 2019-2020, CDBG funds were awarded for the Acquisition for Affordable Housing, Units TBD.</p> <p>In 2020-2021 CDBG and HOME funds were awarded for Tenant Based Rental Assistance and for future construction financing of PSH units at the RCTC surplus property previously acquired.</p> <p>Continued Appropriateness: Many streets in the CDBG target areas are substandard, deteriorated, and/or in need of improvement. The City will continue to improve neighborhood conditions; this program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
5	Sustainable Building	<ul style="list-style-type: none"> Continue to implement the City's Climate Action Plan (CAP) that fosters sustainability in all development requiring discretionary approval. 	<p>Implementation of this program is ongoing. All new development that is subject to discretionary approval must comply with the City's CAP and is verified through the project review process. The City's 2012 CAP was updated in 2019 in conjunction with the City General Plan Update 2040. Measurements indicate City compliance with greenhouse gas (GHG) emissions reductions as mandates by the State.</p> <p>Continued Appropriateness: The City will continue to promote sustainable building practices and implement the CAP. This program is included in the 2021-2029 Housing Element.</p>
Goal 2: Providing Adequate Housing Sites			
6	Site Availability	<ul style="list-style-type: none"> Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. Continue to update the infill Affordable Housing Map to indicate suitable infill development sites. Provide residential sites information to interested developers. Monitor the remaining residential site inventory to ensure continued ability to meet the remaining RHNA. Continue to offer pre-application meetings with developers to help craft development proposals that maximize the efficient use of sites and meet city objectives for the areas. 	<p>Implementation of this program is ongoing and is part of the project review process that city staff implements when preparing discretionary projects for approval.</p> <p>Continued Appropriateness: The City will continue to provide adequate sites to accommodate its RHNA. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
7	Lot Consolidation	<ul style="list-style-type: none"> Continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers. 	<p>Implementation of this program is ongoing and is encouraged through the written regulations in the two most affected specific plans, the Downtown Revitalization Specific Plan and the North Main Street Specific Plan. Although lot consolidation is encouraged, implementation takes time. The Meridian Apartments on East 6th Street and the Citrus Circle Apartments on Buena Vista Avenue, both affordable housing projects benefited from the lot consolidation process.</p> <p>Continued Appropriateness: The City will continue to facilitate lot consolidation or residential and mixed-use developments. This program is included in the 2021-2029 Housing Element.</p>
8	Multi-family Acquisition and Rehabilitation	<ul style="list-style-type: none"> Utilize Neighborhood Stabilization Program (NSP) and HOME funds to assist both non-profit and for-profit developers to acquire existing apartment buildings in need of upgrading in exchange for long term affordability controls on some or all units. Pursue available funds for multi-family acquisition and rehabilitation. 	<p>Since 2014 all NSP funds have been completely spent. NSP and Home funds were utilized to acquire a 12-unit dilapidated complex. The entire property was completely rehabilitated with very low-income units. NSP funds were further utilized to purchase a remnant structure with 19 units. These 19 units were integrated into the Citrus Circle Affordable Housing project. As of 2014, NSP funds are spent, and close out documents were submitted in June 2018. HUD approved close out in July 2018.</p> <p>Continued Appropriateness: The City will continue to pursue funding and opportunities to acquire and rehabilitate multi-family units to create affordable housing for lower income households. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
Goal 3: Assisting in Development of Affordable Housing			
9	Infill Housing Development	<ul style="list-style-type: none"> Continue to apply HOME funds to implement program; pursue available funds for infill housing development. Produce three new affordable units a year. 	<p>Implementation of this program is ongoing. In 2020, the City Council adopted the 2020-2024 Five Year Consolidated Plan directing the use of HOME funds for Tenant Base Rental Assistance (TBRA), primarily, in furtherance of the City's Homeless Strategic Plan. Additionally, in response to the COVID- 19 pandemic, HUD allowed jurisdictions to utilize CHDO set aside funds from 2017-2020 for TBRA. Council approved the redirection of these funds for TBRA. During this 5-year period this funding source is not expected to be used for any other program such as the RRP program to substantially rehabilitate homes occupied by low-income households or projects.</p> <p>Continued Appropriateness: Although opportunities exist, HOME funds are not sufficient to purchase these properties and develop. For several years, HOME funds have been redirected to RRP program to substantially rehabilitate homes occupied by low income households. In 2020-2021 HOME funds are being shifted into homeless services such as Tenant Base Assistance (or Rapid Rehousing) and may be used to support Permanent Supportive Housing Units as part of the Second Street affordable housing development. The City will continue to pursue funding and opportunities for affordable housing development. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
10	Affordable Housing Development	<ul style="list-style-type: none"> Facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as provision of incentives. Explore and research other funding sources. 	<p>Implementation of this program is ongoing. During the 2013-2021 planning period, the City of Corona completed the following affordable housing projects, partnering with nonprofit developers:</p> <ul style="list-style-type: none"> In 2019-2020, CDBG funds were utilized to assist with the purchase of the Riverside County Transportation Commission (RCTC) surplus property. The future affordable housing site is nearly 5 acres in size and is located at the southwest corner of Second Street and Buena Vista. Roughly 130 units will be constructed. This development is expected to include Permanent Supportive Housing units. Funding for this property will be housing set aside, city fee deferrals (if approved), CDBG funds (used for acquisition), and tax credits. <p>Continued Appropriateness: The Corona Housing Authority will explore and research other funding sources and continue to seek opportunities for affordable housing development. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
11	Density Bonus Program	<ul style="list-style-type: none"> Continue to advertise and inform prospective developers of options for density bonuses and actively educate and promote density bonus increases as adopted. Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. promote the use of density bonus incentives by providing information on city website and offering technical assistance to developers. 	<p>Implementation of this program is ongoing and is always available as established in the municipal code and in project review comments as they relate to multi-family development.</p> <p>Continued Appropriateness: The City will continue to offer density incentives for affordable housing. With diminishing affordable housing funds, use of density bonus by developers may increase in the future. This program is included in the 2021-2029 Housing Element.</p>
16	Homeless and Special Needs Support	<ul style="list-style-type: none"> Continue to provide financial support to social service agencies that provide emergency shelter, transitional housing, and supportive services to the homeless, those at risk of becoming homeless, and persons with disabilities (including developmental disabilities) Allocate funding to service agencies through the city's CDBG annual action planning process Continue to financially support the 211 system operated by Community Connect. This system provides information on social services and housing offered within the county. 	<p>Implementation of this program is ongoing. CDBG funds are allocated annually to assist with the prevention of homelessness and to support special needs persons/families through partnerships with the following local service agencies:</p> <ul style="list-style-type: none"> Inspire Life Skills assisted 8 young adult women aged out of the foster care program to provide shelter and vocational or four-year degrees. Peppermint Ridge assists developmentally disabled adults. In 2020, the new facility served 92 residents. Community Connect assisted over 2,243 people find social services and housing opportunities. United Way assisted 60 adults and 65 children through its domestic violence program and children wellness services. Big Brothers Big Sisters mentored 28 children. Corona Norco YMCA provided 97 children classes in fine arts. Council of Aging visited 34 of facilities and provided supportive services to 16 senior adults through its Ombudsman Program. <p>In the 2020-2021 Action Plan for the CDBG and HOME programs, the City allocated over \$1 million of CDBG funds for the rehabilitation of a homeless emergency shelter that will provide 30+ overnight shelter beds. The shelter facility activity is geared toward improving</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
			community facilities to ensure that the City can proactively address street homelessness as it occurs through an emergency shelter that provides a venue to assess and assist literally homeless individuals. Continued Appropriateness: The City will continue to support public and private organizations working towards ending chronic homelessness either through financial support or participation. This program is included in the 2021-2029 Housing Element.
Goal 4: Removing Governmental Constraints			
12	Zoning Ordinance Monitoring	<ul style="list-style-type: none"> Monitor the city's zoning ordinance to ensure that standards do not excessively constrain affordable residential development 	<p>Implementation of this program is ongoing. The municipal code underwent a substantial amendment related to second units to provide more flexible standards for Accessory Dwelling Units in accordance with State legislation. The public is aware of this provision and multiple inquiries of interest are received in this regard.</p> <p>Continued Appropriateness: The Constraints Analysis (Chapter 3) of this Housing Element did not identify governmental constraints that would require mitigating programs.</p>
13	Development Fees	<ul style="list-style-type: none"> Continue to evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities. 	<p>Implementation of this program is bi-annual. Fee studies are undertaken by the city's Finance Department every two years. The most recent fee study update and adoption took place in 2018.</p> <p>Continued Appropriateness: The City will continue to evaluate the impact of fees on residential and mixed-use developments and adjust as necessary to facilitate development activities. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
14	Expedited Project Review and Hearing Process	<ul style="list-style-type: none"> Continue to provide CDBG funds to a fair housing service provider encourage affirmative marketing on all residential projects and require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements make available bilingual fair housing assistance and materials implement the action items identified in the 2015-19 Analysis of impediments to Fair Housing Choice which was adopted by the City Council on April 15, 2015. 	<p>Implementation of this program is ongoing. The five-year 2015-2019 Analysis of Impediments was adopted by the City Council on April 15, 2015. Fair Housing Services are also funded through CDBG, annually. The Riverside County Council of Fair Housing provides information materials in English and Spanish, over the phone assistance, in person consultations and case management.</p> <p>A new five-year 2020-2024 Consolidated Plan and Analysis of Impediments was adopted on June 17, 2020. The City continues to fund fair housing services and increased funding for said services the past 2 years. City staff also work closely through its Code Enforcement and Housing Division with fair housing and participated in a townhall meeting in 2020.</p> <p>Continued Appropriateness: The City will continue to monitor and improve its project review and approval process. This program is included in the 2021-2029 Housing Element.</p>

Chapter 6: Housing Plan

The Housing Plan identifies the City's housing goals, policies, and implementing programs. The overall strategy is to present a balanced and diverse array of policies that cover four overall areas of concern: construction, rehabilitation, conservation, and administration. The goals and policies of the Housing Element are organized into concise goal and policy directives.

GOALS AND POLICIES

Corona intends to implement goals and policies during the 2021-2029 housing element cycle that address the following five major issue areas:

- » Conserving and improving the existing stock of affordable housing
- » Providing adequate sites to achieve a variety and diversity of housing
- » Assisting in the development of affordable housing
- » Removing governmental constraints as necessary
- » Promoting equal housing opportunity

HOUSING PRODUCTION

State law requires that the goals and policies of the housing element shall encourage and facilitate the production of a range in types of housing affordable to households of varied income levels. The City supports this goal by identifying adequate housing sites (infill sites, vacant sites, and larger sites within Specific Plans) that are appropriately zoned for a variety of housing types (e.g., single-family, multiple family, etc.) while implementing programs that address the City's housing needs. At the same time, housing needs continually change over time due to broader demographic factors.

The sites identified for new housing have been found to be adequate to accommodate the City's regional housing needs allocation (e.g., for very low-, low-, moderate-, and above moderate-income households) as determined by the state Housing and Community Development Department (HCD) for the 2021-2029 planning period. The following goal and policies set forth the City's commitment to facilitate and encourage the production of housing commensurate with community needs.

GOAL H-1

Promote and maintain a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.

Policies

- H-1.1 Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.

- H-1.2 Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.
- H-1.3 Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.
- H-1.4 Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.
- H-1.5 Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density residential development, mixed use residential/commercial development, and transit oriented residential development in appropriate areas of the City.

SPECIAL NEEDS HOUSING

Corona, like many cities in California, have residents with special housing needs. These include seniors, large families with five or more members, people with disabilities, single parent households, unhoused people, and others in need of housing. The City proactively addresses each of these groups by providing a range of special needs and affordable housing suited to the lifestyles and needs of each special need group.

GOAL H-2

Promote and preserve suitable and affordable housing for persons with special needs, including large families, single parent households, persons with disabilities, and seniors and shelter for the unhoused.

Policies

- H-2.1 Encourage the development of rental units with three or more bedrooms to provide affordable housing for large families.
- H-2.2 Work with nonprofit agencies and private sector developers to encourage development of senior housing.
- H-2.3 Encourage the production of assisted living facilities (single-story houses and apartments) for the disabled and the elderly.
- H-2.4 Provide emergency shelter with transitional support for City residents, including disadvantaged groups.
- H-2.5 Encourage the upgrade and conversion of older motels to single-room occupancy housing.

NEIGHBORHOOD QUALITY

The City of Corona's quality of life is contingent on neighborhood quality and the safety, public amenities, and quality of development found in each neighborhood. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with sidewalks and trees, adequate physical infrastructure, and public services. In other cases, some neighborhoods show signs of deterioration and could benefit from improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services.

Given the diversity of residential neighborhoods, the City of Corona supports a multifaceted approach to improving and preserving the quality and livability of residential neighborhoods. The particular strategies employed to achieve this goal depend on the location of the neighborhood, age and tenure of housing, type of housing, and other neighborhood characteristics. These strategies include, but are not limited to, the following: historic preservation, neighborhood traffic management, infrastructure maintenance, safety, code compliance, and housing rehabilitation. The following goal and policies set forth Corona's commitment to neighborhood quality.

GOAL H-3

Maintain high quality residential development standards to ensure the establishment of livable neighborhoods with lasting safety and aesthetic value, and to promote the maintenance and preservation of historic neighborhoods.

Policies

- H-3.1 Recognize the City's inventory of existing historic structures and seek programs to enhance and preserve those neighborhoods.
- H-3.2 Encourage the revitalization of the existing dwelling units in the circle area through rehabilitation programs.
- H-3.3 Provide public services and improvements that enhance and create neighborhood stability.
- H-3.4 Continue to establish and enforce property maintenance regulations that promote the sound maintenance of property and enhance the livability and appearance of residential areas.
- H-3.5 Maintain design review for new residential developments to ensure the construction of livable and aesthetically pleasing neighborhoods.
- H-3.6 Prioritize water and sewer services and upgrades in areas of the city that have been identified as urban infill sites for the planning of affordable housing.

FAIR HOUSING

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

GOAL H-4

Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies

- H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.
- H-4.2 Promote and provide for nondiscrimination in all City programs.

HOUSING PROGRAMS

The goals and policies contained in the Housing Element address the identified housing needs in Corona and are implemented through a series of housing programs. Housing programs define the specific actions the City will take to achieve specific goals and policies. Housing programs include the programs currently in operation in the City as well as new programs. This section provides a description and the qualitative and quantitative objectives for each housing program the 2021-2029 period.

CONSERVING AND IMPROVING EXISTING AFFORDABLE HOUSING

Maintaining Corona's older residential neighborhoods is vital to preserving the overall high quality and character of the community. In addition to maintaining the City's housing stock, Corona must also conserve affordable units. The cost of housing in Corona has become unaffordable or too much of a burden for many residents, particularly those with fixed incomes and lower and moderate-income households. The preservation of affordable housing helps maintain adequate housing opportunities available to all residents.

Program 1: Residential Rehabilitation Program

The Residential Rehabilitation Program provides forgivable loans to address critical home improvement needs such as the remediation of code violations, heating and air conditioning, exterior or interior paint, water heater replacement, roofing, plumbing, electrical, kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 120 households during the 2021-2029 period with an annual average of 15 households. The City will continue to conduct community outreach regarding available loans and grants.

Funding	CDBG/HOME funds, Renegotiation of City Affordable Housing Agreement
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> Assist 103 very low income and 152 low income households during the planning period, with an average of 15 households annually. Continue to provide community outreach regarding available loans and grants for needed home improvements by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A.
Timeframe	By 2022, annually monitor the number of houses enrolled in the housing rehabilitation program. Continue to implement program on an ongoing basis throughout the planning period based on available funding.

Program 2: Housing Choice Voucher Program

The Housing Choice Voucher Program (formerly Section 8) is implemented through the Riverside County Housing Authority. Very low-income renters receive supplemental rental assistance for standard housing in order to prevent them from becoming overly rent burdened. The Housing Choice Voucher Program extends rental subsidies to lower income families and the elderly who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the fair market rent. In 2018, the County issued 333 housing vouchers to Corona households.

Funding	HUD Housing Choice Voucher funding allocation
Responsible Agency	Riverside County Housing Authority
Objectives	<ul style="list-style-type: none"> Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 3: Conservation of Existing and Future Affordable Units

A total of 89 units in Corona are at risk of losing their affordability controls (e.g., become market rate) prior to December 2023. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities.

Funding	CDBG/HOME Administration (monitor at-risk status); other funding sources as available for preservation.
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Annually identify and analyze inventory that may be put at risk of losing affordability controls. ▪ Maintain communication with the local HUD office. ▪ Assist in tenant education. ▪ Identify potential buyers. ▪ Identify potential acquisition funds. ▪ Coordinate with property owners and non-profit developers to identify potential acquisition opportunities by October 2022. ▪ The California Legislature extended the required notification period, requiring property owners give a 12-month notice of their intent to opt out of low-income use restrictions. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the public housing authority, and other affordable housing opportunities in the City. ▪ Assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.
Timeframe	Annual monitoring and ongoing pursue of funding opportunities for long-term preservation.

Program 4: Mobile Home Park Program

The City will continue to implement the Residential Mobile Home Park zoning ordinance (Municipal Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5.

The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance is the State Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Funding	State Grants/Loans (MPRRP)
Responsible Agency	Community Services Department,
Objectives	<ul style="list-style-type: none"> ▪ Continue to regulate the conversion of mobile home parks in Corona as permitted by State law. ▪ As appropriate, provide information to mobile home park tenants regarding potential tenant purchase of parks and assistance available, through programs such as State's Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP).
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 5: Neighborhood Improvements

To foster community pride and increase incentives for private homeowner investment in their homes, the City will continue its Neighborhood Improvement Program. This program consists of public improvements such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program. Public improvements inspire property owners to stay in the neighborhood and invest in their property, thus preserving the housing stock. The City continues to develop methods designed to increase the City's collective sense of community pride.

Funding	CDBG funds
Responsible Agency	Administrative Services Department, Public Works Department
Objectives	<ul style="list-style-type: none"> ▪ Continued implementation of neighborhood public improvements, property maintenance ordinance, design review, and historical preservation ordinance.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 6: Sustainable Building

The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> Continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROVIDE ADEQUATE HOUSING SITES

A key element in satisfying the housing needs of all segments of the community is the provision of adequate sites for housing of all types, sizes, and prices. This is an important function in both zoning and General Plan designations. The City of Corona's regional housing needs allocation (RHNA) for the 2021-2029 period is 6,088 units.

Program 7: Site Availability and Rezone Program

Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B).

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. ▪ Amend Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024. ▪ Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website. ▪ Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses. ▪ Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites. ▪ Monitor the consumption of residential acreage to ensure an adequate inventory is available. ▪ Create opportunity for at least 3,132 units for lower income households. ▪ By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements. ▪ Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive. ▪ Amend land use designation MU-1 with AHO to allow for 100 percent residential use or combination of residential and commercial uses by October 2024. ▪ Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households. <ul style="list-style-type: none"> ▫ Permit at least 16 units per site; ▫ Require a minimum density of 20 units per acre; and ▫ At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites: <ul style="list-style-type: none"> – Allow 100 percent residential use; and – Require that all residential use occupy 50 percent of the total floor area of a mixed use project.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 8: Residential Sites Monitoring Program

In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss,” was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City’s available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target.

Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure “no net loss” in capacity to accommodate the RHNA.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Maintain an updated inventory of residential housing developments that have been submitted, approved, and denied. ▪ The City will actively promote, through outreach and discussions, sites available for lower- and moderate-income housing development to potential developers, private and non-profit organizations, and other interested persons and organizations. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to allow, by right, a mix of dwelling types and sizes, specifically missing middle housing types (e.g., duplexes, triplexes, fourplexes, courtyard buildings). ▪ Starting 2022, annually monitor the City’s remaining housing capacity to ensure compliance with SB 166.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 9: Sites Used In Previous Planning Periods Housing Elements

In 2017, AB 879 and AB 1397 were passed requiring additional analysis and justification of the sites included in the sites inventory of the City’s Housing Element. The Housing Element may only count non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements if the sites are subject to a program that allows affordable housing by right. Some sites within this Housing Element were used in previous cycles and this program is included to address the by-right approval requirement. Per AB 1397, the use by right of these sites during the planning period is restricted to developments in which at least 20 percent of the units in the development are affordable to lower income households, provided that these sites have sufficient water, sewer, and other dry utilities available and accessible or that they are included in an existing general plan program or other mandatory program or plan to secure sufficient water, sewer, dry utilities supply to support housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ The City shall rezone or amend its Zoning Code by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 10: Lot Consolidation and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers.▪ Offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include reduced development fees, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance.▪ Waive fees for lot consolidation for 100 percent affordable housing.
Timeframe	As projects are processed through the Planning and Development Department throughout the planning period. Incentives will be adopted as part of Title 17 within three years of adoption of the Housing Element.

Program 11: Multi-Family Acquisition and Rehabilitation

Acquisition and rehabilitation of existing multi-family housing stock are more cost-effective than constructing new affordable units and provide the additional benefit of maintaining the City's multi-family housing stock. An important component of Corona's housing strategy is the identification of existing multi-family units for acquisition and rehabilitating as affordable housing. The City has several older apartment complexes, many in substandard conditions, that have potential for acquisition and rehabilitation. To the extent feasible, the City will encourage a portion of acquired affordable units to be made available to persons with disabilities (including developmental disabilities) and extremely low-income households.

In the previous housing cycle, the City used NSP and HOME funds for the acquisition of a 12-unit dilapidated complex for very low-income families. Additionally, the City used NSP funds to purchase a remnant structure with 19 units. This was part of a partial-take affected by the State Route 91 expansion project. These 19 units were integrated into the Citrus Circle Affordable Housing project which also constructed 42 new units. The entire project created 61 affordable units.

Funding	NSP and HOME funds
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. ▪ Pursue available funds for multi-family acquisition and rehabilitation.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

ASSIST IN THE DEVELOPMENT OF AFFORDABLE HOUSING

The high cost of new construction can prohibit the development of affordable housing units. Incentive programs for housing developers, such as a density bonus, offer a cost-effective means of promoting affordable housing development. Public sector support for new construction includes the following programs for lower and moderate-income housing development.

Program 12: Affordable Housing Development

The City is committed to maintaining and monitoring housing conditions amongst vulnerable, very low-income low-income, and special needs populations. Lower-income communities along with the elderly and persons with special needs are disproportionately burdened with poorer housing conditions. Corona will continue to seek new funding opportunities and partnerships to improve housing conditions. The City will identify and partner with advocacy groups such as Habitat for Humanity to expand existing resources and help further improve housing conditions for special needs and low-income communities, and identify the need for rehabilitation assistance as the housing stock ages.

The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources.

The following are recent affordable housing activities in the City:

- » Corona Housing Authority acquired approximately 5 acres at Second Street and Buena Vista Street to support the construction of approximately 130 apartments for low income and permanent supportive housing. The project is expected to be constructed within this planning period. The Housing Authority will be providing financial assistance and the land for the project.

The City provided financial assistance to these projects for site acquisition, construction, rehabilitation, and/or relocation of existing tenants.

Funding	HOME funds, CHA funds, other sources as available
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives. ▪ Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 134 lower income units within the planning period. ▪ Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years. ▪ Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing. ▪ Annually seek additional funding sources and identify new partnerships to greater expand resources in the City. ▪ By October 2024, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. ▪ Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates. ▪ Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households. ▪ Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households into the General Plan. .
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 13: Density Bonus Program

Consistent with State law (Government Code sections 65915 through 65918), the City continues to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements.

In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Update the Corona Zoning Ordinance by October 2023 to integrate future changes in State Density Bonus Law. ▪ Continue to advertise and inform prospective developers of options for density bonuses, and actively educate and promote density bonus increases as adopted. ▪ Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. ▪ Promote the use of density bonus incentives by providing information on City website and offering technical assistance to developers.
Timeframe	This program should be monitored annually to identify any new density bonus legislation and amend the Zoning Ordinance and should be implemented on an ongoing basis through the remainder of the planning period.

REMOVE GOVERNMENTAL CONSTRAINTS

To facilitate housing development, the Housing Element must address and, where appropriate and legally possible, remove governmental constraints affecting the maintenance, improvement, and development of housing. The following programs are designed to lessen governmental constraints on housing development.

Program 14: Zoning Ordinance Monitoring

The Corona Zoning Ordinance (Title 17 of the Corona Municipal Code) is continuously updated to address changes among a range of issues and State/Federal laws. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop. ▪ Amend Title 17 of the Municipal Code by October 2023 to comply with the Employee Housing Act. ▪ Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP. ▪ Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities. ▪ Amend the Zoning Ordinance including specific plans by October 2024 to allow up to three stories by-right in multifamily residential zones that accommodate affordable housing units.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 15: Flexibility in Development Standards

The City, in its review of development applications, may recommend waiving or modifying certain development standards, or propose changes to the Municipal Code to encourage the development of low- and moderate-income housing. The City offers offsets to assist in the development of affordable housing citywide. Offsets include concessions or assistance including, but not limited to, direct financial assistance, density increases, standards modifications, or any other financial, land use, or regulatory concession that would result in an identifiable cost reduction.

Funding	Department Budget
Responsible Agency	Community Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. ▪ By 2024, the City will adopt standards for affordable and/or high-density housing development that allow greater flexibility in development standards, such as reduced setbacks, and/or reduction of required common open space.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 16: Development Impact Fees

Various fees and assessments are charged by the City to cover the costs of processing permits and providing services and facilities. While almost all these fees are assessed on a pro rata share system, they often contribute to the cost of housing and constrain the development of lower priced units. As a result, the City will evaluate the impact of the fee increase on residential and mixed-use developments as a potential constraint on housing development and adjust as necessary to encourage and facilitate residential development. In addition, the City will work with the development community to solicit their input on the impact and viability of existing fees. The City currently updates their Fee Schedule for development impact fees every ten to twenty years by the City's Finance Department.

Funding	Department Budget
Responsible Agency	City Council by Policy
Objectives	<ul style="list-style-type: none">▪ At least once annually, evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities.▪ Consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing for low-income households.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 17: Expedited Project Review and Hearing Process

The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ As needed, the City will prioritize processing for affordable housing projects; and▪ Annually assess the efficiency of the City's permit streamlining process and continue to implement best practices with efficient project review procedures.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROMOTE EQUAL HOUSING OPPORTUNITY

To make adequate provision for the housing needs of all economic segments of the community, the housing plan must include actions that promote housing opportunities for all persons regardless of race, religion, sex, family size, marital status, ancestry, national origin, color, age, or physical disability.

Program 18: Affirmatively Furthering Fair Housing (AFFH)

To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data.

The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services Department
Objectives	<ul style="list-style-type: none">▪ Continue to effectively address the requirements of AB 686 by increasing outreach and education through the fair housing service providers, publicize fair housing litigation to encourage reporting, and conduct random testing on a regular basis to identify issues, trends, and problem properties.▪ Work with local agencies such as the Fair Housing Council of Riverside County to help identify and reduce barriers to housing on both a regional and local scale.▪ Establish a method of measuring the progress of fair housing practices, which can include the index of dissimilarity, the Regional Opportunity Index, and percentage of residents experiencing extreme housing cost burdens. Report the findings of these metrics as part of the city's Housing Element Annual Progress Report.▪ Expand understanding of the current state of fair housing practices and potential areas of discrimination by conducting an in-depth study of fair housing issues around the city.▪ The city shall continue to facilitate opportunities for all residents and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout plan development and the public review process. Outreach efforts to disadvantaged communities will be a priority.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 19: Fair Housing Services

With assistance from the city's fair housing provider, the city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686 (2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Funding	CDBG, Section 8 Rental Assistance, Housing Trust Fund
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide CDBG funds to a fair housing service provider. ▪ Encourage affirmative marketing on all residential projects and will require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements. ▪ Implement the action items identified in the Analysis of Impediments to Fair Housing Choice, which was adopted by the City Council on March 16, 2011. ▪ Allocate annual funding for fair housing services through the Action Plan process for the use of CDBG funds. ▪ Participate in regional efforts to mitigate impediments to fair housing choice. ▪ Distribute educational materials to property owners, apartment managers, and tenants relative to fair housing requirements, regulations, and services. ▪ Make public announcements, via different media (e.g., social media, newspaper ads, and public service announcements at local radio and television channels) related to fair housing programs and opportunities. ▪ Conduct workshops and training with different community-based organizations. ▪ Conduct fair housing workshops and training in Spanish. ▪ Hold diversity awareness events and programs at a variety of locations throughout the city. ▪ Outreach targeted and related to home financing opportunities; ▪ Monitor and respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution). ▪ Referring services to appropriate agencies; ▪ Conduct fair housing testing at random sites to measure compliance and remove any such impediments through fair housing law enforcement. ▪ Continue working collaboratively with the Fair Housing Council of Riverside County to promote fair housing, education, and advocacy. ▪ Take affirmative actions to further fair housing choice in the city, and implement the solutions developed in the Regional Analysis of Impediments to Fair Housing Choice to mitigate and / or remove fair housing impediments. ▪ Target housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in all parts of the community.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 20: Segregation in Housing Implementation

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Funding	Departmental Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 21 Housing for Persons Experiencing Homelessness

On June 17, 2020, Corona's City Council adopted the Strategic Plan to Address Homelessness, designed to address homelessness through various programs. The City's Homeless Prevention Programs was created as a result of the City's Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The Strategic Plan identified eight goals to help prevent homelessness, improve quality of life, and reduce homelessness:

- » Develop a Systems-Oriented Approach to Address Homelessness;
- » Develop a Low-Barrier Emergency Shelter/Navigation Center System;
- » Develop Permanent Supportive and Affordable Housing Solutions;
- » Expand Outreach and Engagement;
- » Develop and Participate in Sub-Regional Collaboratives with Neighboring Cities;
- » Develop Partnerships with the County and Continuum of Care to Support Plan Initiatives;
- » Develop a Homeless Prevention Initiative
- » Develop an Advocacy Campaign to Support Plan Initiatives, and;
- » Expand Data Tracking Systems and Dashboard to Measure System Performance

Funding	CDBG, HOME, SB2
Responsible Agency	Community Services Department, Community Development
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Coordinate with agencies such as the Housing and Homeless Coalition of Riverside County along with SCAG for the purposes of coordinating efforts, reducing the unsheltered population, increasing emergency and permanent housing, and leveraging resources to address homelessness. ▪ Continue to provide funding for local and sub-regional homeless service providers that operate temporary and emergency shelters. ▪ Assist (when possible) local non-profits and charitable organizations in securing state and federal funding for the acquisition, construction, and management of shelters. ▪ Review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to state law and amend the zoning ordinance (Refer to Program 15) and other documents as part of the General Plan and Zoning Code. ▪ Consider establishing a maximum length of stay for emergency shelters to have a limit of no more than 180 consecutive days within a one-year period instead of a total of 180 days in a one-year period. ▪ Continue to financially support the 211 system operated by the Volunteer Center of Riverside County. This system provides information on all social services offered in Riverside County. ▪ Commit to updating the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 22: Housing for Special Needs Populations

The Corona Zoning Ordinance is continuously updated to address a wide range of issues and State and federal law with respect to accommodating and addressing housing for special needs. In 2018, Assembly Bill 2162 (AB 2162) was passed which requires that supportive housing be a use by-right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multifamily uses. The City's Zoning Ordinance currently reflects this piece of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this piece of AB 2162 and will amend Title 17 of the Corona Municipal Code to reflect this portion of the legislation.

The City is committed to expanding supportive housing opportunities for vulnerable communities that rely on such services. The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Amend Title 17 of the Corona Municipal Code to incorporate all changes to State legislation pertaining to special needs populations as part of the General Plan and Zoning Code update project, by October 2023. ▪ Facilitate the development of housing for persons with disabilities and other special needs through the development of incentives for affordable housing development by October 2023. ▪ Nurture ongoing partnerships that help educate and execute the development of supportive and transitional housing.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 23: Safe and Healthy Communities

Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Annually monitor policies, standards, and regulations regarding environmental justice in the City. ▪ Nurture ongoing partnerships that help educate and execute the development of safe and health housing communities for all groups of people.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 24: Alternative Housing Program

Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to annually monitor underutilized properties and sites that have a potential for alternative housing options and offer the information to interested developers on an on-going basis. ▪ Rezone underutilized commercial, office, and or industrial space, as appropriate, to facilitate use for alternative housing types. This will be done with the RHNA updates on or before October 2024 and then annually as opportunities arise. ▪ By October 2024, develop, as part of a zoning ordinance update, measures that encourage affordability by design (e.g., smaller, more efficient and flexibly-design living spaces). ▪ Where appropriate, utilize the city's regulatory powers (e.g., land use and fees) to remove the requirement of a CUP for the development of care facilities that provide 24-hour care to seven or more disabled persons. ▪ Encourage the development of alternative housing including care facilities for 7+ individuals in residential zones. ▪ Actively encourage, through annual outreach and discussions with developers, innovative housing structures, such as micro-unit housing and new shared and intergenerational housing models to help meet the housing needs of aging adults, students, and lower-income individuals citywide. This will be accomplished on an on-going basis. ▪ Develop and promote assistance with financing or funding applications.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 25: Community Outreach Program

Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City's housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities. Strategies to expand accessibility and help further educate community groups include:

- » Sharing and distributing public announcements/information through a variety of mediums such as flyers, E-blasts, website updates, new media, and social media;
- » Actively engaging existing stakeholders and seeking additional stakeholders from all sectors of the community to participate in the public participation process;
- » Increasing accessibility to public meetings by conducting public meetings around typical work hours, accommodating persons with disabilities, choosing locations near transit centers, and providing resources such as childcare, language translation services, and food and refreshments where possible;
- » Continuing to educate all community groups about the services available for rental, homeownership, and rehabilitation/maintenance services.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services
Objectives	<ul style="list-style-type: none"> ▪ Increase accessibility to public meetings for all sectors of the community including minority groups and persons with disabilities by ensuring public meetings are in accessible locations to all persons. ▪ Ensure public meetings and other planning processes are delivered in ways that all groups of the community can understand such as delivering meeting content in multiple languages. ▪ Make public announcements and information accessible and visible using a variety of communication methods.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 26: Community Placemaking Pilot Program

The City of Corona actively seeks to identify new opportunities to connect neighborhoods despite differences in income levels and demographics. The Community Placemaking Pilot Program will implement small-scale placemaking projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds. Placemaking strategies include but are not limited to:

- » Increase signage and wayfinding between neighborhoods;
- » Implement "popup parks"/sidewalk cafes in community neighborhoods;
- » Create a community murals programs to help beautify community neighborhoods and connect local artists of all backgrounds;
- » Increase seating, such as picnic tables with chess/checker boards;
- » Create a designated city community garden for all members of the community to visit and volunteer;
- » Coordinate neighborhood walks/races, and;
- » Increase overall community outreach (partnering with Program 25) to help spread the word on new community attractions in various neighborhoods and educate community groups on new community activities

Funding	Department Budget
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Connect diverse neighborhoods through small, inclusive, and accessible placemaking projects and activities. ▪ Expand public outreach to target all neighborhoods and educate people from all types of community groups on new and upcoming neighborhood projects and activities.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 27: Replacement Housing Program

Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Pursue amendment to the Zoning Code by October 2022 to address replacement requirement.
Timeframe	This program will be implemented within one-year of Housing Element adoption.

Program 28: Lot Configuration and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Funding	City Development Services Fund
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Facilitate the development of affordable housing.▪ Adopt incentives by 2024 for development of high-density residential sites.
Timeframe	As projects are processed through the Planning and Development Department throughout the planning period and incentives will be adopted as part of Title 23 within three years of adoption of the Housing Element.

SUMMARY OF QUANTIFIED OBJECTIVES

The City has proposed its objectives for the Housing Element period based on financial resources, past experience, and staff capacity. The following table summarizes the City's quantified objectives for the 2021-2029 period by income group.

Table 48: Quantified Housing Objectives (2021-2029)

	New Construction	Rehabilitation	Conservation/Preservation
Extremely Low Income	36	-	-
Very Low Income	11	103	12
Low Income	87	152	36
Moderate Income	64	-	-
Anticipated Outcomes from Programs ¹	-	-	439
Total	198	255	487
¹ Conservation objectives were increased by incorporating anticipated outcomes from the following programs: 2 (Housing Choice Voucher Program), 3 (Conservation of Existing and Future Affordable Units), and 26 (Preservation of At-Risk Housing). Program 2 would accommodate 350 households in the very-low income category and Program 3 would conserve a total of 89 affordable units.			

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Appendix A

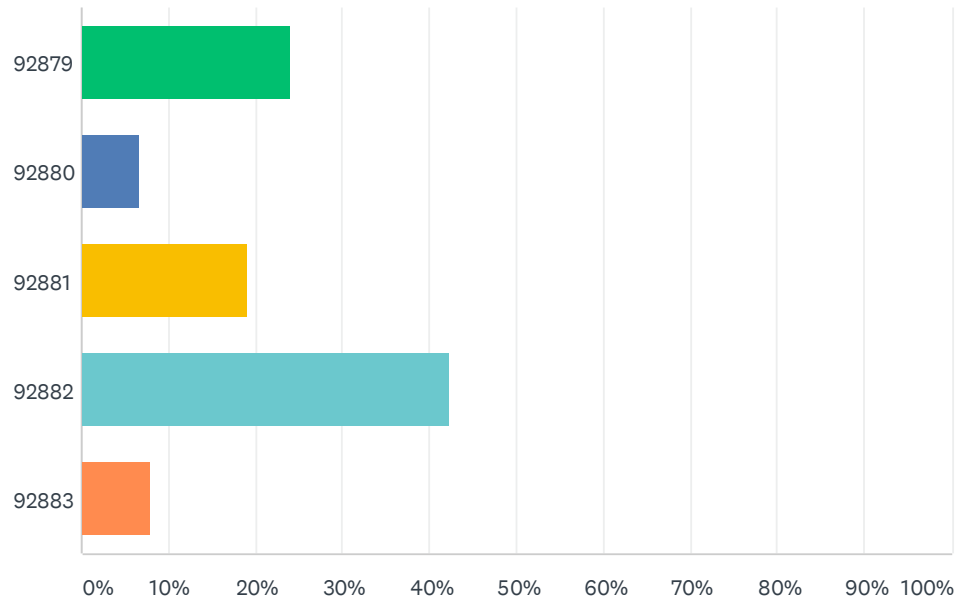
PUBLIC OUTREACH

Appendix A-1
Housing Element Online Public Survey Results

City of Corona - Housing Element Update

Q1 If you are a resident of the City of Corona please select the zip code for your place of residence. If you are not a resident in the City move on to Question 2.

Answered: 253 Skipped: 7



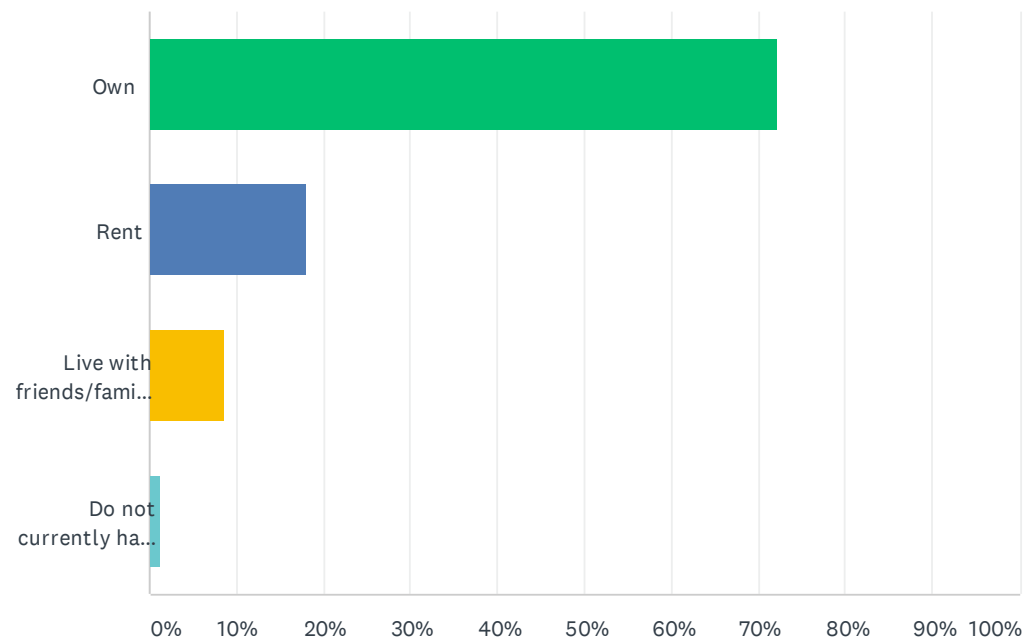
ANSWER CHOICES	RESPONSES	
92879	24.11%	61
92880	6.72%	17
92881	18.97%	48
92882	42.29%	107
92883	7.91%	20
TOTAL		253

Q2 Do you represent a special interest group (example: service provider associated with domestic violence, seniors, persons with disabilities, veterans, etc.; community group, housing developer, other?) If so, please provide Name of Organization. Once answered, please move on to Question 9.

Answered: 50 Skipped: 210

Q3 Which best describes your current housing situation?

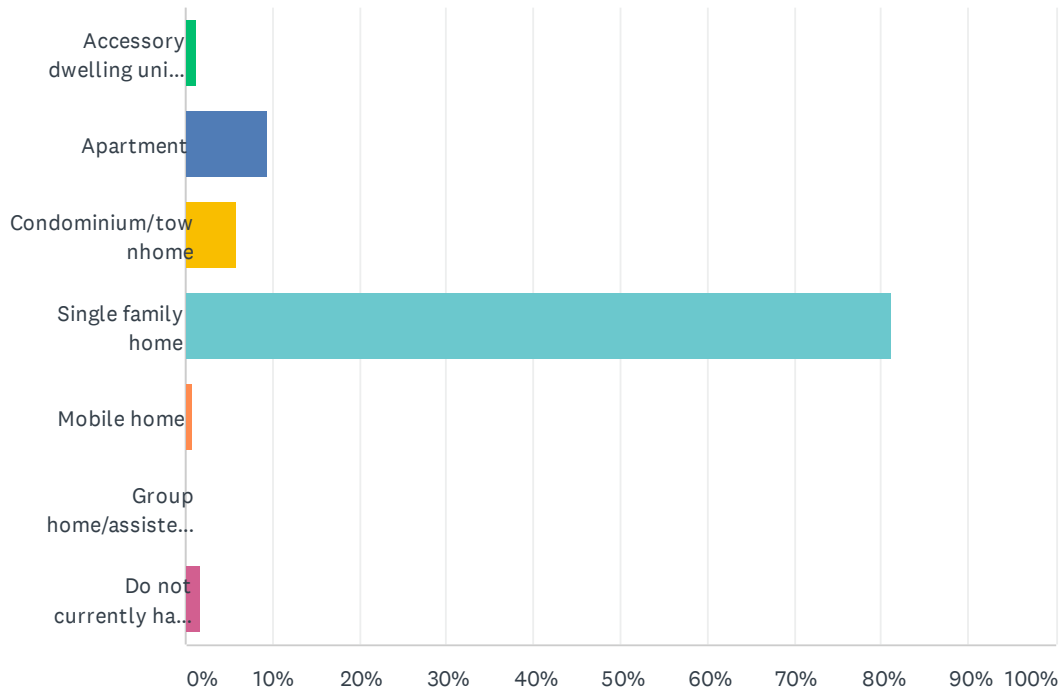
Answered: 255 Skipped: 5



ANSWER CHOICES		RESPONSES	
Own		72.16%	184
Rent		18.04%	46
Live with friends/family, do not own or pay rent		8.63%	22
Do not currently have a permanent home		1.18%	3
TOTAL			255

Q4 Which best describes your current living situation?

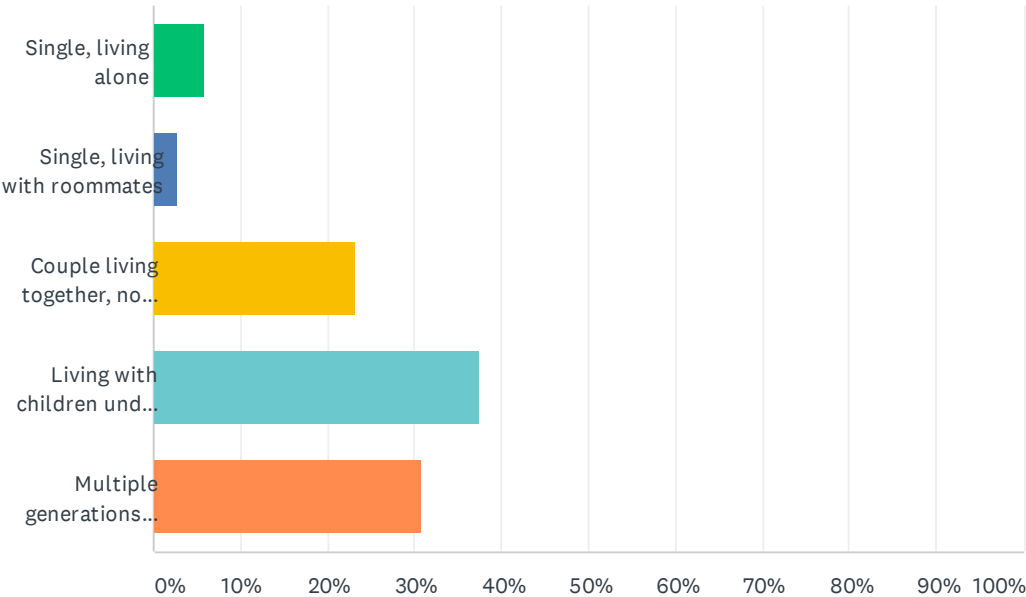
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Accessory dwelling unit (granny flat/guest house)	1.18%	3
Apartment	9.45%	24
Condominium/townhome	5.91%	15
Single family home	81.10%	206
Mobile home	0.79%	2
Group home/assisted living	0.00%	0
Do not currently have a permanent home	1.57%	4
TOTAL		254

Q5 Which best describes your household composition?

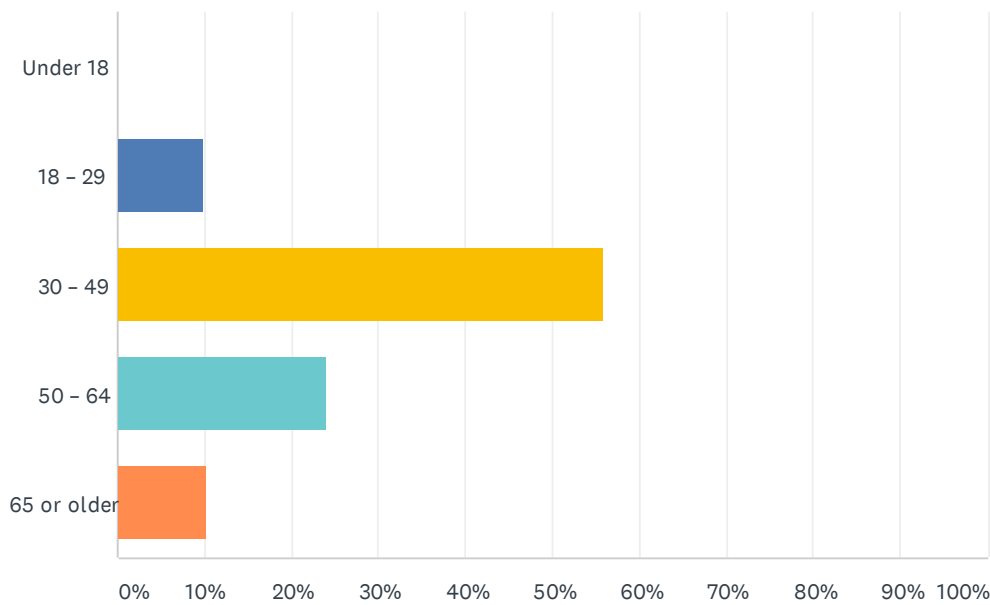
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Single, living alone	5.91%	15
Single, living with roommates	2.76%	7
Couple living together, no children	23.23%	59
Living with children under 18 at home	37.40%	95
Multiple generations living together (adult children, parents, grandparents, etc.)	30.71%	78
TOTAL		254

Q6 What is your age group?

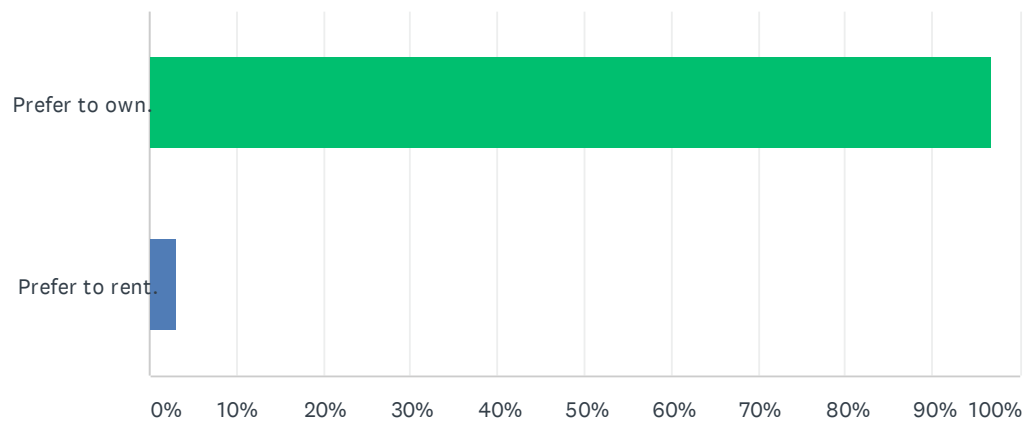
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Under 18	0.00%	0
18 – 29	9.84%	25
30 – 49	55.91%	142
50 – 64	24.02%	61
65 or older	10.24%	26
TOTAL		254

Q7 What is your preference when it comes to housing?

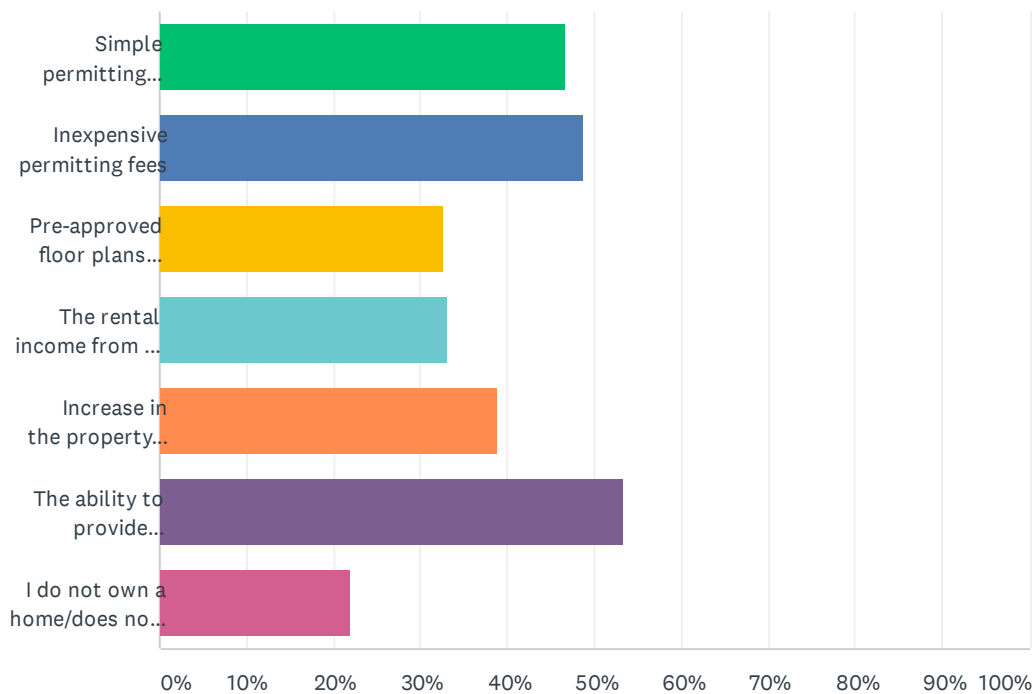
Answered: 253 Skipped: 7



ANSWER CHOICES		RESPONSES	
Prefer to own.		96.84%	245
Prefer to rent.		3.16%	8
TOTAL			253

Q8 Recently adopted state legislation mandates that accessory dwelling units, commonly known as an ADU, be allowed on residential properties that are zoned single family. If you own a home, what would make you consider adding an accessory dwelling unit (ADU) to your house or property? (Select all that apply)

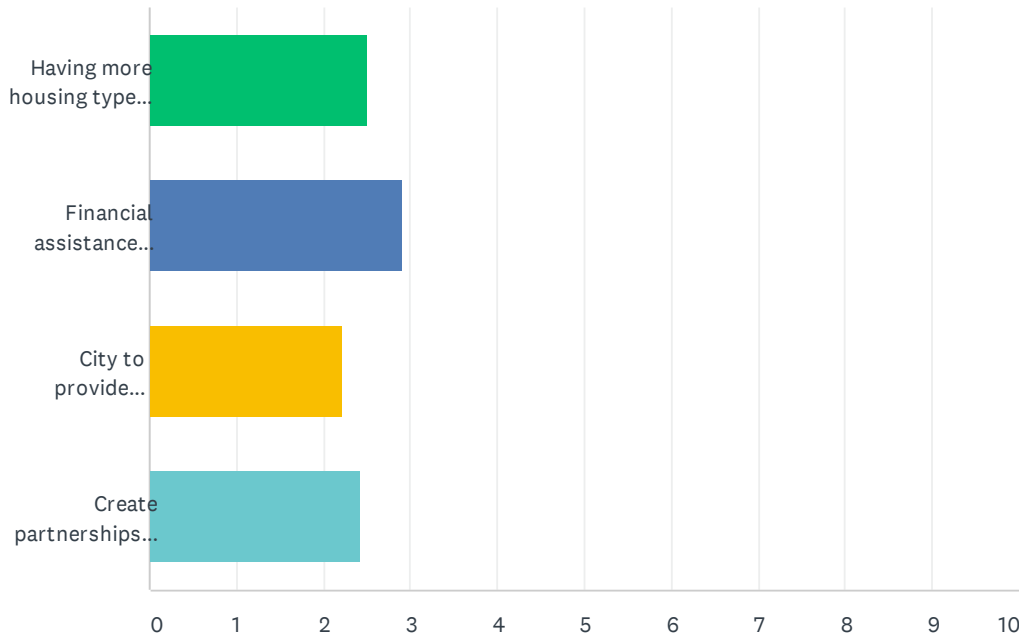
Answered: 236 Skipped: 24



ANSWER CHOICES	RESPONSES	
Simple permitting process	46.61%	110
Inexpensive permitting fees	48.73%	115
Pre-approved floor plans provided by the City for a detached ADU.	32.63%	77
The rental income from an ADU	33.05%	78
Increase in the property resell value	38.98%	92
The ability to provide separate living quarters for someone in my family.	53.39%	126
I do not own a home/does not apply to me	22.03%	52
Total Respondents: 236		

Q9 Using a numeric rating from 1 through 4, with 1 being the most effective and 4 being the least effective, please rank the approaches that you think would provide the best options for housing?

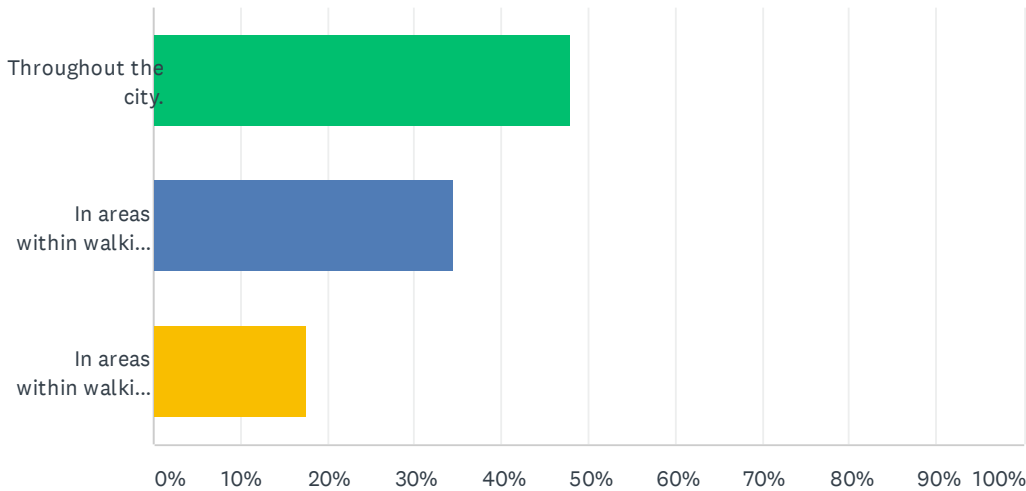
Answered: 257 Skipped: 3



	1	2	3	4	TOTAL	SCORE
Having more housing types available (single family, condominium community, apartment community).	30.17% 73	18.18% 44	25.62% 62	26.03% 63	242	2.52
Financial assistance programs such as rental assistance and down payment assistance programs.	34.69% 85	32.65% 80	20.82% 51	11.84% 29	245	2.90
City to provide incentives for developers to include affordable housing units/workforce housing units within a high-density market-rate rental development.	15.06% 36	24.69% 59	26.36% 63	33.89% 81	239	2.21
Create partnerships with organizations that help people experiencing homelessness find permanent housing.	23.48% 58	23.89% 59	25.10% 62	27.53% 68	247	2.43

Q10 Do you think new housing should be located:

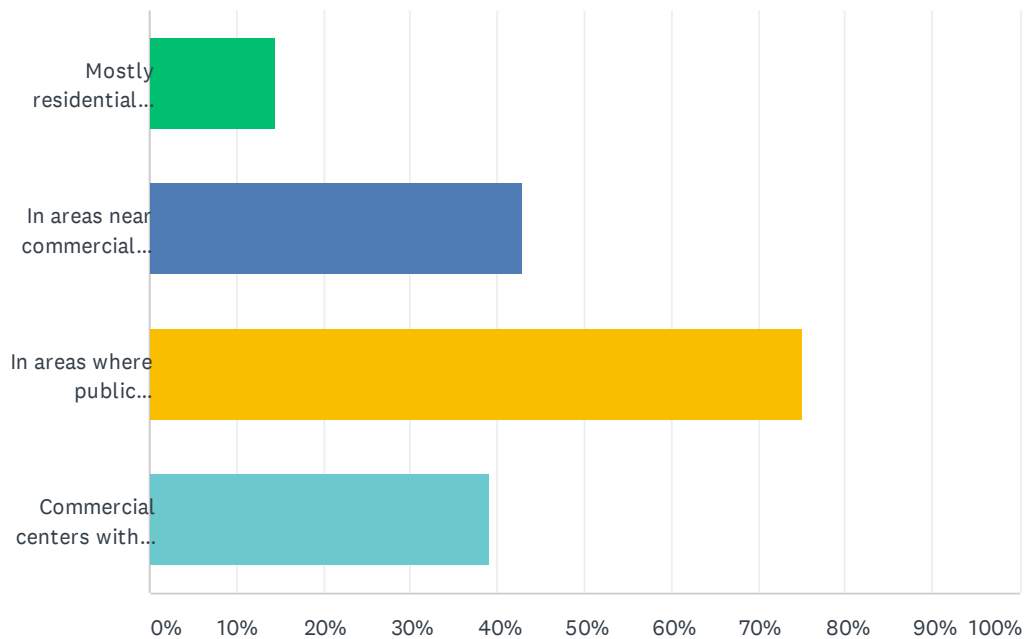
Answered: 246 Skipped: 14



ANSWER CHOICES	RESPONSES	
Throughout the city.	47.97%	118
In areas within walking distance to public transportation (example: Sixth Street, Main Street).	34.55%	85
In areas within walking distance to commercial services.	17.48%	43
TOTAL		246

Q11 Which areas of the City do you think would be better suited for high-density residential involving apartments and/or condominiums? (Select all that apply)

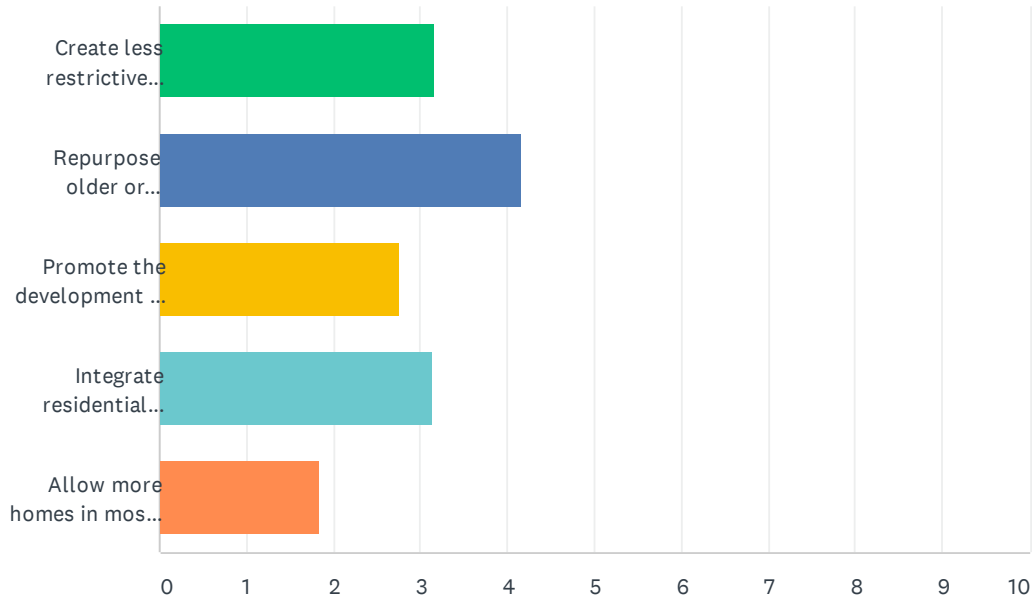
Answered: 250 Skipped: 10



ANSWER CHOICES	RESPONSES	
Mostly residential areas.	14.40%	36
In areas near commercial centers.	42.80%	107
In areas where public transportation is within walking distance.	75.20%	188
Commercial centers with housing integrated (mixed-use).	39.20%	98
Total Respondents: 250		

Q12 The State of California mandates that the City's General Plan Housing Element be periodically updated in order to provide housing opportunities for every income sector of the population. In your opinion, please rank the most effective way the City could provide additional options for housing. One (1) being the most effective and 5 being the least effective.

Answered: 252 Skipped: 8



	1	2	3	4	5	TOTAL	SCORE
Create less restrictive development standards for residential housing that would be developed near commercial centers (example: reduced setbacks, reduce (not eliminate) the amount of space devoted to on-site open space, etc.).	18.91% 45	23.53% 56	24.37% 58	20.17% 48	13.03% 31	238	3.15
Repurpose older or underutilized commercial centers with housing, including an opportunity for residential and commercial mixed use and live/work units.	50.83% 123	24.79% 60	17.77% 43	4.13% 10	2.48% 6	242	4.17
Promote the development of Accessory Dwelling Units (ADU) in existing residential neighborhoods.	10.59% 25	17.80% 42	27.12% 64	27.12% 64	17.37% 41	236	2.77
Integrate residential within the commercial sectors of Downtown, including residential and commercial mixed use and live/work units.	14.69% 36	28.16% 69	21.63% 53	26.12% 64	9.39% 23	245	3.13
Allow more homes in mostly residential areas.	7.00% 17	6.58% 16	7.82% 19	21.40% 52	57.20% 139	243	1.85

Q13 Is there any other feedback you'd like to share with the City of Corona as we update our General Plan Housing Element?

Answered: 106 Skipped: 154

CITY OF CORONA HOUSING ELEMENT UPDATE

Appendix A-2
Stakeholder Workshop Flyer



JOIN US FOR A VIRTUAL STAKEHOLDER WORKSHOP



The City of Corona invites you to participate in an interactive discussion regarding the City's housing needs and programs for the City's 2021-2029 Housing Element update. Please join us to learn more about the update process, strategize potential housing locations, and discuss needs and opportunities for meeting the City's housing goals (including affordable and special needs housing).

WHAT IS THE HOUSING ELEMENT?

The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community.

HOW TO REGISTER

Please join us by desktop, tablet, and phone at one or both of the following Zoom meetings (the same information will be provided at each). Meetings will be interactive and conducted online.



TAKE THE SURVEY!



You can also provide input via our survey by March 1, 2021: www.surveymonkey.com/r/2GQMSPR



Tuesday, Feb. 16 at 4 p.m.

<https://us02web.zoom.us/j/85293875221>



Wednesday, Feb. 18 at 11 a.m.

<https://us02web.zoom.us/j/84017205448>

FOR MORE INFORMATION:



Contact Joanne Coletta, Community Development Director
at Joanne.Coletta@CoronaCA.gov or (951) 736-2434.

www.CoronaCA.gov/GPUUpdate

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.

Appendix A-3 Stakeholder Workshop Invitee List

Stakeholder Consultation Matrix

Agency	Type	EMAIL	First	Last	Title	Address	City	Zip Code	Telephone
211 Community Connect	Continuum of Care	mdavis@connectriverside.org	Marie	Davis	CEO/President	2060 University Ave Ste 212	Riverside	92507	(951) 329-4706
AARP California	Services-Elderly	CAAARP@aarp.org	Nancy	McPherson	AARP California State Director				
AARP California	Services-Elderly	FBuzo@aarp.org	Fred	Buzo	Associate State Director				
Alternatives to Domestic Violence Riverside	Services-Victims of Domestic Violence	info@alternativestodv.org							
Avant-Garde Foter Family Agency	Foster Care Agency/Facility	grege@avgffa.org	Greg	Estravit	Executive Director	1655 E. Sixth Street	Corona	92879	(951) 735-5300
Building Industry Association - Riverside Chapter	Business Leader	eo@riversidebia.org	Lou	Monville	President				
C & C Development	Assisted Housing	todd@c-cdev.com	Todd	Cottle	Developer	414 E. Chapman Avenue	Orange	92866	(714) 288-7600
CA Emerging Technology Fund (CETF)	Broadband Advocates	info@cetfund.org	Raquel	Cinat	Associate VP	714 West Olympic Blvd., Ste 924	Los Angeles	90015	(310) 406-6221
California State Assembly (District Office 60)	Government - State	Brad.West@asm.ca.gov	Sabrina	Cervantes	State Representative - District 39	391 N Main Street, Suite 210	Corona	92878	(951) 371-6860
California State Senate (District Office 31)	Government - State	elizabeth.balistreri@sen.ca.gov	Richard	Roth	State Senator-District 31	3737 Main Street Suite 104	Riverside	92501	(951) 680-6750
California State University San Bernardino	Public Funded Institution	dianet@csusb.edu	Diane	Trujillo	Director-Sponsored				
Calvary Chapel Corona	Religious				Programs Administration	5500 University Parkway	San Bernardino	92407	(909) 537-3664
Casa de la Villa	Assisted Housing	casadelavilla@villageinvestments.net							
City Net Homeless Services	Services-Homeless	OUTREACH@CITYNET.ORG							
City of Lake Elsinore	Government - Local	gtaylor@lake-elsinore.org							
City of Norco - Planning	Government - Local	arobles@ci.norco.ca.us							
City of Riverside	Government - Local	mtaylor@riversideca.gov							
Community Connect Riverside County	Continuum of Care	info@connectriverside.org							
Congregation Beth Shalom Corona	Religious	info@cbsofcorona.org							
Connections Church	Religious	office@connectcorona.com							
Corona Chamber of Commerce	Business Leader	bobby@mychamber.org	Bobby	Spiegel	CEO/President	904 East 6th Street	Corona	92879	(951) 737-3350
Corona De Oro & Corona Del Rey		bvasquez@nationalcore.org							
Corona Department of Water and Power	Assisted Housing	aanaya@nationalcore.org							
Corona Friends Church	Water District/Agency	Katie.Hockett@CoronaCa.gov	Kaite	Hockett	Assistant General Manager	400 S Vicentia Avenue	Corona	92882	(951) 279-3601
Corona Homeless Coordinator	Religious	info@coronafriendschurch.org							
Corona Life Services	Services-Homeless	Karen.Roper@CoronaCA.gov							
Corona Norco - YMCA	Services-Health	bbrown@coronalife.org	Buzz	Brown	Executive Director	523 N Main Street	Corona	92880	(951) 272-6138
Corona Norco Interfaith Assoc	Services-Children	gomez@ymcacornor.org	Lorena	Gomez	Associate Exec. Dir.	1331 River Road	Corona	92880	(951) 736-1415
Corona Norco Rescue Mission	Religious	cninterfaithassoc@gmail.com							
Corona Norco Unified School District	Services-Homeless	rod.williams@rescuemission.org	Rod	Williams	Manager	420 Harrison Street	Corona	92882	(951) 493-2091
Corona Norco- United Way	Services-Education	sbuenostro@cnsud.k12.ca.us	Sam	Buenostro	Superintendent	2820 Clark Avenue	Norco	92860	(951) 736-5015
Corona Police Department	Services-Victims of Domestic Violence	alia.rodriguez@cnnitedway.org	Ali	Rodriguez	Executive Director	815 W. Sixth Street Suite 200-205	Corona	92882	(951) 736-0620
Corona Regional Medical Center	Government - Local	Police.Admin@coronaca.gov							
Corona Regional Medical Center	Health Agency	linda.pearson@uhsinc.com	Linda	Pearson	Director of Marketing	800 South Main Street	Corona	92882	(951) 737-4343
Behavioral Health Services									
Corona Seventh Day Adventist Church	Mental Health Agency/Facility	isabel.torres@uhfinc.com	Isabel	Torres	Program Assistant	730 Magnolia Avenue	Corona	92879	(951) 736-7208
Corona United Methodist Church	Religious	taber.gary@sbcglobal.net							
Council on Aging	Religious	coronaumc@gmail.com							
County of Riverside Department of Public Social Services - Administrative Department CPA	Services-Elderly	landerson@coasc.org	Libby	Anderson	Director Ombudsman	2 Executive Circle, Suite 175	Irvine	92614	(714) 479-0107
County of Riverside Transportation and Land Management Agency					Deputy Director				
County of Riverside Veterans' Services	Child Welfare Agency	chdouglar@rivco.org	Charity	Douglas	in Charge	4060 County Circle Drive	Riverside	92503	(951) 358-3003
Covenant Life Christian Fellowship	Public Land Agency	jcaballe@rivco.org	Jorge	Caballero	Regional Office Manager	4080 Lemon Street 9th Floor	Riverside	92505	(951) 955-4777
Crossroads Church	Services - Veterans	jkadnerson@rivco.org	James Kelly	Anderson	Assistant Director				
Fair Housing Council of Riverside	Religious	covenantlifecf@gmail.com							
Faith Fellowship Corona	Religious	debbie@crossroadschurch.com							
Grace Baptist Church	Services-Fair Housing	rosemayes@fairhousing.net	Rose	Mayes	Executive Director	P.O. Box 1068	Riverside	92501	(951) 682-6581
Greater Corona Hispanic Chamber of Commerce	Religious	faith@faithfellowshipcorona.org							
Habitat For Humanity	Religious	gbc2781@gmail.com							
Housing Authority of Riverside County	Business Leader	info@gchcc.com							
Inland Empire Women's Business Center	Services-Housing	kmichalak@habitatriverside.org	Kathy	Michalak	Executive Director	2180 Iowa Avenue	Riverside	92507	(951) 787-6754
Inland Regional Center	PHA	chui@rivco.org	Cindy	Hui	Principal Dev. Spec.	5555 Arlington Avenue	Riverside	92504	(951) 343-5428
Inland Vineyard Church	Services-Employment	mskiljan@iewbc.org	Michelle	Skiljan	Executive Director	550 University Parkway	San Bernardino	92407	(909) 322-3445
Inspire	Services-Disabilities	community@inlandrc.org							
Jamboree Housing Corp	Religious	office@inlandvineyard.org							
Living Truth Christian Fellowship Corona	Services - Unaccompanied Youth	kristi@inspirelifefskills.org	Kristi	Perez	Founder/Director	2279 Eagle Glen Pkwy #112-131	Corona	92883	(951) 316-0011
Local Initiatives Support Corporation	Services-Housing	info@jamboreehousing.com							
	Assisted Housing	MCarroll@lisc.org	Michael	Carroll					

Mary Erickson Community Housing	Assisted Housing	info@maryerickson.org											
Neighborhood Housing Services Inland Empire	Services-Housing	info@nhsie.org											
New Day Christian Fellowship	Religious	admin@newdaycorona.org											
New Hope Family Worship Corona	Religious	pastorron.rk@gmail.com											
Northpoint Evangelical Free Church	Religious	mbalga@northpointcorona.org											
Peace Lutheran Church	Religious	peacelutheran@corona@gmail.com											
Peppermint Ridge	Services-Disabilities	dmccarns@peppermintridge.org	Danette	McCarns	Executive Director	825 Magnolia Ave	Corona	92879	(951) 273-7329				
Presence of the Lord Christian Church	Religious	hevvyrevy@pacbell.net											
Renaissance Christian Church	Religious	info@renaissance-church.com											
Riv County Emergency Management Dept.	Emergency Management Agency	crich@rivco.org	Christina	Rich	Secretary	4210 Riverwalk Parkway Suite 300	Riverside	92505	(951) 358-7100				
Riv. University Health System Public Health	Services-HIV/AIDS	swalton@ruhealth.org	Sheila	Walton	Secretary HIV/STD	P.O.BOX 7600	Riverside	92513	(951) 358-5307				
River Run Senior Apartment	Services-Housing	Valerie.Mixon@Steadfastliving.com											
Riverside County Flood Control and													
Water Conservation District	Floodplain Management Agency	wmcornel@rivco.org	Micheal	Cornelius	Engineer Tech II	1995 Market Street	Riverside	92501	(951) 955-0621				
Riverside County Board of Supervisors	Government - Local	district2@rivco.org	Karen	Spiegel	Supervisor, 2nd District	400 Lemon Street 5th Floor	Riverside	92502	(951) 955-1020				
Riverside County Department of Mental Health	Services-Housing	MHWEB@ruhealth.org											
Riverside County Department of Public Social Services	Continuum of Care	jortego@rivco.org	James	Ortego	Deputy Director	10281 Kidd Street	Riverside	92506	(951) 358-3003				
Riverside County Homelessness Solutions	Services-Homeless	mdavis@riversideca.gov											
Riverside County Housing Authority	Assisted Housing	housing@riversideca.gov											
Riverside County Office of Aging	Services-Elderly	rcaging@rivco.org											
Riverside County Planning Department	Government - Local	planning@rivco.org											
Riverside County Supervisor District 1	Government - Local	district1@rivco.org											
Riverside Economic Development Agency - Housing Division	Services-Housing												
Riverside Housing Development Corporation	Assisted Housing	website@rhdcca.org											
Riverside Transit Authority	Government - Regional	kwarsinski@riversidetransit.com	Kristin	Warsinski	Director of Planning								
		cartagena@scag.ca.gov	Arnold	San Miguel	Regional Affairs Officer								
		sanmiguel@scag.ca.gov	Javiera	Cartagena	Reg. Affairs Manager	1170 W. 3rd Street, Suite 140	San Bernardino	92410	(213) 236-1925				
Southern California Council of Governments (SCAG)	Government - Regional	communityimpact@spectrum.com											
Spectrum	Broadband ISP	staff@tiger.org											
The Inland Gateway Assoc of Realtors	Business Leader	corona@solidlives.com											
The Rock Corona	Religious	chris@thomasmillermortuary.com	Chris	Miller	CEO/President	904 East 6th Street	Corona	92879	(951) 737-3350				
Thomas Miller Mortuary	Business Leader	Marilou.Flores@hud.gov	Marilou	Flores	CPD Representative	300 N. Los Angeles St., Ste 4054	Los Angeles	90012	(213) 534-2574				
U.S. Department of Housing and Urban Development	Government - Federal	trabucoRD@fs.fed.us	Darrell	Vance	District Ranger	1147 E Sixth Street	Corona	92879	(951) 736-1811				
USDA Forest Services	Public Land Agency	Ashley.Arias@CoronaCa.gov	Ashley	Arias	Library Assistant	650 S Main Street	Corona	92882	(951) 279-3746				
Vets Connect Resource Center	Services - Homeless Veterans	klynnm2014@gmail.com	Lynn	Mitchell	Officer	1101 South Main Street	Corona	92882	(815) 954-6706				
Womens Improvement Club	Services-Education												
WRCOG	Government - Regional	cgray@wrcog.us											

CITY OF CORONA HOUSING ELEMENT UPDATE

Appendix A-4
Community Meeting Flyers



JOIN US FOR AN INFORMATIONAL COMMUNITY MEETING

The City of Corona invites you to attend a community meeting on the City's Housing Element Update for Planning Period 2021–2029. Please join us to learn more about the update process, potential housing locations, and opportunities for meeting the City's housing goals (including affordable and special needs housing).

WHAT IS THE HOUSING ELEMENT?

The City of Corona is currently processing an update to its General Plan Housing Element. The City's Housing Element Update is done every 8 years in accordance with State law. The city last updated its Housing Element in 2013. The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community.

For more information please visit:

www.CoronaCA.gov/GPUUpdate

JOIN US ON MAY 27, 2021 AT 6 P.M.

The meeting will be hybrid in-person and online. Please join us in person at the Corona City Hall:

Council Chambers
400 South Vicentia Avenue
Corona, CA 92882

OR by desktop, tablet, and phone
at the link below
(no registration needed).

[https://coronaca.gov.
zoom.us/j/89030052330](https://coronaca.gov.zoom.us/j/89030052330)

FOR MORE INFORMATION:



Contact Joanne Coletta, Community Development Director
at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.

ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA DE LA CIUDAD DE CORONA



ÚNASE A NOSOTROS PARA UNA REUNIÓN INFORMATIVA

La Ciudad de Corona le invita a asistir a una reunión comunitaria sobre la Actualización del Elemento de Vivienda de la Ciudad para el Período de planificación 2021-2029. Únase a nosotros para obtener más información sobre el proceso de actualización, posibles viviendas ubicaciones y oportunidades para cumplir con los objetivos de vivienda de la Ciudad (incluyendo las viviendas con necesidades especiales).

¿QUÉ ES EL ELEMENTO DE VIVIENDA?

La Ciudad de Corona está procesando una actualización de su Elemento Vivienda dentro del Plan General de la Ciudad. La Actualización del Elemento de Vivienda se realiza cada 8 años de acuerdo con la ley estatal. La Ciudad actualizó por última vez su Elemento de Vivienda en 2013. El Elemento de Vivienda establece metas, políticas y medidas de implementación para orientar el desarrollo de la vivienda en la ciudad de Corona; lo cual está incluido en el Plan General y describe los planes para satisfacer las necesidades de vivienda actuales y proyectadas para todos los segmentos económicos de la comunidad.

Para mayor información por favor visite:

www.CoronaCA.gov/GPUUpdate

ÚNASE A NOSOTROS EL 27 DE MAYO DEL 2021 A LAS 6 P.M.

La reunión será híbrida en persona y en línea. Por favor únase a nosotros en persona en el Ayuntamiento de Corona:

Council Chambers
400 South Vicentia Avenue
Corona, CA 92882

o por computadora, tableta y teléfono usando el enlace abajo (no es necesario registrarse).

<https://coronaca.gov>
zoom.us/j/89030052330

PARA MAS INFORMACION:



Contacte a Joanne Coletta, Directora de Desarrollo Comunitario al (951) 817-5709 o envíe un correo electrónico a CoronaHEUpdate@CoronaCA.gov

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menú desplegable en la página web.



Appendix A-5
Letters to Property Owners

COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CITY OF CORONA
General Plan Housing Element Update for Years 2021-2029

May 18, 2021

XXXX
XXXX
XXXX

RE: Housing Opportunity Sites Identified for the City of Corona Housing Element Update for Planning Period 2021-2029

The City of Corona is currently processing an update to its General Plan Housing Element. The city's Housing Element Update is done every 8 years in accordance with state law. The city last updated its Housing Element in 2013.

The purpose of the Housing Element Update is to identify the city's existing and projected housing need and to plan for housing that would accommodate all economic segments of the population. As part of the planning process for the next 8 years starting in October 2021 and through October 2029, the city has identified properties that could potentially allow a property owner to add housing units. In some cases, if the current zoning of the property does not allow for residential units, the city has identified the property to receive a change of zone (rezone) from the city's current zoning designation or an affordable housing overlay zone. An affordable housing overlay zone is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed by the property owner in the future.

You are receiving this letter because your property has been identified as a site that could accommodate residential units. Therefore, your property has been identified as a site to be rezoned or to have an affordable housing overlay zone.

The below table describes the current zoning and General Plan of your property and the proposed zoning and General Plan.

Property Location	Area Affected	Current General Plan	Current Zoning	Existing Use	Proposed Zoning	Proposed General Plan
Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	xxxx
(AHO-2) = Affordable Housing Overlay Zone: 36-60 dwelling units/acre						

Although your property has been identified to be rezoned or have an affordable housing overlay zone, it does not require the property owner to construct housing units. The zoning simply allows the property owner the opportunity to add residential units. To learn more about the city's Housing Element Update, information can be found on the city's website at www.CoronaCA.gov/GPUpdate. The website will also announce future public meetings on the Housing Element Update. Additionally, an informational sheet on the Housing Element Update has been included with this letter.

A community meeting on the Housing Element Update is scheduled on May 27, 2021 at 6:00 p.m. at Corona City Hall.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

You can also contact Community Development Director Joanne Coletta at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov if you have questions.

Sincerely,

Joanne Coletta

Joanne Coletta
Community Development Director

Joanne.Coletta@CoronaCA.gov

Attachment: Housing Element Update Informational Sheet



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CITY OF CORONA
General Plan Housing Element Update for Years 2021-2029

May 18, 2021

Xxxx
Xxxx
Xxxx

RE: Housing Opportunity Sites Identified for the City of Corona Housing Element Update for Planning Period 2021-2029

The City of Corona is currently processing an update to its General Plan Housing Element. The city's Housing Element Update is done every 8 years in accordance with state law. The city last updated its Housing Element in 2013.

The purpose of the Housing Element Update is to identify the city's existing and projected housing need and to plan for housing that would accommodate all economic segments of the population. As part of the planning process for the next 8 years starting in October 2021 and through October 2029, the city has identified properties that could potentially allow a property owner to add housing units to existing residential properties. In some cases, if the current zoning of the property does not allow for additional residential units, the city has identified the property to receive a change of zone (rezone) from the city's current zoning designation.

You are receiving this letter because your property has been identified as a site that could allow additional residential units. Therefore, your property has been identified as a site to be rezoned to allow more than one residential unit on your property.

The below table describes the current zoning and General Plan of your property and the proposed zoning and General Plan.

Property Location	Area Affected	Current General Plan	Current Zoning	Existing Use	Proposed Zoning	Proposed General Plan
Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	xxxx

Although your property has been identified to be rezoned, it does not require the property owner to construct additional housing units. The zoning simply allows the property owner the opportunity to add residential units. To learn more about the city's Housing Element Update, information can be found on the city's website at www.CoronaCA.gov/GPUUpdate. The website will also announce future public meetings on the Housing Element Update. Additionally, an informational sheet on the Housing Element Update has been included with this letter.

A community meeting on the Housing Element Update is scheduled on May 27, 2021 at 6:00 p.m. at Corona City Hall.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

You can also contact Community Development Director Joanne Coletta at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov if you have questions.

Sincerely,

Joanne Coletta

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Community Development Director

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CIUDAD DE CORONA
Actualización del Elemento de Vivienda del Plan General Para Los Años 2021-2029

XXXXXXX
XXXXXXX
XXXXXXX

RE: Sitios de oportunidad de vivienda identificados para la Actualización del Elemento de Vivienda de la ciudad de Corona para el período de planificación 2021-2029

La Ciudad de Corona actualmente está procesando una actualización de su Elemento de Vivienda del Plan General. La actualización del Elemento de Vivienda de la ciudad se realiza cada 8 años de acuerdo con la ley estatal. La última vez que la ciudad actualizó su Elemento de Vivienda fue en el año 2013.

El propósito de la Actualización del Elemento de Vivienda es para identificar la necesidad de vivienda actual y proyectada en la ciudad y planificar viviendas que se adapten a todos los segmentos económicos de la población. Como parte del proceso de planificación para los próximos 8 años a partir de Octubre del 2021 y hasta Octubre del 2029, la ciudad ha identificado propiedades que potencialmente podrían permitir que un propietario agregue unidades de vivienda. En algunos casos, si la zonificación actual de la propiedad no permite unidades residenciales, la ciudad ha identificado la propiedad para recibir un cambio de zona (rezonificación) de la zonificación actual de la ciudad o una zona de superposición de viviendas asequibles. Una zona de superposición de viviendas asequible es una herramienta de zonificación que permite a una ciudad modificar la zonificación actual para permitir o requerir ciertos tipos de desarrollos residencial es en una propiedad sin cambiar el distrito de zonificación subyacente. Esto significa que una parcela que se utiliza actualmente para un uso no residencial, como comercial o industrial y zonificación como tal, puede seguir utilizándose de acuerdo con la zonificación subyacente. Sin embargo, si el propietario decide remodelar el sitio con residencial, se le permitirá que la propiedad tenga uso residencial de acuerdo con las disposiciones establecidas por la superposición de viviendas asequibles. La superposición de viviendas asequibles demuestra dónde se pueden planificar viviendas adicionales si el uso actual de la propiedad es reutilizado por el propietario en el futuro.

Usted está recibiendo esta carta porque su propiedad ha sido identificada como un sitio que podría

acomodar unidades residenciales. Por lo tanto, su propiedad ha sido identificada como un sitio para ser rezonificado o para tener una zona de superposición de viviendas asequibles.

En grafico siguiente describe la zonificación actual y el Plan General de su propiedad y la propuesta de zonificación y Plan General.

Ubicacion de la Propiedad	Area Afectada	Plan General Actual	Zonificacion Actual	Uso Existente	Zonificacion Propuesta	Propuesta de Plan General

Aunque su propiedad ha sido identificada para ser rezonificada o tener una zona de superposición de viviendas asequibles, no requiere que el propietario construya unidades de vivienda. La zonificación simplemente permite al propietario la oportunidad de agregar unidades residenciales. Para obtener más información sobre la Actualización del Elemento de Vivienda de la ciudad, la información se puede encontrar en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate. El sitio web también anunciará futuras reuniones públicas sobre la Actualización del Elemento de Vivienda. Con esta carta se le ha incluido una hoja informativa sobre la Actualización del Elemento de Vivienda.

Una reunión comunitaria sobre la Actualización del Elemento de Vivienda está programada para el 27 de Mayo de 2021 a las 6:00 p.m. en el Ayuntamiento de Corona.

Ayuntamiento de Corona
Cámaras del Consejo
Avenida 400 S. Vicentia
Corona, CA 92882

También puede comunicarse con la Directora de Desarrollo Comunitario Joanne Coletta al (951) 817-5709 o enviar un correo electrónico a CoronaHEUpdate@CoronaCA.gov si tiene preguntas.

Atentamente,

Joanne Coletta

Joanne Coletta
Directora de Desarrollo Comunitario

Joanne.Coletta@CoronaCA.gov

Adjunto: Hoja informativa de Actualizacion del Elemento de Vivienda



COMMUNITY DEVELOPMENT DEPARTMENT
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CIUDAD DE CORONA
Actualización del Elemento de Vivienda del Plan General Para Los Años 2021-2029

XXXXXXX
XXXXXXX
XXXXXXX

RE: Sitios de oportunidad de vivienda identificados para la Actualización del Elemento de Vivienda de la ciudad de Corona para el período de planificación 2021-2029

La Ciudad de Corona actualmente está procesando una actualización de su Elemento de Vivienda del Plan General. La actualización del Elemento de Vivienda de la ciudad se realiza cada 8 años de acuerdo con la ley estatal. La última vez que la ciudad actualizó su Elemento de Vivienda fue en el año 2013.

El propósito de la Actualización del Elemento de Vivienda es para identificar la necesidad de vivienda actual y proyectada en la ciudad y planificar viviendas que se adapten a todos los segmentos económicos de la población. Como parte del proceso de planificación para los próximos 8 años a partir de Octubre del 2021 y hasta Octubre del 2029, la ciudad ha identificado propiedades que potencialmente podrían permitir que un propietario agregue unidades de vivienda a las propiedades residenciales existentes. En algunos casos, si la zonificación actual de la propiedad no permite unidades residenciales adicionales, la ciudad ha identificado que la propiedad recibirá un cambio de zona (rezonificación) de la zonificación actual de la ciudad.

Usted está recibiendo esta carta porque su propiedad ha sido identificada como un sitio que podría permitir unidades residenciales adicionales. Por lo tanto, su propiedad ha sido identificada como un sitio para ser rezonificado para permitir más de una unidad residencial en su propiedad.

En grafico siguiente se describe la zonificación actual y el Plan General de su propiedad y la propuesta de zonificación y plan general.

Ubicacion de la Propiedad	Area Afectada	Plant General Actual	Zonificacion Actual	Uso Existente	Zonificacion Propuesta	Propuesta de Plan General

Aunque su propiedad ha sido identificada para ser rezonificada, no requiere que el propietario construya unidades de vivienda adicionales. La zonificación simplemente permite al propietario la oportunidad de agregar unidades residenciales. Para obtener más información sobre la actualización del Elemento de Vivienda de la ciudad, la información se puede encontrar en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate. El sitio web también anunciará futuras reuniones públicas sobre la Actualización del Elemento de Vivienda. Con esta carta se le ha incluido una hoja informativa sobre la Actualización del Elemento de Vivienda.

Una reunión comunitaria sobre la Actualización del Elemento de Vivienda está programada para el 27 de Mayo de 2021 a las 6:00 p.m. en el Ayuntamiento de Corona.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

También puede comunicarse con la Directora de Desarrollo Comunitario Joanne Coletta al (951) 817-5709 o enviar un correo electrónico a CoronaHEUpdate@CoronaCA.gov si tiene preguntas.

Atentamente,

Joanne Coletta

Joanne Coletta
Directora de Desarrollo Comunitario
Joanne.Coletta@CoronaCA.gov

Adjunto: Hoja informativa de Actualización del Elemento de Vivienda

Appendix A-6 Property Owners Mailing Labels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
2550 S Main St. Corona, CA 92882 APN 113310005	4.00	MDR (Medium Density Residential; 6-15 dwelling units/acre)	A (Agriculture)	Institutional use and Vacant with a FAR of 0.2	R2 (Low Density Multiple Family Residential)	MDR	CA Assoc. of 7 th Day Adventists PO Box 79990 Riverside, CA 92513
211 S Joy St. Corona, CA 92879 APN 117122002	0.20	MU 1 (Mixed Use Commercial & Residential)	TC (Transitional Commercial)	Vacant	TC with (AHO- 1) overlay	MU1	RCTC Right-of-Way Division 4080 Lemon Street, 3 rd Fl Riverside, CA 92502
904 S Ramona Avenue Corona, CA 92879 APN 117238005	0.17	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 570 Central Avenue, J2 Lake Elsinore, CA 92530
912 S Ramona Ave. Corona, CA 92879 APN 117238012	0.20	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
901 S Ramona Ave. Corona, CA 92879 APN 117238006	0.21	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
615 S Sherman Ave. Corona, CA 92882 APN 110040023	0.39	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 1136 Hummingbird Lane Corona, CA 92882
510 W 6th St Corona, CA 92882 APN 117172002	0.53	MU1 (Mixed Use Commercial & Residential)	TC (Transitional Commercial)	Commercial use with a FAR of 0.5	TC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 3066 Greenview Pl Fullerton, CA 92835
1065 Railroad St. Corona, CA 92882 APN 118210041	1.86	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Calvary Chapel Living 1065 Railroad St. Corona, CA 92882
777 S Temescal St. Corona, CA 92879 APN 107050034	1.80	GC (General Commercial)	C2 (Limited Commercial)	Vacant	MP (Mobile Home Park)	HDR (High Density Residential; 15-36 dwelling units/acre)	Corona La Linda 320 N. Park Vista Anaheim, CA 92806
820 S Victoria Ave. Corona, CA 92879 APN 117232002	0.17	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Ray Morelli or Current Owner PO Box 6336 Corona, CA 92878

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
822 S Victoria Ave. Corona, CA 92879 APN 117232001	0.18	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Same as above
801 S Victoria Ave. Corona, CA 92879 APN 117233008	0.17	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Luis Galvan or Current Owner 15311 Van Buren, #1 Midway, CA 92655
724 Barth St. Corona, CA 92879 APN 111042031	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Blanca Camacho or Current Owner 724 Barth St. Corona, CA 92879
730 Barth St. Corona, CA 92879 APN 111042024	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Manuel Leon or Current Owner 730 Barth St. Corona, CA 92879
802 Barth St. Corona, CA 92879 APN 111042025	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Albert Rodriguez or Current Owner 802 Barth St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
808 Barth St. Corona, CA 92879 APN 111042026	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Jim Schaffer or Current Owner 19121 Bikini Lane Huntington Bch, CA 92646
814 Barth St. Corona, CA 92879 APN 111042027	0.52	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Carlos Morales or Current Owner 814 Barth St. Corona, CA 92879
813 Ford St. Corona, CA 92879 APN 111042013	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Leopold Garcia Vaca or Current Owner 813 Ford St. Corona, CA 92879
807 Ford St. Corona, CA 92879 APN 111042014	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	April Wetmur or Current Owner 807 Ford St. Corona, CA 92879
801 Ford St. Corona, CA 92879 APN 111042015	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Parnatda Warasopun Prucha or Current Owner 801 Ford St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
779 Ford St. Corona, CA 92879 APN 111042016	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Garrison House or Current Owner 825 Magnolia Avenue Corona, CA 92879
716 Barth St. Corona, CA 92879 APN 111042021	0.32	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Lawrence Holmes or Current Owner 716 Barth St. Corona, CA 92879
514 W 6th St. Corona, CA 92882 APN 117172001	0.54	MU1 (Mixed Use Commercial & Residential)	TC	Vacant	TC with (AHO-1) overlay	MU1	City of Corona 400 S. Vicentia Avenue Corona, CA 92882
801 Quarry St. Corona, CA 92879 APN 117281007	0.25	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Market OC or Current Owner 16722 Have Avenue Irvine, CA 92606
805 Quarry St. Corona, CA 92879 APN 117281008	0.24	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Damin Vazquez or Current Owner 805 Quarry St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
901 Quarry St. Corona, CA 92879 APN 117281010	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Manuel Escobar or Current Owner 901 Quarry St. Corona, CA 92879
907 Quarry St. Corona, CA 92879 APN 117281012	0.21	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Lopez or Current Owner 907 Quarry St. Corona, CA 92879
911 Quarry St. Corona, CA 92879 APN 117281013	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Saucedo or Current Owner 911 Quarry St. Corona, CA 92879
915 Quarry St. Corona, CA 92879 APN 117281014	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	David Evans 12586 Bannock Ct. Apple Valley, CA 92308
919 Quarry St. Corona, CA 92879 APN 117281015	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Albert Castillo or Current Owner 919 Quarry St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
923 Quarry St. Corona, CA 92879 APN 117281016	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Frank Bachetti or Current Owner 3316 Belgian Drive Norco, CA 92860
1001 Quarry St. Corona, CA 92879 APN 117282005	0.84	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Frank Bachetti or Current Owner 1005 Quarry Street Corona, CA 92879
1019 Quarry St. Corona, CA 92879 APN 117290019	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Jensen Chen or Current Owner 1356 Calbourne Drive Diamond Bar, CA 91789
1023 Quarry St. Corona, CA 92879 APN 117290020	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Vivanco 1023 Quarry St. Corona, CA 92879
1025 Quarry St. Corona, CA 92879 APN 117290021	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
904 S Ramona Ave. Corona, CA 92882 APN 117238004	0.17	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Capital Finance 570 Central Avenue, J2 Lake Elsinore, CA 92530
S Main St. Corona, CA 92882 APN 117238007	0.20	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
915 S Main St. Corona, CA 92882 APN 117238016	0.16	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
Railroad St. Corona, CA 92882 APN 117042010	0.35	LI (Light Industry)	M1 (Light Manufacturing)	Vacant	M1 with (AHO-1) overlay	MU2 (Mixed Use Commercial & Industrial)	Eddie Ledesma or Current Owner 919 Ford Street Corona, CA 92879
S Merrill St. Corona, CA 92882 APN 117133004	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Recreational use (Basketball Court)	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Diocese of SB Education & Welfare 1201 E. Highland Avenue San Bernardino, CA 92404
Ford St. Corona, CA 92879	0.29	LDR (Low Density Residential;	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential;	Martin Armas or Current Resident 723 Ford Street

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 111042019		3-6 dwelling units/acre)				6-15 dwelling units/acre)	Corona, CA 92879
6th St. Corona, CA 92882 APN 110020018	0.22	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Corona Sun Square 5300 Beach Blvd. # 110 505 Buena Park, CA 90621
Quarry St. Corona, CA 92879 APN 117281009	0.24	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Antonio Perez 787 Via Felipe Corona, CA 92882
Quarry St. Corona, CA 92879 APN 117281011	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Leo Serrato 814 Quarry Street Corona, CA 92879
1220 W Ontario Ave. Corona, CA 92880 APN 113020015	2.00	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-9.6 (Single Family Residential)	Institutional use and Vacant with a FAR of 0.2	R3 (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Evangelical Friends Church Southwest 1220 W Ontario Ave. Corona, CA 92880
905 W 6th St. Corona, CA 92882 APN 118283011	1.50	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	Parking lot	CS with (AHO-1) overlay	MU1	City of Corona

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
901 W 6th St. Corona, CA 92882 APN 118283026	0.16	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	Commercial use with a FAR of 0.25	CS with (AHO-1) overlay	MU1	James Favreau or Current Owner 901 W 6th St. Corona, CA 92882
507 S Vicentia Ave. Corona, CA 92882 APN 117340022	0.40	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	City owned building with a FAR of 0.4 (Settlement House)	CS with (AHO-1) overlay	MU1	City of Corona
511 S Vicentia Ave. Corona, CA 92882 APN 117340023	0.32	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	City owned building with a FAR of 0.2 (Residence)	CS with (AHO-1) overlay	MU1	City of Corona
852 W 6th St. Corona, CA 92882 APN 110101012	0.35	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.25	GC with (AHO-1) overlay	MU1	Nariman Rahmon 1110 Portofino Ct, 103 Corona, CA 92881
844 W 6th St. Corona, CA 92882 APN 110101011	0.20	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.2	GC with (AHO-1) overlay	MU1	Frank Tetley PO Box 607 Corona, CA 92878
836 W 6th St. Corona, CA 92882	0.38	MU1 (Mixed Use Commercial)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO-1) overlay	MU1	Martha Tetley PO Box 607 Corona, CA 92878

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 110101010		& Residential)					
832 W 6th St. Corona, CA 92882 APN 110101009	0.15	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.2	GC with (AHO- 1) overlay	MU1	Roy Medina of Current Owner 832 W 6th St. Corona, CA 92882
828 W 6th St. Corona, CA 92882 APN 110101027	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO- 1) overlay	MU1	Salvi Rekhaven 9 Franciscan Place Pomona, CA 91766
826 W 6th St. Corona, CA 92882 APN 110101007	0.11	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.6	GC with (AHO- 1) overlay	MU1	Juan Rivera or Current Owner 826 W 6th St. Corona, CA 92882
820 W 6th St. Corona, CA 92882 APN 110101006	0.21	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO- 1) overlay	MU1	Same as above
816 W 6th St. Corona, CA 92882 APN 110101005	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.5	GC with (AHO- 1) overlay	MU1	Robert Blandi 39665 N. General Kearny Rd. Murrieta, CA 92563

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
812 W 6th St. Corona, CA 92882 APN 110101004	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1	Fidel Sanchez 615 S. Vicentia Avenue Corona, CA 92882
808 W 6th St. Corona, CA 92882 APN 110101003	0.15	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.25	GC with (AHO-1) overlay	MU1	Same as above
802 W 6th St. Corona, CA 92882 APN 110101001	0.10	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.7	GC with (AHO-1) overlay	MU1	William Harty 801 Via Concepcion Riverside, CA 92506
612 S Vicentia Corona, CA 92882 APN 110101002	0.10	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.6	GC with (AHO-1) overlay	MU1	Javier Arreguin or Current Owner 612 S Vicentia Corona, CA 92882
229 Grand Blvd. Corona, CA 92882 APN 117091022	1.10	GC (General Commercial)	CS (Community Services)	Commercial use and storage with a FAR of 0.25	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Joe Sharifi 20336 San Gabriel Valley Walnut, CA 91789
1341 W 6th St. Corona, CA 92882	0.92	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial)	Oscar Traders Inc 1655 W. 6 th Street, 102

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
118130013						& Residential)	Corona, CA 92882
1335 W 6th St. Corona, CA 92882 APN 118130014	1.02	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
1338 W 6th St. Corona, CA 92882 APN 110030004	0.24	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	David Bishop 2019 Sage Avenue Corona, CA 92882
1334 W 6th St. Corona, CA 92882 APN 110030003	0.48	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	SJF Realty PO Box 1806 Corona, CA 92878
1330 W 6th St. Corona, CA 92882 APN 110030008	0.28	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.2	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Michael Bradley PO Box 408 Wellington, NV 89444
1865 W 6th St. Corona, CA 92882 APN 102270015	0.77	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.25	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Wurtman Prop. PO Box 81782 Bakersfield, CA 93380

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1180 W 6th St. Corona, CA 92882 APN 110040039	0.69	GC (General Commercial)	C (Commercial)	Commercial use with a FAR of 0.5	C with (AHO-1) overlay	MU1(Mixed Use Commercial & Residential)	YNS Shopping Plaza 11799 Sebastian Way Rancho Cucamonga, CA 91730
1210 W 6th St. Corona, CA 92882 APN 110040042	1.46	GC (General Commercial)	C (Commercial)	Commercial use with a FAR of 0.5	C with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
1201 E 6th St. Corona, CA 92882 APN 115690013	2.96	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Commercial use with a FAR of 0.25	BP with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Pape Prop Inc. 355 Good Pasture Island Eugene, OR 97401
1354 E 6th St. Corona, CA 92882 APN 115090003	3.00	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Commercial use with a FAR of 0.1	M1 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Roland Dopozo 2867 Polk Anaheim, CA 92801
511 S Joy St. Corona, CA 91719 APN 117165020	0.52	MU1 (Mixed Use Commercial & Residential)	RO (Residential Office)	Commercial use with a FAR of 0.5	MFR (Multiple Family Residential)	MU1	Pacific Bell 16775 Von Karman Ave., #130 Irvine, CA 92606
1410 E 6th St Corona, CA 92879 APN 107020002	3.82	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Mobile home park	HDR (High Density Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	La Corona Mobile Home Park 3265 Highland Drive Carlsbad, CA 92008

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1108 E 5th St Corona, CA 92879 APN 117332005	0.5	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Janet Walsh 14672 Oak Road Sylmar, CA 91342
6th St Corona, CA 92879 117332006	0.5	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
1111 E 6th St Corona, CA 92879 APN 117332004	0.67	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
5th Street Corona, CA 92879 APN 117332003	0.32	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
6th St Corona, CA 92879 APN 117332007	0.17	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
6th St Corona, CA 92879	0.17	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Commercial use and parking lot with a FAR of 0.1	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117332008						dwelling units/acre)	
Circle City Dr. Corona, CA 92879 APN 111290040	0.44	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0	M1 with (AHO- 1) overlay	MU2	Don Tos Inv Partners PO Box 711 Anaheim, CA 92815
Circle City Dr. Corona, CA 92879 APN 111290039	1.71	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Nonvacant	M1 with (AHO- 1) overlay	MU2	Same as above
Circle City Dr. Corona, CA 92879 APN 111290021	1.08	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Carlos & Emma Alvarez Family, LTD Partner 27999 Jefferson Avenue Temecula, CA 92590
Circle City Dr. Corona, CA 92879 APN 111290022	0.77	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Same as above
Circle City Dr. Corona, CA 92879 APN 111290023	0.47	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E 6th St. Corona, CA 92879 APN 115090024	2.66	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0 (storage)	M1 with (AHO-1) overlay	MU2	Jim Fletcher 2230 E. Orangethorpe Fullerton, CA 92831
E 6th St. Corona, CA 92879 APN 115090021	1.17	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0 (storage)	M1 with (AHO-1) overlay	MU2	Same as above
E 5th St. Corona, CA 92879 APN 117331006	0.74	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Industrial use with a FAR of 0.1	BP with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	James Patterson PO Box 204 Brea, CA 92822
Peasant View Ave. 1353 W. 6 th Street Corona, CA 92882 APN 118130031	0.49	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Oscar Traders 1655 W. 6 th Street #102 Corona, CA 92882
W 6th St. Corona, CA 92882	0.43	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial)	Mark Sayegh 4165 Robby Circle Corona, CA 92881

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 110030030						& Residential)	
Yorba St. Corona, CA 92882 APN 102290010	0.17	GC (General Commercial)	C3 (General Commercial)	Industrial use with a FAR of 0	C3 with (AHO-2) overlay	MU1 (Mixed Use Commercial & Residential)	Diversified Products International Inc. 1655 W. Sixth #111 Corona, CA 92882
W 6th St. Corona, CA 92879 APN 110040041	1.16	GC (General Commercial)	C (Commercial)	Commercial use and parking lot with a FAR of 0.25	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	YNS Shopping Plaza 11799 Sebastian Way #105 Rancho Cucamonga, CA 91730
6th St. Corona, CA 92882 APN 118283033	0.42	MDR (Medium Density Residential; 6-15 dwelling units/acre)	MF1 (Multiple Family)	Parking lot	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	City of Corona
6th St. Corona, CA 92882 APN 110020008	0.61	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Corona Sun Square 5300 Beach Boulevard #110 505 Buena Park, CA 90621
6th St. Corona, CA 92879	0.27	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36	Toura LP 3972 Barranca Pkwy, J425 Irvine, CA 92606

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 115080001						dwelling units/acre)	
E 6th St. Corona, CA 92879 APN 117332015	0.27	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Kim Mihaeng 1133 E. 6 th Street Corona, CA 92879
E 6th St. Corona, CA 92879 117332016	0.33	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Ozkan Suleyman 1365 W. 6 th Street Corona, CA 92879
44 E Grand Blvd. Corona, CA 92882 APN 117080003	0.18	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Carlos Frausto or Current Owner 44 E Grand Blvd. Corona, CA 92882
116 N Victoria Ave. Corona, CA 92882 APN 117080004	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Richard Hernandez 2671 Raven Circle Corona, CA 92882
110 N Victoria Ave. Corona, CA 92882 APN 117080005	0.18	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Lupe Becerra or Current Owner 110 N Victoria Ave. Corona, CA 92882
108 N Victoria Ave.	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential;	David Becerra or Current Owner

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
Corona, CA 92882 APN 117080018						15-36 dwelling units/acre)	108 N Victoria Ave. Corona, CA 92882
115 N Victoria Ave. Corona, CA 92882 APN 117080009	0.21	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Joe Salgado 676 Green Gate Street Corona, CA 92879
111 N. Victoria Ave. Corona, CA 92882 APN 117080022	0.16	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Mary Lou Shina 6580 Glenroy Street San Diego, CA 92120
101 S Sheridan St. Corona, CA 92882 APN 117070004	0.24	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Onias Acevedo 24943 Greenbriar Ct Corona, CA 92883
103 N. Sheridan St. Corona, CA 92882 APN 117070003	0.17	GC (General Commercial)	GB (Gateway Business Park)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	RCTC property??
63 W Grand Blvd. Corona, CA 92882	0.17	GC (General Commercial)	GB (Gateway Business Park)	Commercial use with a FAR of 0.4	MF (Multiple Family)	HDR (High Density Residential; 15-36	Ken Calvert 63 W Grand Blvd. Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117070005						dwelling units/acre)	
114 N Belle Ave. Corona, CA 92882 APN 117070006	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Monica Perez or Current Owner 114 N Belle Ave. Corona, CA 92882
110 N Belle Ave. Corona, CA 92882 APN 117070007	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Jose Morales or Current Owner 110 N Belle Ave. Corona, CA 92882
49 W Grand Blvd. Corona, CA 92882 APN 117070013	0.21	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Margarito Camberos or Current Owner 49 W Grand Blvd. Corona, CA 92882
45 W Grand Blvd. Corona, CA 92882 APN 117070014	0.14	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Abel Huribe or Current Owner 45 W Grand Blvd. Corona, CA 92882
E 8th St. Corona, CA 92882	0.16	LDR (Low Density Residential;	SF (Single Family)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36	First Congregational Church of Christ 809 Ramona Avenue

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117232006		3-6 dwelling units/acre				dwelling units/acre)	Corona, CA 92879
E 8th St. Corona, CA 92882 APN 117232005	0.18	LDR (Low Density Residential; 3-6 dwelling units/acre	SF (Single Family)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
Belle Ave APN 117070036	0.14	GC (General Commercial)	GB (Gateway Business)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Dustin Van Do 6500 E. Carnegie Ave. Anaheim, CA 92807
Belle Ave. APN 117070040	0.14	GC (General Commercial)	GB (Gateway Business)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Pravin Kumar 2519 190 th Street Redondo Bch, CA 90278
111 N. Belle Ave. APN 117070033	0.16	GC (General Commercial)	GB (Gateway Business)	Single Family Residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Belle Ave Property Holdings 819 Baghdady St. Corona, CA 92879
115 N. Belle Ave. APN 11707012	0.17	GC (General Commercial)	GB (Gateway Business)	Single Family Residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Christy Chu 10650 Dilo St. El Monte, CA 91731

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E Blaine St. 92879 APN 119311019	0.27	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311018	0.17	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Absolute Imaging Inc. 1660 Tamarron Drive Corona, CA 92833
E Blaine St. 92879 APN 119311017	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311016	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311043	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
E Blaine St. 92879 APN 119311042	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E Blaine St. 92879 APN 119311041	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
E Blaine St. 92879 APN 119311040	0.20	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
100 E Harrison St. 92879 APN 119311025	1.09	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Restaurant with a FAR of 0.2	MU with (AHO-2) overlay	MU1	S. Gilani 1260 Mountain Ave Norco, CA 92860
209 E Blaine St. 92879 APN 119311015	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.9	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
E Blaine St. 92879 APN 119311014	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
E Blaine St. 92879 APN 119311013	0.04	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.2	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
302 E Harrison St. 92879 APN 119311005	0.53	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.3	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
280 E Harrison St. 92879 APN 119311004	0.35	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.4	MU with (AHO-2) overlay	MU1	Richard Campos 2640 Macadamia Court Chino Hills, CA 91710
240 E Harrison St. 92879 APN 119311003	0.27	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
122 E Harrison St. 92879 APN 119311002	0.97	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Norma Abacherli 646 Ford Street Corona, CA 92879
E Blaine St. 92879 APN 119311040	0.20	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.1	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
S Smith Ave. 92882 APN 110020012	0.50	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	RV Storage	R3	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Betty Nicas 351 Ashwood Street Sutherlin, OR 97479
1362 W 6th St. 92882 APN 110030015	3.60	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	RV Storage	R3	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Betty Nicas 351 Ashwood Street Sutherlin, OR 97479
1553 Yorba St. 92882 APN 118050020	0.64	GC (General Commercial)	C3 (General Commercial)	Storage with a FAR of 0.2	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Carl Dreager 1553 Yorba St. Corona, CA 92882
1549 Yorba St. 92882 APN 118050019	0.43	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Marlon Dleon 1549 Yorba St. Corona, CA 92882
1545 Yorba St. 92882 APN 118050018	0.65	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Emmanuel Kurkjian 1509 Vandagriff Way Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1539 Yorba St 92882 APN 118050017	0.95	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Nectar Tatian 1539 Yorba St Corona, CA 92882
1535 W 6th St. 92882 APN 118050016	0.99	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Garo Churukian 1535 W 6th St. Corona, CA 92882
W. 6th Street 92882 APN 102290020	4.56	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882
1625 W. 6th Street 92882 APN 102290017	1.62	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.2	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882
1541 W. 6th Street 92882 APN 103280001	0.99	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1210 E 6th Street 92879 APN 115080002	0.38	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Parking lot	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
1210 E 6th Street 92879 APN 115080041	0.62	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Parking lot	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
1210 E 6th Street 92879 APN 115080012	1.82	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Commercial use and parking lot with a FAR of 0.4	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
W. 8th St 92881 APN 110040054	0.46	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
W 8th St. 92881 APN 110061005	0.88	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona
W 8th St. 92882 APN 110040010	0.20	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona
1203 Circle City Dr. 92879 APN 111280005	1.05	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606
1154 E 6th St. 92879 APN 111280001	2.13	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606
6th St. 92879 APN 111280004	0.90	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
92879 APN 111290036	2.31	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Commercial use and parking lot with a FAR of 0.1	M1 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	State of CA Dept. of Transportation 464 W. 4 th Street, 6 th Floor San Bernardino, CA 92401
1203 W 6th Street APN 118201012	5.59	GC (General Commercial)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Cherie Fitschen 1203 W. 6 th Street Corona, CA 92882
1203 W 6th Street 92882 APN 118183027	2.21	GC (General Commercial)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Cherie Fitschen 1203 W. 6 th Street Corona, CA 92882
8th Street 92882 APN 110040053	2.93	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Lin Jen Huiwu P.O. Box 14787 Irvine, CA 92623

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
Pomona Road 92882 APN 118260018	11.31	MDR (Medium Density Residential; 6-15 dwelling units/acre)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Corona West Association 320 N. Park Vista Street Anaheim, CA 92806

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

General Plan Housing Element Update

Appendix A-7 Housing Element Webpage and Informational Materials



WHAT IS THE HOUSING ELEMENT?

The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community. The purpose is to increase the housing supply and the mix of housing types and provide housing opportunities for all income levels. The Housing Element is mandated by state law to be updated every 8 years.

The Housing Element is governed by California Government Code Article 10.6 [Sections 65580-65589.11]. Pursuant to Section 65588, the Housing Element is required to be periodically updated in accordance with the Regional Housing Needs Assessment (RHNA) cycle administered by the California Department of Housing and Community Development (HCD). HCD is responsible for administering the RHNA to the Metropolitan Planning Organizations in California. The Metropolitan Planning Organization for the southern California region is the Southern California Association of Governments (SCAG). SCAG covers the Counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura and a total of 191 cities. In October 2019, HCD issued SCAG a RHNA allocation of 1,341,827 housing units to be planned for in Planning Period 2021-2029.

Housing Element Update Informational Sheet

[Housing Element Update Informational Sheet \(English\)](#)

[Housing Element Update Informational Sheet \(Spanish\)](#)

Upcoming Meetings

[Housing Element Update Community Workshop Flyer \(English\)](#)

[Housing Element Update Community Workshop Flyer \(Spanish\)](#)

[Housing Element Update Community Workshop - Presentation](#)

Corona City Hall
Corona Council Chambers

Ask Ally



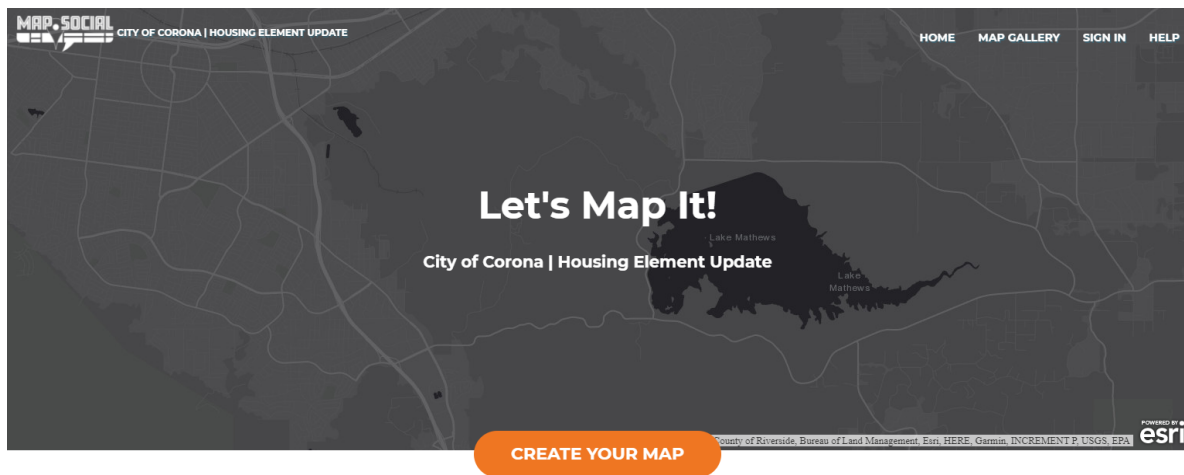
May 27, 2021

6:00 p.m.

Housing Element Update Community Meeting

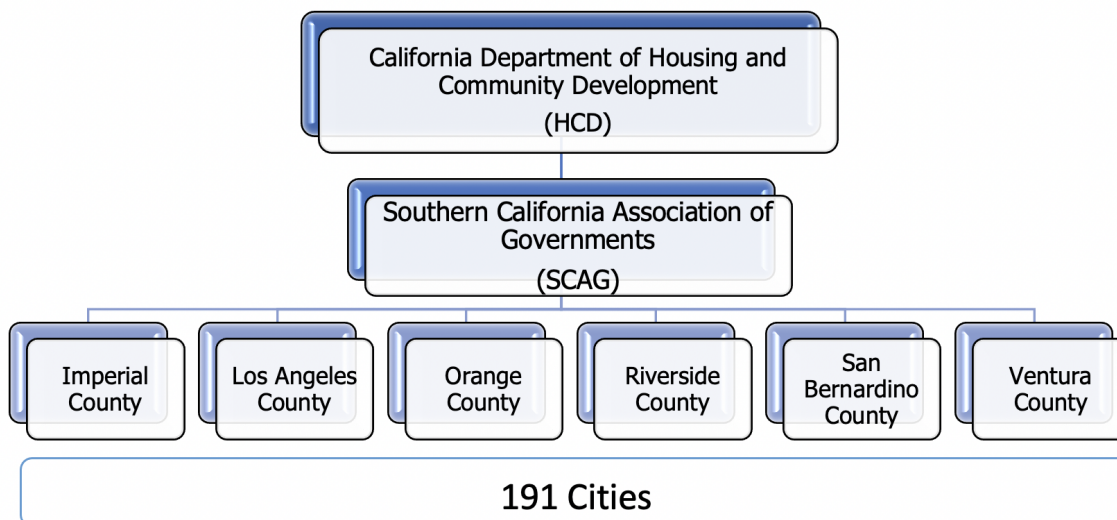
<https://coronaca.gov.zoom.us/j/89030052330>

In-person attendance is also available in the Council Chambers



[MapSocial](#)

RHNA Allocation Flow Chart



SCAG finalized the RHNA allocation in February 2021 and it resulted in the City of Corona receiving a final RHNA allocation of 6,088 housing units. The following table shows the residential income categories the City is required to plan for in the Housing Element Update.

Ask Ally



Income Category	Number of Units to Accommodate in Planning Period 2021-2029
Very Low Income (31% to 50% AMI)	1752
Low Income (51% to 80% AMI)	1040
Moderate Income (81% to 120% AMI)	1096
Above-Moderate Income (>120% AMI)	2200
Total	6088

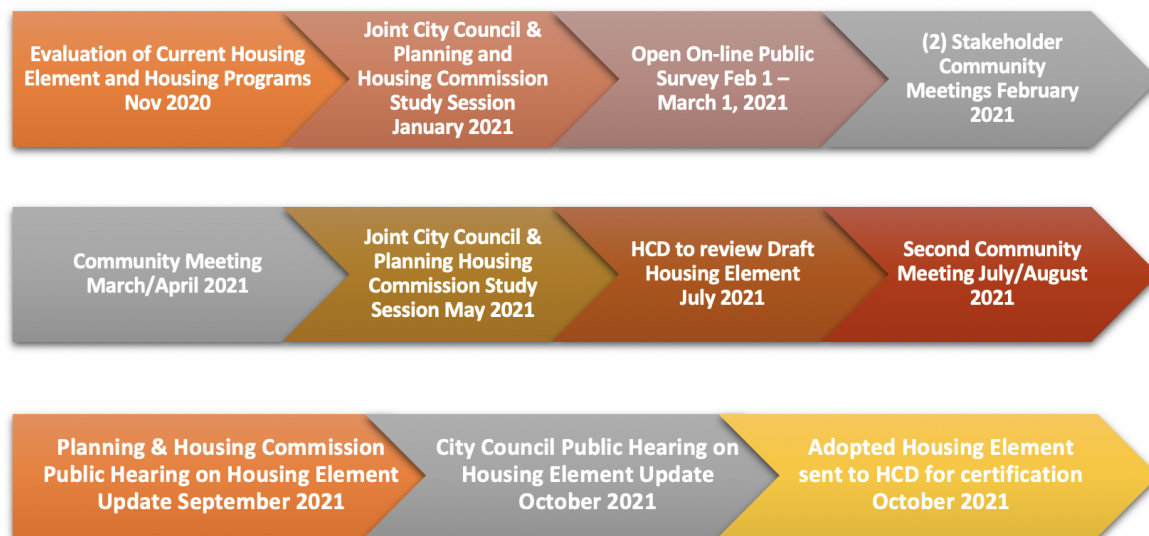
(AMI = Area Median Income)

HOUSING ELEMENT UPDATE PROCESS

The City is in the processing of preparing the Housing Element Update. The process will involve public outreach with community stakeholders and the City's general community. The public outreach process will include participation in the City's housing survey and community meetings. The outreach process will identify a sites inventory analysis of where housing units can be planned in the City for the income categories. The public will also have an opportunity to provide feedback on the inventory sites that may be required to be rezoned to accommodate the income categories.

The California Department of Housing and Community Development (HCD) is also required to review and certify the City's Housing Element to ensure its compliance with state law. The City is required to submit its City Council adopted Housing Element to HCD in October 2021.

HOUSING ELEMENT UPDATE TIMELINE



HOUSING ELEMENT

Ask Ally



[Joint City Council and Planning and Housing Commission Study Session Presentation \(January 27, 2021\)](#)

[Housing Element Update Survey Results](#)

For more information, please email CoronaHEUpdate@CoronaCA.gov.

[California Department of Housing Community Development website](#)



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

What is the Housing Element?

The Housing Element is part of the city's General Plan and is one of the mandatory elements. That means the city is required to have a Housing Element that is consistent with the State's general law. The Housing Element is governed by the California Government Code and is required to be updated every 8 years by the statutory deadline. The Housing Element is responsible for identifying a city's existing and projected housing need; goals, policies and quantified objectives on achieving housing for all economic segments of the population; available financial resources; scheduled programs for the preservation of housing and an identification of adequate housing sites for all economic segments of the community, persons with special needs and emergency shelters.

California Government Code Article 10.6, Sections 65580-65589.11

Why is the Housing Element periodically updated?

The planning period for the Housing Element is 8 years. The city's current Housing Element is for planning period 2013-2021. Pursuant to state law, the city is now updating its Housing Element for Planning Period 2021-2029. The Housing Element planning period aligns with the State's allocation of the Regional Housing Needs Assessment, commonly known as RHNA. The State Department of Housing and Community Development (HCD) assesses the RHNA every 8 years and distributes an allocation of the housing units to the various regions throughout the state. This allocation is eventually distributed across the counties and cities in California to be included in the Housing Element.

How does the city know how many residential units to plan for in the Housing Element?

The RHNA decides the number of residential units the city must plan for in the Housing Element. For the Housing Element Update covering planning period 2021-2029, the city must plan for 6,088 residential housing units.

Which housing income levels is the city required to plan for in the Housing Element Update?

The RHNA specifically identifies the number of residential units required for each economic income segment, which includes very-low, low, moderate and above-moderate incomes. The table below shows the residential units allocated to the City of Corona for each income category.

Income Category based on Area Median Income (AMI)	Number of Units to Accommodate	%
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81 and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

How does the city demonstrate to HCD that it has enough sites planned for housing?

Included in the city's Housing Element is an inventory of the sites that shows where housing units can be accommodated. The sites must be vacant or underutilized and have potential for development during the eight-year planning period. Some of the sites identified may be already zoned for housing that can accommodate a certain percentage of the RHNA income categories. However, where the city's available sites zoned for residential and mixed use purposes are not adequate to fully meet the city's RHNA, the city would need to rezone sites to plan for housing in accordance with the RHNA allocation. The city's rezoning can include: a) increasing the residential density on property already zoned residential to allow for additional housing units, b) rezoning property from nonresidential to residential; or c) establishing an *affordable housing overlay zone* on currently underutilized properties.

According to HCD's Housing Element Site Inventory Guidebook, an *affordable housing overlay zone* is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed in the future.

Does the city build the housing units on the sites that have been identified in the Housing Element?

No. The city does not build housing. New housing is constructed by developers that own property or plan on acquiring property for new housing.

Is the property owner required to build housing on the sites identified within the 8-year planning cycle of the Housing Element?

No. Although the Housing Element identifies enough sites are available in the city to plan for housing and to facilitate the development of affordable multiple family housing by allowing higher density residential in certain areas, it does not mean the property owner is required to build the housing within the next 8 years or any time in the future. The Housing Element is a planning document that enables the city in meeting its housing goals.

How did the city determine the housing opportunity sites?

Aside from the sites already zoned residential or mixed use, the city used the *best practices for selecting sites to accommodate the lower income RHNA* mentioned in HCD's Housing Element Site Inventory Guidebook. These sites are for higher density residential, which are intended to accommodate housing units for lower and moderate-income households. Additionally, the city used the survey results from the city's housing survey issued earlier this year in February 2021. The survey results are available on the city's website at www.CoronaCA.gov/GPUupdate.



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

Per the HCD Site Inventory Guidebook, sites best suited to accommodate the RHNA for lower income households should include factors such as:

- Proximity to transit.
- Access to high performing schools and jobs.
- Access to amenities, such as parks and services.
- Access to health care facilities and grocery stores.
- Locational criteria that meet Low-income Housing Tax Credit Program funding.
- Proximity to available infrastructure and utilities.
- Sites that do not require environmental mitigation.

The city's housing survey also asked, "Which areas of the city do you think would be better suited for high-density residential involving apartments and/or condominiums?" The survey results show 75.20% of the responses favor higher density in areas where public transportation is within walking distance and 42.80% of the responses favor higher density in areas near commercial centers.

When is the city required to rezone the sites identified for rezoning?

The city has 3 years and 120 days from the beginning of the Housing Element planning period to rezone sites to meet the city's shortfall of the RHNA. The planning period begins on October 15, 2021.

How does HCD know if the City has a state compliant Housing Element after it is adopted by the City Council?

The city is required to submit its draft Housing Element to HCD for review. Prior to adoption of the Housing Element, the city must seek HCD comments on the Draft Housing Element. The adopted Housing Element is also required to be submitted to HCD for review. If HCD determines the city's Housing Element was prepared in compliance with state law, HCD will issue a Finding of Substantial Compliance to the city. If HCD determines the city's Housing Element was not prepared in compliance with state law, the city will need to revise the Housing Element based on HCD's comments. The city would need to resubmit the revised Housing Element to HCD. The city would only need to repeat the latter process if the resubmitted Housing Element is not certified by HCD.

HCD has an Accountability and Enforcement Division that is specifically assigned to monitor the compliance of local jurisdictions' housing elements. This division also investigates complaints on local discretionary land use planning decisions that possibly would jeopardize a certified Housing Element. Additionally, cities are required to submit an annual housing progress report to HCD, which includes an inventory of properties that have been rezoned to meet the shortfall in the RHNA.

The Accountability and Enforcement Division was created due to the passage of Assembly Bill (AB) 72 and AB 101. These laws give additional enforcement tools to HCD and the California Attorney General to move forward with legal action against a local jurisdiction if the Housing Element is not compliant with state law. A city is a subdivision of the state and local laws may not conflict with general law. In this case, general law includes the State Planning and Zoning Law and the specific requirements of the Housing Element law. With the adoption of AB 101 (2019), the Attorney General can seek a court order directing a local jurisdiction to bring its Housing Element into compliance. The court can enforce this by imposing



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

finances, appoint a receiver to step in, take the process over from the local jurisdiction and bring the Housing Element into substantial compliance. Additionally, a jurisdiction would become ineligible for certain grants that require a jurisdiction to have a certified Housing Element.



¿Qué es el Elemento de Vivienda?

El Elemento de Vivienda forma parte del Plan General de la ciudad y es uno de los elementos obligatorios. Eso significa que la ciudad está obligada a tener un elemento de vivienda que sea consistente con las leyes general del Estado. El Elemento de Vivienda se rige por el Código del Gobierno de California y debe actualizarse cada 8 años antes de la fecha límite legal. El Elemento de Vivienda es responsable en identificar la necesidad de vivienda existente y proyectada de una ciudad; metas, pólizas y objetivos cuantificados en el logro de la vivienda para todos los segmentos económicos de la población; recursos financieros disponibles; programas programados para la preservación de la vivienda y una identificación de sitios de vivienda adecuados para todos los segmentos económicos de la comunidad, personas con necesidades especiales y refugios de emergencia.

Artículo 10.6 del Código del Gobierno de California, Secciones 65580-65589.11

¿Por qué se actualiza periódicamente el Elemento de Vivienda?

El período de planificación para el Elemento de Vivienda es de 8 años. El Elemento de Vivienda actual de la ciudad es para el período de planificación 2013-2021. En conformidad con la ley estatal, la ciudad está actualizando su Elemento de Vivienda para el Período de Planificación 2021-2029. El período de planificación del Elemento de Vivienda se alinea con la asignación del Estado de la Evaluación de Necesidades de Vivienda Regional, comúnmente conocida como RHNA. El Departamento de Vivienda y Desarrollo Comunitario del Estado (HCD) evalúa el RHNA cada 8 años y distribuye una asignación de las unidades de vivienda a las diversas regiones del estado. Esta asignación se distribuye finalmente entre los condados y ciudades de California para ser incluida en el Elemento de Vivienda.

¿Cómo sabe la ciudad cómo pueden planificar las unidades residenciales en el Elemento de Vivienda?

El RHNA decide el número de unidades residenciales que la ciudad debe planificar en el Elemento de Vivienda. Para la actualización del Elemento de Vivienda para el período de planificación 2021-2029, la ciudad debe planificar 6,088 unidades de viviendas residenciales.

¿Qué niveles de ingresos de vivienda se requiere la ciudad para planificar en la Actualización del Elemento de Vivienda?

El RHNA identifica específicamente el número de unidades residenciales requeridas para cada segmento de ingresos económicos, que incluye ingresos muy bajos, bajos, moderados y más de moderados. La siguiente tabla muestra las unidades residenciales asignadas a la Ciudad de Corona para cada categoría de ingresos.



ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA

HOJA INFORMATIVA

Abril de 2021

Categoría de ingresos basada en ingresos medios de área (AMI)	Número de unidades para acomodar	%
Ingresos muy bajos entre 31 y 50% AMI	1,752	28.8%
Bajos ingresos entre 51 y 80% AMI	1,040	17.1%
Ingreso moderado entre 81 y 120% AMI	1,096	18.0%
Ingresos más de moderados superiores al 120% AMI	2,200	36.1%
total	6,088	100.0%

¿Cómo demuestra la ciudad a HCD que tiene suficientes sitios planeados para vivienda?

El Elemento de Vivienda de la ciudad incluye un inventario de los sitios que muestran donde se pueden acomodar las unidades de vivienda. Los sitios deben estar vacíos o subutilizados y tener potencial de desarrollo durante el período de planificación de 8 años. Algunos de los sitios identificados tal vez pueden estar zonificados para viviendas que pueden acomodar un cierto porcentaje de las categorías de ingresos de RHNA. Sin embargo, cuando los sitios disponibles de la ciudad están ubicados en zonas para propósitos residenciales y de uso mixto y no sean adecuadas para cumplir plenamente con la RHNA de la ciudad, la ciudad necesitaría resinificar los sitios para planificar viviendas de acuerdo con la asignación de RHNA. La rezonificación de la ciudad puede incluir: a) aumentar la densidad residencial en las propiedades ya zonificados residencial para permitir unidades de vivienda adicionales, b) rezonificación de propiedades que actualmente no son residenciales a residenciales; o c) establecer una *zona de superposición de vivienda asequible* en propiedades actualmente infrautilizado.

De acuerdo con la guía de inventario del sitio del Elemento de Vivienda de HCD, una *zona de viviendas económicas* es una herramienta de zonificación que permite a una ciudad modificar las zonas existentes para permitir o requerir ciertos tipos de desarrollo residencial sin cambiar el distrito de zonificación subyacente. Esto significa que propiedades que actualmente se utilizan para usos no residenciales, como comerciales o industriales zonificados como tal, pueden seguir utilizándose de acuerdo con la zonificación subyacente. Sin embargo, si el propietario decide desarrollar el sitio con usos residenciales, se permitiría que el sitio tenga usos residenciales de acuerdo con las disposiciones establecidas por la superposición de vivienda asequible. La superposición de vivienda asequible demuestra dónde se pueden planificar viviendas adicionales si se reutiliza el uso actual de la propiedad en el futuro.

¿La ciudad construye las unidades de vivienda en los sitios que han sido identificados en el Elemento de Vivienda?

No. La ciudad no construye viviendas. Las viviendas nuevas son construidas por desarrolladores que tienen propiedades o planean adquirir propiedades para nuevas viviendas.

¿Se requiere que el dueño de la propiedad construya viviendas en los sitios identificados dentro del ciclo de planificación de 8 años del Elemento de Vivienda?



No. Aunque el Elemento de Vivienda identifica suficientes sitios disponibles en la ciudad para planificar viviendas y facilitar el desarrollo de viviendas multifamiliares asequibles al permitir una mayor densidad residencial en ciertas áreas, esto no significa que el dueño de la propiedad esté obligado a construir la vivienda en los próximos 8 años o en cualquier momento en el futuro. El Elemento de Vivienda es un documento de planificación que habilita la ciudad en el cumplimiento de sus objetivos de vivienda.

¿Cómo determinó la ciudad los sitios de oportunidades de viviendas?

Aparte de los sitios ya establecidos en zonas residenciales o de uso mixto, la ciudad utilizó las *mejores prácticas para seleccionar sitios para acomodar los ingresos más bajos RHNA* mencionados en la guía de inventario del sitio del Elemento de Vivienda de HCD. Estos sitios son para viviendas de mayor densidad, que están destinadas para acomodar unidades de vivienda para hogares de ingresos bajos y moderados. Además, la ciudad utilizó los resultados de la encuesta de vivienda de la ciudad, realizado a principios de este año en Febrero del 2021. Los resultados de la encuesta están disponibles en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate.

Identificado en la guía de inventario del sitio de HCD, los sitios más adecuados para acomodar el RHNA para los hogares de menores ingresos deben incluir factores como:

- Proximidad al tránsito.
- Acceso a escuelas y trabajos de alto rendimiento.
- Acceso a comodidades, como parques y servicios.
- Acceso a centros de salud y supermercados.
- Criterios de ubicación que cumplen con los fondos del Programa de Crédito Tributario de Vivienda de Bajos Ingresos.
- Proximidad a la infraestructura y los servicios públicos disponibles.
- Sitios que no requieren mitigación ambiental.

La encuesta de vivienda de la ciudad también preguntó: "¿Qué áreas de la ciudad crees que serían más adecuadas para residenciales de alta densidad que involucran apartamentos y/o condominios?" Los resultados de la encuesta muestran que el 75.20% de las respuestas favorecen una mayor densidad en las zonas donde el transporte público está a poca distancia y el 42.80% de las respuestas favorece una mayor densidad en áreas cercanas a los centros comerciales.

¿Cuándo se requiere que la ciudad rezonifique los sitios identificados para la rezonificación?

La ciudad tiene 3 años y 120 días desde el comienzo del período de planificación del Elemento de Vivienda para rezonificar los sitios para satisfacer el déficit de la ciudad del RHNA. El período de planificación comienza el 15 de Octubre de 2021.

¿Cómo sabe HCD si la ciudad tiene un Elemento de Vivienda que cumple con el Estado después de que sea adoptado por el Ayuntamiento?

La ciudad está obligada a presentar su proyecto de Elemento de Vivienda a HCD para su revisión. Antes de la adopción del Elemento de Vivienda, la ciudad debe buscar comentarios de HCD sobre el proyecto de



ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA

HOJA INFORMATIVA

Abril de 2021

Elemento de Vivienda. El elemento de vivienda adoptado también está obligado a ser presentado al HCD para su revisión. Si el HCD determina que el Elemento de Vivienda de la ciudad fue preparado de acuerdo con las leyes estatales, HDC emitirá una Constatación de Cumplimiento Sustancial a la ciudad. Si el HCD determina que el Elemento de Vivienda de la ciudad no fue preparado de acuerdo con la ley estatal, la ciudad tendrá que revisar el Elemento de Vivienda basado en los comentarios de HCD. La ciudad tendría que volver a enviar el Elemento de Vivienda revisado a HCD. La ciudad sólo necesitaría repetir este último proceso si el Elemento de Vivienda reenviado no está certificado por HCD.

HCD tiene una División de Rendición de Cuentas y Cumplimiento que se asigna específicamente para supervisar el cumplimiento de los elementos de vivienda de las jurisdicciones locales. Esta división también investiga las quejas sobre las decisiones locales discrecionales de planificación del uso del suelo que posiblemente pondrían en peligro un elemento de vivienda certificado. Además, las ciudades están obligadas a presentar un informe anual sobre el progreso de la vivienda a HCD, que incluye un inventario de las propiedades que se han rezonificado para cubrir el déficit en el RHNA.

La División de Responsabilidad y Cumplimiento se creó debido al paso de proyecto de ley (AB) 72 y AB 101. Estas leyes dan herramientas de aplicación adicionales a HCD y al Fiscal General de California para avanzar en acciones legales contra una jurisdicción local si el Elemento de Vivienda no cumple con la ley estatal. Una ciudad es una subdivisión del estado y las leyes locales no pueden entrar en conflicto con la Ley general. En este caso, la ley general incluye la Ley de Planificación y Zonificación del Estado y los requisitos específicos de la Ley de Elemento de Vivienda. Con la adopción de AB 101 (2019), el Fiscal General puede solicitar una orden judicial que ordene a una jurisdicción local que cumpla con su Elemento de Vivienda. El tribunal puede hacer cumplir esto imponiendo multas, nombrar un receptor para intervenir, tomar el proceso de la jurisdicción local y poner el Elemento de Vivienda en cumplimiento sustancial. Además, una jurisdicción pasaría a ser inelegible para ciertas subvenciones que requieren una jurisdicción que tenga un Elemento de Vivienda certificado.

Appendix B

SITES INVENTORY

Vacant and Underutilized Sites

Table A: Housing Element Sites Inventory, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
																			Improvement-To-Land Ratio	Structure Age	
CORONA	Prairie Cir.	92881	11610059 CA		RR Z	R1A	0.5	1	10.11 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Crown Ranch Rd	92881	11615003 JF		RR Z	R1A/HU	0.5	1	2.94 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Hidden Springs Dr	92881	11612006 AG		RR Z	R1A/HU	0.5	1	0.77 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	S Main St	92882	116180002 X		RR Z	R1A/HU	1	1	59.72 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	44	44	0.00	N/A		
CORONA	Jameson Dr	92881	11612008 CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612009 LB		RR Z	RS-35	0.5	1.47	0.81 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612000 LB		RR Z	RS-35	0.5	1.47	0.82 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Crown Ranch Rd	92881	11612008 IE		RR Z	R1A	1	1	0.67 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Crown Ranch Rd	92881	11612006 B		RR Z	RS-35	1	1.47	0.87 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008 CS		RR Z	RS-35	1	1.47	0.81 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008 LB		RR Z	RS-35	1	1.47	0.93 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008 LB		RR Z	RS-35	1	1.47	1.05 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	S Main St	92882	11612008 AG		RR Z	R1A/HU	1	1	0.91 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	S Main St	92882	116180003 X		RR Z	R1A	1	1	2.45 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	170 Howe St	92881	11612001 AA		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	3250 Howe St	92881	116120011 AA		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	3565 Howe St	92881	116120016 AB		RR Z	RS-14.4	1	3	2.27 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	Robbie Ave	92881	11612009 AG		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141005 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141006 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141007 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141008 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141009 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141010 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141011 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141012 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141013 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141014 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141016 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141017 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141018 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141019 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141020 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141021 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141022 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141023 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141024 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141025 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141026 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116141027 AL		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142001 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142002 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142003 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142004 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142005 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142006 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142007 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142008 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142009 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142010 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142011 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142012 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142013 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142014 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142015 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142016 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142017 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142018 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142019 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142020 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142021 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142022 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142023 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142024 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142025 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142026 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142027 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142028 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142029 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142030 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142031 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142032 AD		RR Z	RS-14.4	1	3	0.15 Vacant	YES - Current		NO - Privately-Ow Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Howe St	92881	116142033 AD		RR Z	RS															

Jurisdiction Name	Site Address/Inter- section	5 Digit ZIP	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly- Owned	Site Status	Identified in Last/Last Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
CORONA	Casper Cir.	92881	1163100/8 BL	ER	R1A	RI-1	1	3	1.14	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1151 Casper Cir.	92881	1163100/38	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/72 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/73 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/74 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/75 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/76 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/77 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/83 CB	ER	R1A	RI-1	1	3	0.94	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1258 Ann Cir.	92881	1163300/09	ER	R1A	RI-1	1	3	0.85	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Chase Dr.	92882	1172400/01	LDR	R1-1	RI-1	1	3	0.5	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	W Chase Dr.	92882	1172500/04	LDR	R1-1	RI-1	1	3	0.68	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	San Jacinto Dr.	92879	1150400/01 Y	LDR	A-14.4	RI-14.4	1	3	1.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	San Jacinto Dr.	92879	1150400/01 Y	LDR	A-14.4	RI-14.4	1	3	0.67	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1416 Pleasant View	92882	118113011 AM	LDR	RI-1/2	RI-1/2	1	3	0.09	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Pleasant View, Ave.	92882	118113012 AM	LDR	RI-1/2	RI-1/2	1	3	0.42	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Mesa Dr.	92879	1221800/07 AQ	LDR	A-14.4	RI-14.4	1	3	2.07	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	Mesa Dr.	92879	1221800/15 AQ	LDR	A-14.4	RI-14.4	1	3	0.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Corona Ave.	92879	1221800/31 AS	LDR	RI-8.4	RI-8.4	1	3	2.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	6	6	0.00	N/A		
CORONA	Corona Ave.	92879	1221800/32 AS	LDR	A-14.4	RI-14.4	1	3	1.47	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	W Football Pkwy.	92882	1172400/06	LDR	RI-9.6	RI-9.6	1	4	1.57	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	2217 S Lincoln Ave.	92882	1131400/16 W	LDR	RI-9.6	RI-9.6	3	4.5	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Lincoln Ave.	92882	1131400/18 W	LDR	RI-9.6	RI-9.6	3	4.5	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Burder Ave.	92882	1122010/11 V	LDR	RI-8.4	RI-8.4	3	5	4.51	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	12	12	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152510/14 C	LDR	SP-6	SP-6	3	6	0.32	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	E Parkside Ave.	92879	1150400/39 C	LDR	A	A	3	6	11.4	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	51	51	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152000/04 C	LDR	A	A	3	6	0.3	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	755 John Cir.	92882	1122110/04	LDR	NL	NL	3	6	3.36	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	W Football Pkwy.	92882	1132220/20	LDR	WF	WF	3	6	0.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1194010/20	LDR	SP-6	SP-6	3	6	0.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1171010/02	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1171130/07	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Victoria Ave.	92879	1171120/02	LDR	SP-6	SP-6	3	6	0.18	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	310 S Victoria Ave.	92879	1171130/10	LDR	SP-6	SP-6	3	6	0.16	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	401 S Victoria Ave.	92879	1171130/05	SP	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	507 E 5th St.	92879	1171620/05	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1050 W 5th St.	92879	1171280/15	LDR	SP-6	SP-6	3	6	0.16	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Quarry St.	92879	1172810/09	LDR	SP-6	SP-6	3	6	0.24	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Quarry St.	92879	1172810/11	LDR	SP-6	SP-6	3	6	0.23	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152010/05	LDR	SP-6	SP-6	3	6	1.44	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Skilling Dr.	92882	1172300/10	LDR	RI-1	RI-1	3	6	0.69	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Skilling Dr.	92882	1172300/11	LDR	RI-1/2	RI-1/2	3	6	0.69	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1263 S Lincoln Ave.	92882	1101500/42	LDR	RI-1/2	RI-1/2	3	6	0.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	945 W Kendall St.	92882	1102310/16	LDR	RI-1/2	RI-1/2	3	6	0.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Citron St.	92882	1101500/31	LDR	RI-1/2	RI-1/2	3	6	4.72	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	16	16	0.00	N/A		
CORONA	Behadady St.	92879	1083610/47	LDR	SP-6	SP-6	3	6	0.57	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Rainbow St.	92882	1171020/01	LDR	RI-1/2	RI-1/2	3	6	0.49	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	142 N Victoria Ave	92882	1182900/43	MOR	K3	K3	6	15	0.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	5	5	0.00	N/A		
CORONA	S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	1.51	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	33	33	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	449 River Rd.	92880	1190810/12	HDR	K3	K3	15	36	0.42	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	11	11	0.00	N/A		
CORONA	1000 S Sherman Ave.	92882	1182110/20	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	38	38	0.00	N/A		
CORONA	Temescal Canyon R.	92883	1282110/01	HDR	K3	K3	15	36	2.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	57	57	0.00	N/A		
CORONA	231 Violet St.	92882	1182400/23	MOR	K3-1/2	K3-1/2	3	6	0.25	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	135 N Victoria Ave.	92882	11710310/17	MOR	K3-1/2	K3-1/2	3	6	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	147 N Victoria Ave.	92882	11710310/30	MOR	RI-1/2	RI-1/2	3	6	0.37	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Fullerton Ave.	92881	1208510/01	MOR	K3	K3	6	15	1.4	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	201 Violet St.	92882	1182600/04 AU	MOR	K3	K3	6	15	0.2	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Violet St.	92882	1182600/05 AU	MOR	K3	K3	6	15	0.15	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Violet St.	92882	1182600/06 AU	MOR	K3	K3	6	15	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1043 Circle City Dr.	92879	1173200/36	HDR	K3	K3	15	36	0.14	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	506 S Sherman Ave.	92882	1173400/05	MUD	U	U	15	35	0.1	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	1113 Circle City Dr.	92879	1173400/20	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	1210 S St.	92882	1183100/08	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	815 S Sherman Ave	92882	1101500/27	HDR	K-3	K-3	15	36	1.22	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	32	32	0.00	N/A		
CORONA	E St.	92882	1181830/06 AN	HDR	K3	K3	15	36	0.89	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	16	0	0	16	0.00	N/A		
CORONA	E St.	92882	1181830/12 AN	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	2	0	0	2	0.00	N/A		
CORONA	E St.	92882	1181830/23 AN	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	2	0	0	2	0.00	N/A		
CORONA	E St.	92882	1181830/24 AN	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	2	0	0	2	0.00	N/A		
CORONA	W 2nd St.	92882	1182700/05	MRF	K3	K3	15	36	4.01	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	108	108	0.00	N/A		
CORONA	151 N Merrill St.	92882	1170420/13 BU	MOR	K2	K2	6	15	0.17	Residential (1)	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	2.64	1928		
CORONA	825 N Main St																				

Appendix B-2 Sites to be Rezoned

Table B: Candidate Sites Identified to be Rezoned to Accommodate Shortfall Housing Need, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Optional Information 2	Optional Information 22	Optional Information 3
																			Consolidated S	Improve nt-To-Land Ratio	Year Built
CORONADO	2550 S Main St.	92882	113310005	0	0	45	0	Shortfall of Sit	4.00	MDR	A	MDR	R2	6	15	45	Non-Vacant	Industrial (FAR: 0.2) - Church complex, very large parking lot, and industrial		0.00	1979
CORONADO	777 S Temescal St.	92879	107050034	0	0	20	0	Shortfall of Sit	1.80	GC	C2	HDR	MP	6	15	20	Vacant	Vacant		0.00	N/A
CORONADO	820 S Victoria Ave.	92879	117232002	0	0	1	0	Shortfall of Sit	0.17	LDR	SF	MDR	MFR	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CX	2.21	1936
CORONADO	822 S Victoria Ave.	92879	117232001	0	0	1	0	Shortfall of Sit	0.18	LDR	SF	MDR	MFR	6	15	1	Non-Vacant	Residential (1) - Home adjacent to large empty grass area, Occupied	CX	0.00	1948
CORONADO	801 S Victoria Ave.	92879	117233008	0	0	2	0	Shortfall of Sit	0.17	LDR	SF	MDR	MFR	6	15	2	Non-Vacant	Residential (1) - Occupied, Existing utilities available		1.44	1900
CORONADO	724 Barth St.	92879	111042031	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.58	1932
CORONADO	730 Barth St.	92879	111042024	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.63	1934
CORONADO	802 Barth St.	92879	111042025	0	0	4	0	Shortfall of Sit	0.51	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.65	1920
CORONADO	808 Barth St.	92879	111042026	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	4.00	1927
CORONADO	814 Barth St.	92879	111042027	0	0	4	0	Shortfall of Sit	0.52	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	3.60	1926
CORONADO	813 Ford St.	92879	111042013	0	0	4	0	Shortfall of Sit	0.51	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	1.82	1927
CORONADO	807 Ford St.	92879	111042014	0	0	4	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.00	1928
CORONADO	801 Ford St.	92879	111042015	0	0	5	0	Shortfall of Sit	0.51	LDR	R1-7.2	MDR	R2	6	15	5	Non-Vacant	Residential (1) - Home, Occupied, back lot house with large yard	CY	3.92	1981
CORONADO	779 Ford St.	92879	111042016	0	0	5	0	Shortfall of Sit	0.50	LDR	R1-7.2	MDR	R2	6	15	5	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	3.31	N/A
CORONADO	716 Barth St.	92879	111042011	0	0	2	0	Shortfall of Sit	0.32	LDR	R1-7.2	MDR	R2	6	15	2	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	0.00	1941
CORONADO	801 Quarry St.	92879	117281007	0	0	1	0	Shortfall of Sit	0.25	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Large front and back lot, Existing utilities available	CE	1.65	2004
CORONADO	805 Quarry St.	92879	117281008	0	0	1	0	Shortfall of Sit	0.24	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	0.00	1973
CORONADO	901 Quarry St.	92879	117281010	0	0	1	0	Shortfall of Sit	0.23	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	4.70	1957
CORONADO	907 Quarry St.	92879	117281012	0	0	1	0	Shortfall of Sit	0.21	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	0.82	1944
CORONADO	911 Quarry St.	92879	117281013	0	0	1	0	Shortfall of Sit	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	3.92	1960
CORONADO	915 Quarry St.	92879	117281014	0	0	1	0	Shortfall of Sit	0.23	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	2.09	1942
CORONADO	919 Quarry St.	92879	117281015	0	0	1	0	Shortfall of Sit	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	1.40	1958
CORONADO	923 Quarry St.	92879	117281016	0	0	1	0	Shortfall of Sit	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	1.70	1962
CORONADO	1001 Quarry St.	92879	117282005	0	0	9	0	Shortfall of Sit	0.84	LDR	SF	MDR	R2	6	15	9	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	0.10	1940
CORONADO	1019 Quarry St.	92879	117290019	0	0	1	0	Shortfall of Sit	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	3.25	1943
CORONADO	1023 Quarry St.	92879	117290020	0	0	1	0	Shortfall of Sit	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	3.20	1958
CORONADO	1025 Quarry St.	92879	117290021	0	0	1	0	Shortfall of Sit	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	2.66	1945
CORONADO	S Merrill St.	92882	117133004	0	0	5	0	Shortfall of Sit	0.51	LDR	SF	MDR	MFR	6	15	5	Non-Vacant	Recreational		0.18	N/A
CORONADO	Ford St.	92879	111042019	0	0	2	0	Shortfall of Sit	0.29	LDR	R1-7.2	MDR	R2	6	15	2	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	0.20	N/A
CORONADO	Quarry St.	92879	117281009	0	0	2	0	Shortfall of Sit	0.24	LDR	SF	MDR	R2	6	15	2	Non-Vacant	Vacant	CE	0.00	N/A
CORONADO	Quarry St.	92879	117281011	0	0	2	0	Shortfall of Sit	0.23	LDR	SF	MDR	R2	6	15	2	Vacant	Vacant	CE	0.00	N/A
CORONADO	6th St.	92882	118283033	0	0	11	0	Shortfall of Sit	0.42	MDR	MF1	HDR	MFR	15	36	11	Non-Vacant	Parking lot		0.00	N/A
CORONADO	6th St.	92879	115080001	0	0	7	0	Shortfall of Sit	0.27	MU2	BP	HDR	MF	15	36	7	Vacant	Vacant		0.00	N/A
CORONADO	44 E Grand Blvd.	92882	117080003	0	0	3	0	Shortfall of Sit	0.18	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	1.11	1907
CORONADO	116 N Victoria Ave.	92882	117080004	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	3.05	1910
CORONADO	110 N Victoria Ave.	92882	117080005	0	0	3	0	Shortfall of Sit	0.18	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	1.73	1981
CORONADO	108 N Victoria Ave.	92882	117080018	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	2.17	1951
CORONADO	115 N Victoria Ave.	92882	117080009	0	0	4	0	Shortfall of Sit	0.21	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CN	1.22	1895
CORONADO	111 N Victoria Ave.	92882	117080022	0	0	3	0	Shortfall of Sit	0.16	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CN	0.94	1928
CORONADO	101 S Sheridan St.	92882	117070004	0	0	4	0	Shortfall of Sit	0.24	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (2) - Occupied, Existing utilities available	CO	4.71	1925
CORONADO	103 N Sheridan St.	92882	117070003	0	0	4	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	4	Non-Vacant	Vacant	CO	0.00	N/A
CORONADO	114 N Belle Ave.	92882	117070006	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CP	2.29	1961
CORONADO	110 N Belle Ave.	92882	117070007	0	0	3	0	Shortfall of Sit	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied home, potentially vacant plot sepa	CP	1.57	1912
CORONADO	49 W Grand Blvd.	92882	117070013	0	0	4	0	Shortfall of Sit	0.21	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CQ	3.57	1947
CORONADO	45 W Grand Blvd.	92882	117070014	0	0	2	0	Shortfall of Sit	0.14	GC	GB	HDR	MF	15	36	2	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CQ	1.64	1954
CORONADO	E 8th St.	92882	117232006	0	0	4	0	Shortfall of Sit	0.16	LDR	SF	HDR	MF	15	36	4	Vacant	Vacant	DE	0.00	N/A
CORONADO	E 8th St.	92882	117232005	0	0	4	0	Shortfall of Sit	0.18	LDR	SF	HDR	MF	15	36	4	Vacant	Vacant	DE	0.00	N/A
CORONADO	312 S Merrill St.	92882	117092007	0	0	14	0	Shortfall of Sit	0.52	LDR	SF	HDR	MF	15	36	14	Non-Vacant	Commercial (FAR: 0.4) - Youth Organization (YMCA Youth Center at Merrill		3.00	N/A
CORONADO	1220 W Ontario Av	92880	113020015	27	27	0	0	Shortfall of Sit	2.00	LDR	R1-9.6	HDR	R3	15	36	54	Non-Vacant	Institutional (FAR: 0.1) - Church building with large parking lot, adjacent to		1.36	2002
CORONADO	551 S Joy St.	91719	117165020	7	7	0	0	Shortfall of Sit	0.52	MU1	RO	MU1	MFR	15	36	14	Non-Vacant	Commercial (FAR: 0.5) - Strip mall with parking lot, Existing utilities availab		0.00	N/A
CORONADO	1410 E 6th St.	92879	107020002	26	27	0	0	Shortfall of Sit	3.82	BP	MU2	HDR	HDR	15	36	53	Non-Vacant	Mobile home park		3.77	N/A
CORONADO	1108 E 5th St.	92879	117332005	1	2	0	0	Shortfall of Sit	0.50	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.91	N/A
CORONADO	6th St.	92879	117332006	4	4	0	0	Shortfall of Sit	0.50	GC	MU2	HDR	MFR	15	36	8	Non-Vacant	Mobile home park	DG	0.23	N/A
CORONADO	1111 E 6th St.	92879	117332004	4	4	0	0	Shortfall of Sit	0.67	GC	MU2	HDR	MFR	15	36	8	Non-Vacant	Mobile home park	DG	0.55	N/A
CORONADO	5th Street	92879	117332003	2	1	0	0	Shortfall of Sit	0.32	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.00	N/A
CORONADO	6th St.	92879	117332007	2	1	0	0	Shortfall of Sit	0.17	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.00	N/A
CORONADO	6th St.	92879	117332008	2	1	0	0	Shortfall of Sit	0.17	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Commercial (FAR: 0.1) - Unoccupied building, Existing utilities	DG	0.00	N/A
CORONADO	211 S Joy St.	92879	117122002	0	0	9	0	Shortfall of Sit	0.20	MU1	TC	MU1	TC (AHO)	30	60	9	Vacant	Vacant		0.00	N/A
CORONADO	904 S Ramona Ave	92879	117238005	0	0	7	0	Shortfall of Sit	0.17	OP	CS	MU1	CS (AHO)	30	60	7	Vacant	Vacant	CV	0.00	N/A
CORONADO	912 S Ramona Ave	92879	117238012	0	0	7	0	Shortfall of Sit	0.20	OP	CS	MU1	CS (AHO)	30	60	7	Vacant	Vacant	CV	0.00	N/A
CORONADO	901 S Ramona Ave	92879	117238006	0	0	7	0	Shortfall of Sit	0.21	OP	CS	MU1	CS (AHO)	30	60	7	Vacant	Vacant	CW	0.00	N/A
CORONADO	615 S Sherman Av	92882	110040023	0	0	17	0	Shortfall of Sit	0.39	GC	C3	MU1	C3 (AHO)	30	60	17	Non-Vacant	Commercial (FAR: 0.5) - Car wash, small lot in use, Existing utilities availa		1.71	1979
CORONADO	510 W 6th St.	92882	117172002	0	0	23	0	Shortfall of Sit	0.53	MU1	TC	MU1	TC (AHO)	30	60	23	Non-Vacant	Commercial (FAR: 0.5) - Retail Existing utilities available	DD	1.68	N/A
CORONADO	1065 Railroad St.	92881	118210041	0	0	83	0	Shortfall of Sit	1.86	GC	C3	MU1	C3 (AHO)	30	60	83	Non-Vacant	Commercial (FAR: 0.1) - Unoccupied building Existing utilities available		0.08	N/A
CORONADO	514 W 6th St.	92882	117172001	0	0	24	0	Shortfall of Sit	0.54	MU1	TC	MU1	TC (AHO)	30	60	24	Vacant	Vacant	DD	0.00	N/A
CORONADO	904 S Ramona Ave	92882	117238004</																		

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Optional Information 2	Optional Information 22	Optional Information 3
CORONA	844 W 6th St.	92882	110101011	4	5	0	0	Shortfall of Sit	0.20	MU1	GC	MU1	GC (AHO)	30	60	9	Non-Vacant	Commercial (FAR: 0.2) - Retail (Flower Shop with small parking lot)	CJ	0.54	1928
CORONA	836 W 6th St.	92882	110101010	8	9	0	0	Shortfall of Sit	0.38	MU1	GC	MU1	GC (AHO)	30	60	17	Non-Vacant	Commercial (FAR: 0.4) - Retail (Tire shop and parking lot) Existing	CJ	1.50	1967
CORONA	832 W 6th St.	92882	110101009	3	3	0	0	Shortfall of Sit	0.15	MU1	GC	MU1	GC (AHO)	30	60	6	Non-Vacant	Commercial (FAR: 0.2) - Dentist Offices, two separate structures	CJ	0.88	N/A
CORONA	828 W 6th St.	92882	110101027	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Non-Vacant	Commercial (FAR: 0.4) - Retail (Cosmetic Implants and Dental)	CJ	1.21	1922
CORONA	826 W 6th St.	92882	110101007	2	3	0	0	Shortfall of Sit	0.11	MU1	GC	MU1	GC (AHO)	30	60	5	Non-Vacant	Commercial (FAR: 0.6) - Barber Shop Existing utilities available	CJ	1.06	N/A
CORONA	820 W 6th St.	92882	110101006	3	4	0	0	Shortfall of Sit	0.21	MU1	GC	MU1	GC (AHO)	30	60	7	Non-Vacant	Commercial (FAR: 0.4) - Residential home adjacent to empty lot	CJ	1.85	N/A
CORONA	816 W 6th St.	92882	110101005	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Non-Vacant	Commercial (FAR: 0.5) - Retail (Mower shop building and small lot)	CJ	1.85	1971
CORONA	812 W 6th St.	92882	110101004	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Vacant	Vacant	CJ	0.00	N/A
CORONA	808 W 6th St.	92882	110101003	3	3	0	0	Shortfall of Sit	0.15	MU1	GC	MU1	GC (AHO)	30	60	6	Non-Vacant	Commercial (FAR: 0.25) - Building and parking spot, Existing utilities	CJ	0.51	N/A
CORONA	802 W 6th St.	92882	110101001	2	2	0	0	Shortfall of Sit	0.10	MU1	GC	MU1	GC (AHO)	30	60	4	Non-Vacant	Commercial (FAR: 0.7) - Retail (Insurance agencies, one building)	CJ	3.00	1958
CORONA	612 S Vicentia	92882	110101002	2	2	0	0	Shortfall of Sit	0.10	MU1	GC	MU1	GC (AHO)	30	60	4	Non-Vacant	Commercial (FAR: 0.6) - Residential home, Existing utilities available	CJ	2.33	1920
CORONA	229 Grand Blvd.	92882	117091022	24	25	0	0	Shortfall of Sit	1.10	GC	CS	MU1	CS (AHO)	30	60	49	Non-Vacant	Commercial (FAR: 0.25) - Residential, Existing utilities available	CJ	0.64	1915
CORONA	1341 W 6th St.	92882	118130013	20	21	0	0	Shortfall of Sit	0.92	GC	C3	MU1	C3 (AHO)	30	60	41	Vacant	Vacant	AM	0.00	N/A
CORONA	1335 W 6th St.	92882	118130014	22	23	0	0	Shortfall of Sit	1.02	GC	C3	MU1	C3 (AHO)	30	60	45	Vacant	Vacant	AM	0.00	N/A
CORONA	1338 W 6th St.	92882	110030004	5	5	0	0	Shortfall of Sit	0.24	GC	C3	MU1	C3 (AHO)	30	60	10	Non-Vacant	Commercial (FAR: 0.4) - Retail (Firearm shop, two structures)	CR	0.57	1952
CORONA	1334 W 6th St.	92882	110030003	10	11	0	0	Shortfall of Sit	0.48	GC	C3	MU1	C3 (AHO)	30	60	21	Non-Vacant	Commercial (FAR: 0.5) - Large parking lot, Existing utilities available	CR	2.46	N/A
CORONA	1330 W 6th St.	92882	110030008	6	6	0	0	Shortfall of Sit	0.28	GC	C3	MU1	C3 (AHO)	30	60	12	Non-Vacant	Commercial (FAR: 0.2) - Retail (Bar, small building) Existing	CR	0.37	1951
CORONA	1865 W 6th St.	92882	102270015	17	17	0	0	Shortfall of Sit	0.77	GC	C3	MU1	C3 (AHO)	30	60	34	Non-Vacant	Commercial (FAR: 0.25) - Retail (Restaurant, large underutilized lot)	CS	1.62	1975
CORONA	1180 W 6th St.	92882	110040039	15	16	0	0	Shortfall of Sit	0.69	GC	C	MU1	C (AHO)	30	60	31	Non-Vacant	Commercial (FAR: 0.5) - Strip mall, partially unoccupied with lot	CU	2.03	1991
CORONA	1210 W 6th St.	92882	110040042	32	33	0	0	Shortfall of Sit	1.46	GC	C	MU1	C (AHO)	30	60	65	Non-Vacant	Commercial (FAR: 0.5) - Retail (Strip mall and parking lot), Existing	CU	1.67	1991
CORONA	1201 E 6th St.	92882	115690013	66	67	0	0	Shortfall of Sit	2.96	MU2	BP	MU1	BP (AHO)	30	60	133	Non-Vacant	Commercial (FAR: 0.25) - Retail, Existing utilities available	CU	1.86	N/A
CORONA	1354 E 6th St.	92882	115090003	67	68	0	0	Shortfall of Sit	3.00	MU2	M1	MU1	M1 (AHO)	30	60	135	Non-Vacant	Commercial (FAR: 0.1) - Industrial (Warehouse/Office) Existing	DC	2.04	N/A
CORONA	Circle City Dr.	92879	111290040	9	10	0	0	Shortfall of Sit	0.44	MU2	M1	MU2	M1 (AHO)	30	60	19	Non-Vacant	Industrial (FAR: 0.1), No built structures, industrial storage (i.e. no	DC	0.00	N/A
CORONA	Circle City Dr.	92879	111290039	38	38	0	0	Shortfall of Sit	1.71	MU2	M1	MU2	M1 (AHO)	30	60	76	Non-Vacant	Industrial (FAR: 0.1), No built structures, industrial storage (i.e. no	DC	0.00	N/A
CORONA	Circle City Dr.	92879	111290021	24	24	0	0	Shortfall of Sit	1.08	MU2	M1	MU2	M1 (AHO)	30	60	48	Vacant	Vacant	CZ	0.00	N/A
CORONA	Circle City Dr.	92879	111290022	17	17	0	0	Shortfall of Sit	0.77	MU2	M1	MU2	M1 (AHO)	30	60	34	Vacant	Vacant	CZ	0.00	N/A
CORONA	Circle City Dr.	92879	111290023	10	11	0	0	Shortfall of Sit	0.47	MU2	M1	MU2	M1 (AHO)	30	60	21	Vacant	Vacant	CZ	0.00	N/A
CORONA	E 6th St.	92879	115090024	59	60	0	0	Shortfall of Sit	2.66	MU2	M1	MU2	M1 (AHO)	30	60	119	Non-Vacant	Industrial (FAR 0.0) No built structures, industrial storage (i.e. no	DC	0.00	N/A
CORONA	E 6th St.	92879	115090021	26	26	0	0	Shortfall of Sit	1.17	MU2	M1	MU2	M1 (AHO)	30	60	52	Non-Vacant	Industrial (FAR 0.0) No built structures, industrial storage (i.e. no	DC	0.00	N/A
CORONA	E 5th St.	92879	117331006	16	17	0	0	Shortfall of Sit	0.74	MU2	BP	MU1	BP (AHO)	30	60	33	Non-Vacant	Industrial (FAR 0.1), one structure and large parking spaces	DC	0.02	N/A
CORONA	Peasant View Ave.	92882	118130031	11	11	0	0	Shortfall of Sit	0.49	GC	C3	MU1	C3 (AHO)	30	60	22	Vacant	Vacant	AM	0.00	N/A
CORONA	W 6th St.	92882	110030030	9	10	0	0	Shortfall of Sit	0.43	GC	C3	MU1	C3 (AHO)	30	60	19	Vacant	Vacant	CR	0.00	N/A
CORONA	Yorba St.	92882	102290010	3	4	0	0	Shortfall of Sit	0.17	GC	C3	MU1	C3 (AHO)	30	60	7	Non-Vacant	Industrial (FAR 0.0) - parking lot space adjacent to used car d	CR	0.00	N/A
CORONA	W 6th St.	92879	110040041	26	26	0	0	Shortfall of Sit	1.16	GC	C	MU1	C3 (AHO)	30	60	52	Non-Vacant	Commercial (FAR: 0.25) - Retail (parking lot adjacent to strip	CU	0.03	N/A
CORONA	6th St.	92882	110020008	13	14	0	0	Shortfall of Sit	0.61	GC	C3	MU1	C3 (AHO)	30	60	27	Vacant	Vacant	CK	0.00	N/A
CORONA	E 6th St.	92879	117332015	6	6	0	0	Shortfall of Sit	0.27	MU 2	GC	MU1	GC (AHO)	30	60	12	Vacant	Vacant	O	0.00	N/A
CORONA	E 6th St.	92879	117332016	7	7	0	0	Shortfall of Sit	0.33	MU 2	GC	MU1	GC (AHO)	30	60	14	Vacant	Vacant	O	0.00	N/A
CORONA	E Blaine St.	92879	119311019	6	6	0	0	Shortfall of Sit	0.27	MU 1	MU	MU1	MU (AHO)	30	60	12	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311018	3	4	0	0	Shortfall of Sit	0.17	MU 1	MU	MU1	MU (AHO)	30	60	7	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311017	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311016	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311043	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311042	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311041	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORONA	100 E Harrison St.	92879	119311025	20	21	7	0	Shortfall of Sit	1.09	MU 1	MU	MU1	MU (AHO)	30	60	48	Non-Vacant	Commercial (FAR: 0.2) - Retail (Bar/Pub) Existing utilities available	BQ	1.08	1979
CORONA	E Blaine St.	92879	119311015	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Non-Vacant	Commercial (FAR: 0.9) - Industrial (Warehouse/Office) Existing	BQ	6.31	N/A
CORONA	E Blaine St.	92879	119311014	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing	BQ	0.00	N/A
CORONA	E Blaine St.	92879	119311013	1	1	0	0	Shortfall of Sit	0.04	MU 1	MU	MU1	MU (AHO)	30	60	2	Non-Vacant	Commercial (FAR: 0.2) - Industrial/Vacant Existing utilities available	BQ	0.00	N/A
CORONA	320 E Harrison St.	92879	119311005	5	6	10	0	Shortfall of Sit	0.53	MU 1	MU	MU1	MU (AHO)	30	60	21	Non-Vacant	Commercial (FAR: 0.3) - Retail (Auto Shop) Existing utilities available	BQ	0.41	N/A
CORONA	280 E Harrison St.	92879	119311004	5	6	5	0	Shortfall of Sit	0.35	MU 1	MU	MU1	MU (AHO)	30	60	16	Non-Vacant	Commercial (FAR: 0.4) - Industrial (Warehouse/Office) Existing	BQ	4.05	1973
CORONA	240 E Harrison St.	92879	119311003	4	5	3	0	Shortfall of Sit	0.27	MU 1	MU	MU1	MU (AHO)	30	60	12	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing	BQ	4.13	1973
CORONA	122 E Harrison St.	92879	119311002	14	14	16	0	Shortfall of Sit	0.97	MU 1	MU	MU1	MU (AHO)	30	60	44	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing	BQ	1.93	1973
CORONA	E Blaine St.	92879	119311040	4	5	0	0	Shortfall of Sit	0.20	MU 1	MU	MU1	MU (AHO)	30	60	9	Non-Vacant	Commercial (FAR: 0.1)	BQ	0.00	N/A
CORONA	S Smith Ave.	92882	110020012	11	12	0	0	Shortfall of Sit	0.50	HDR	R3	UDR	R3 (AHO)	30	60	23	Non-Vacant	RV Storage, parking spots adjacent to structure	BR	0.00	N/A
CORONA	1362 W 6th St.	92882	110030015	81	81	0	0	Shortfall of Sit	3.60	HDR	R3	UDR	R3 (AHO)	30	60	162	Non-Vacant	RV Storage with large parking lot	BR	0.14	1950
CORONA	1553 Yorba St.	92882	118050020	14	15	0	0	Shortfall of Sit	0.64	GC	C3	MU1	C3 (AHO)	30	60	29	Non-Vacant	Storage	CL	0.21	N/A
CORONA	1549 Yorba St.	92882	118050019	9	10	0	0	Shortfall of Sit	0.43	GC	C3	MU1	C3 (AHO)	30	60	19	Non-Vacant	Commercial (FAR: 0.5) - Retail (Painting and Wallcovering), Industrial	CL	3.79	1990
CORONA	1545 Yorba St.	92882	118050018	14	15	0	0	Shortfall of Sit	0.65	GC	C3	MU1	C3 (AHO)	30	60	29	Non-Vacant	Commercial (FAR: 0.4) - Retail (Auto Repair Shop) Existing utilities	CL	1.41	1964
CORONA	1539 Yorba St.	92882	118050017	21	22	0	0	Shortfall of Sit	0.95	GC	C3	MU1	C3 (AHO)	30	60	43	Non-Vacant	Commercial (FAR: 0.1) - Retail (Used Auto Sale) Existing utilities	CL	0.21	1928
CORONA	1535 W 6th St.	92882	118050016	22	23	0	0	Shortfall of Sit	0.99	GC	C3	MU1	C3 (AHO)	30	60	45	Non-Vacant	Commercial (FAR: 0.1) - Retail (Alex Furniture, building with parking	CL	0.32	1964
CORONA	W. 6th Street	92882	102290020	47	47	79	0	Shortfall of Sit	4.56	GC	C3	MU1	C3 (AHO)	30	60	173	Non-Vacant	Commercial (FAR: 0.5) - Retail (Truck and Van Repair, building) Existing	CL	0.22	1966
CORONA	1625 W. 6th Street	92882	102290017	20	21	32	0	Shortfall of Sit	1.62	GC	C3	MU1	C3 (AHO)	30	60	73	Non-Vacant	Commercial (FAR: 0.2) - Retail (Used Car Dealership, large parking	CT	0.09	1964
CORONA	1541 W. 6th Street	92882	103280001	14	14	17	0	Shortfall of Sit	0.99	GC	C3	MU1	C3 (AHO)	30	60	45	Non-Vacant	Commercial (FAR: 0.4) - Retail (Auto Repair Shop building, large parking	CT	0.34	1959
CORONA	1210 E 6th Street	92879	115080002	6	6	5	0	Shortfall of Sit	0.38	MU 2	BP	MU1	BP (AHO)	30	60	17	Non-Vacant	Parking lot	DB	0.00	N/A
CORONA	1210 E 6th Street	92879	115080041	12	12	4	0	Shortfall of Sit	0.62	MU2	BP										

Table C: Land Use, Table Starts in A2

Zoning Designation (From Table A, Column G)	General Land Uses Allowed
A	RR 2, ER, LDR
A/HD	RR 2
A-14.4	RR 2, LDR
BP	MU 2
C	GC
C2	GC
C3	GC
CS	MU 1, OP
D	MUD
ER1	ER
GB	GC
GC	GC
LDR	LDR
MDR	MDR
MF1	MDR
MP	HDR
MU	MU 1, MU 2
M1	LI, MU 2
PCD	LDR
RE	ER, LDR
RE-35	RR 2, ER
RO	MU 1
R1A	RR 2, ER, LDR
R1A/HD	RR 2
R1-7.2	LDR, MDR
R1-8.4	LDR
R1-9.6	LDR
R1-14.4	ER
R1-14.5	ER
R1-20	ER
R2	MDR
R3	HDR
SF	LDR
SFR	LDR
SFR-6	LDR
TC	MU 1
UDR	UDR
WF	LDR

Appendix C

AFFIRMATIVELY FURTHERING FAIR HOUSING (AFFH)

Appendix C: Affirmatively Furthering Fair Housing (AFFH)

INTRODUCTION AND OVERVIEW OF AB 686

In January 2017, Assembly Bill 686 (AB 686) introduced an obligation to AFFH into California state law. AB 686 defined “affirmatively further fair housing” to mean “taking meaningful actions, in addition to combat discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity” for persons of color, persons with disabilities, and other protected classes. The Bill added an assessment of fair housing to the Housing Element which includes the following components: a summary of fair housing issues and assessment of the City’s fair housing enforcement and outreach capacity; an analysis of segregation patterns and disparities in access to opportunities, an assessment of contributing factors, and an identification of fair housing goals and actions.

COMMUNITY OUTREACH

As part of the Housing Element Update, the City implemented a community engagement program, soliciting input from the general public, housing stakeholders, and City decision makers. On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update, which included a discussion on the challenges and opportunities regarding housing needs, special populations, and policies and programs that could be incorporated into the Housing Element Update. The workshops were attended by a total of 16 individuals representing 15 separate non-profit, government, and for-profit agencies (information on the stakeholder meetings is included in Appendix A). Results and feedback obtained during the community engagement program have been incorporated into this section on affirmatively furthering fair housing practices. Please see Chapter 1 for more details on the City’s outreach efforts.

HISTORICAL DEVELOPMENT AND INVESTMENT

Like many California cities, Corona experienced a post-war building boom in the 1950s and in the decades to follow, that set the stage for auto-centric suburban neighborhood development beyond the outskirts of Downtown. Specific plans were used by the City and county to guide the development of large areas, typically referred to as master-planned developments. Typical of southern California suburban subdivisions, most of Corona’s suburban neighborhoods expanded residential development outward from the city’s commercial center and focused mainly on the construction of single-family detached units, with some clusters of duplexes, townhomes, condominiums, and apartments. Suburban neighborhoods are generally located to the periphery of the City’s historic core, south of Ontario Avenue, west of Lincoln Avenue, and in the northeast and northwest corners of the City. Commercial areas became heavily auto-centric. Currently, many older commercial strip centers that lead to the City’s historic center are outdated and inconsistent in terms of function and design. As shown in Figure 3 and Figure 4, the effects of historic segregation patterns are still visible today: areas of minority concentration exist predominantly in the City’s center and historic corridors, while suburban areas south of the City’s center are predominantly White.

As citrus farming gave way to urban development in the 1980s, the population of Corona boomed during this decade and the population also diversified. According to the 1990 census, Corona's Black and African-American population grew by 549 percent between 1980 and 1990. Similarly, the Asian-American population expanded by nearly 2,000 percent. The Hispanic population also increased during this time, adding new immigrants from El Salvador and Colombia, as well as from other parts of California. The same decade brought a 70 percent growth rate in the Native American population.¹

During the last two decades, the City has reinvested in its central corridor in the downtown area and along 6th Street. With the adoption of the 2004 General Plan, the City created a mixed-use land use designation that allowed for and encouraged mixed uses and pedestrian-oriented design. While certain areas of the City have proven difficult to build mixed use projects, other areas have seen significant success. Newer developments such as Dos Lagos and North Main have placed more emphasis on mixing residential and commercial/office developments into larger horizontally mixed-use projects. Both projects have emphasized public spaces and the pedestrian environment.²

SUMMARY OF FAIR HOUSING ISSUES

COUNTY OF RIVERSIDE TRENDS

As part of the Community Development Block Grant (CDBG) program certification process, participating jurisdictions must prepare an analysis of impediments to fair housing choice every five years. The Riverside Regional Analysis of Impediments to Fair Housing Choice (County of Riverside AI), is an assessment of the Riverside County regional laws, ordinances, statutes, and administrative policies, as well as local conditions that affect the location, availability, and accessibility of housing. It also analyzes the conditions in the private market and public sector that may limit the range of housing choices or impede a person's access to housing, and provides solutions and measures that will be pursued to mitigate or remove identified impediments. To focus efforts in the City of Corona, the City conducted its own analysis of impediments to fair housing choice certified by the Corona City Council (Corona AI). The Corona AI covers the City of Corona and provides a comparative demographic profile of the City and Riverside County; assesses the extent of housing needs among specific income groups; and evaluates the availability of a range of housing choices for residents. Regionally, the County of Riverside AI identifies the following impediments to fair housing:

- Hispanic and Black residents continue to be underrepresented in the homebuyer market and have experienced large disparities in loan approval rates
- Concentrations of housing choice voucher use have occurred due to the geographic disparity of rental prices
- Housing choices for special needs groups, especially persons with disabilities, are limited
- Fair housing enforcement activities are limited – despite laws prohibiting discrimination, residents can experience housing bias on the basis of physical disability, race, and ethnicity

¹ City of Corona website: <https://www.coronaca.gov/government/departments-divisions/library-recreation-services/library/heritage-room/history-of-corona>

² Corona General Plan:
<https://www.coronaca.gov/home/showpublisheddocument/17294/637239353780370000>

- Nearly 63 percent of all fair housing complaints in Riverside County over the last five years were on the basis of disability
- Today, people obtain information on housing options and availability through many media forms, not limited to traditional newspaper noticing or other print forms

CITY OF CORONA TRENDS

The Corona AI identified jurisdiction-specific impediments. Contributing factors identified as impediments to fair housing in Corona are discussed in detail below, as well as descriptions of how each impediment is addressed in this Housing Element.

Concentrations of Lower- and Moderate-Income Populations

The U.S. Department of Housing and Urban Development (HUD) defines a Lower- and Moderate-Income (LMI) area as a Census tract or block group where over 51 percent of the population is LMI. Corona has extensive areas where a majority of residents are LMI populations throughout its downtown areas starting in the northwest and spanning across toward the southeast. This impediment is addressed in the Housing Element Update through Housing Policies HE-1.1 through HE-1.5, which direct the City to maintain an ongoing inventory of sites that may be suitable for residential development affordable for LMI residents, support the production of LMI housing development, and seek additional funding sources to expand housing resources in the City.

Language barriers

Language barriers can be an impediment to accessing housing. Those with limited English may face discrimination in obtaining housing, communication challenges while trying to obtain housing, and barriers to accessing housing services and information. According to the Corona AI, 19.1 percent of the City's population speaks English less than "very well." This impediment is addressed in the Housing Element Update through Policies H-4.1 and H-4.2 and Programs 20 and 27 which direct the City to provide counseling for property owners and tenants on fair housing related issues, facilitate housing opportunities, and provide materials on housing related materials in multiple languages.

Lending by Race/Ethnicity

The Fair Housing Act prohibits discrimination when obtaining a mortgage. However, in some communities the lending pool is not representative of the demographics of a community and lending practices can be an impediment to fair housing. The Corona AI notes that this is the case in Corona, where African American and Hispanic households have limited access to conventional home purchase loans due to disproportionate denial rates compared to households of other racial groups. This impediment is addressed in the fair housing and enforcement policy section in Chapter 6 of the Housing Element, specifically Programs 20 and 21, which direct the City to remove impediments to fair housing, provide and expand counseling residents on fair housing related issues, explore grant opportunities for fair housing support, conduct fair housing testing, and participate in regional efforts to reduce discriminatory housing practices.

Overcrowded Conditions

Large households are those defined with five or more individuals and can sometimes include multiple families living together. Due to the high cost of housing in Corona, large households are often forced to obtain housing that is not of sufficient size, leading to overcrowding issues. According to the 2014-2018 ACS, overcrowding affected 5.9 percent of households in Corona. Overcrowding decreased from 2010, when approximately 8.2 percent of households were overcrowded. This impediment is addressed in Housing Element programs that direct the City to monitor and support affordable housing development with a mix of housing opportunities, particularly for special needs populations.

Housing for Farmworkers

Due to the high cost of housing and low wages, migrant farm workers may have difficulty finding affordable, safe, and sanitary housing. According to the State Employment Development Department, the average farm worker earned a mean annual income of \$32,000 in 2020. This limited income is exacerbated by a tenuous and/or seasonal employment status. Determining the true size of the agricultural labor force is difficult. For instance, the government agencies that track farm labor do not consistently define farmworkers (e.g. field laborers versus workers in processing plants), length of employment (e.g. permanent or seasonal), or place of work (e.g. the location of the business or field). According to SCAG, it is estimated that 152 City residents were considered farmworkers (employed in farming, fishing, and forestry occupations).

The City can accommodate the development of farmworker housing in any zone that permits the type of housing being built (i.e., agricultural zones) without special conditions. Since the City does not have a large farmworker population, the housing needs of this group are addressed through the City's standard affordable housing programs for lower-income households.

Limiting Local Land Use Policies

The Fair Housing Act prohibits jurisdictions from making land use decisions or implementing land use policies that exclude or can otherwise be seen as discriminatory. The Housing Element directs the City to update its land use policies to be consistent with State laws and AFFH goals. For example, recent changes to the density bonus makes it more difficult to meet housing goals, and a lack of inclusionary housing requirements. These impediments are addressed in Program 14 of the Housing Element which directs the City to revisit its supportive/transitional parking requirements and emergency shelter regulations.

FAIR HOUSING OUTREACH AND ENFORCEMENT

Fair housing enforcement and outreach capacity relates to the ability of a local jurisdiction and fair housing entities to disseminate information related to fair housing and provide outreach and education to assure community members are informed of fair housing laws and tenants' rights. In addition, enforcement and outreach capacity includes the ability to address compliance with fair housing laws, such as investigating complaints, obtaining remedies, and engaging in fair housing testing.

Fair Housing Outreach

The County of Riverside contracts with the non-profit organization Fair Housing Council of Riverside County, Inc. (FHCRC) to address fair housing complaints and engage the community around fair and affordable housing issues. These organizations help coordinate the development of the County of Riverside AI, including the outreach process. Table 1 shows the local housing and social service organizations that are active in the County as part of the FHCRC.

Table 1: Fair Housing Organizations Active in Riverside County

Organization	Focus
County of Riverside Department of Public Social Services	Homeless services
Workforce Development	Employment Services
Housing Authority Riverside	Public housing services
Fair Housing Council of Riverside County (FHCRC)	Fair housing services
National Alliance on Mental Illness	Mental health services
Regional Task Force on the Homeless	Services for individuals experiencing homelessness
Southern California Rental Housing Association	Rental assistance
Source: Riverside County 2020	

Table 2 lists organizations active in the City of Corona that offer fair housing support and services.

Table 2: Fair Housing Organizations Active in City of Corona

Organization	Focus
California Department of Fair Employment and Housing	State Resource for fair employment and housing
Housing and Economic Rights Advocates	Fair Housing advocacy
Jamboree Housing	Developer of affordable housing
Riverside Housing Development Corporation	Developer of affordable housing
Southern California Association of Nonprofit Housing	Fair housing advocacy

COUNTY OF RIVERSIDE FAIR HOUSING ENFORCEMENT

From 2015-2020, FHCRC assisted County residents with fair housing discrimination complaints, addressing 3,108 complaints in total, with 95 percent of those from in-place tenants, three percent from landlords or managers, and the balance from other types of complainants. Complaints originating from the City of Corona accounted for just under 4 percent of total fair housing complaints in the County. Consistent with state and national trends, the leading bases of complaints in the County included physical disability (51 percent), mental disability (12 percent), race (10 percent), familial status (8 percent), national origin (7 percent), and sex (3 percent). Taken together, complaints based on disability status accounted for 63 percent of all cases in Riverside County.

CITY OF CORONA FAIR HOUSING ENFORCEMENT

During the 2015-2020 study period, FHCRC assisted Corona residents with fair housing discrimination complaints, addressing 182 filed complaints. Consistent with state and national trends, the leading bases of complaints included physical disability (44 percent), familial status (16 percent), mental disability (13 percent), race (8 percent), national origin (4 percent), source of income (4 percent) and age (3 percent). Taken together, complaints based on disability status accounted for 57 percent of all cases in Corona, nearly 7 percentage points lower than the proportion of disability-related complaints reported countywide during the same time. According to the Corona AI, the Annual Report FY 2017 by the Office for Fair Housing and Employment Opportunity (OFHE) found a similar percentage of complaints were made based on disability across the nation as was reported in the City of Corona. While the total number of discrimination complaints remained relatively flat from 2014-2017, the percentage of complaints based on discrimination due to disability trended upward. Programs 20 and 21 of the Housing Element direct the City to take actions to overcome patterns of segregation, address disparities in housing needs, and increase access to housing opportunities.

FAIR HOUSING ANALYSIS

The California Government Code Section 65583 (10)(A)(ii) requires jurisdictions to analyze areas of segregation, racially or ethnically concentrated areas of poverty, disparities in access to opportunity, and disproportionate housing needs, including displacement risk.

Data on regional and local disparities and trends was gathered from a variety of sources, including HCD's AFFH Viewer, the Healthy Places Index (HPI) and the Urban Displacement Project (UDP). The HPI is a tool that was developed by the Public Health Alliance of Southern California in partnership with the Virginia Commonwealth University's Center on Society and Health in order to predict life expectancy. Community conditions, also called the "social determinants of health," can be used to predict life expectancy. These conditions include economic stability, neighborhood and built environment, health and access to health care, education, social and community context. The HPI combines 25 community characteristics into a single indexed HPI Score. HPI scores for each census tract can be compared to paint an overall picture of health and well-being.

The UDP was developed as a research initiative by the University of California, Berkeley in partnership with the University of California, Los Angeles. The tool was developed with the intention of tracking

neighborhood change and identifying areas that are vulnerable to gentrification and displacement in California. Indicators of gentrification and displacement are measured at the census tract level are based on data from the 2015 ACS.

SEGREGATION AND INTEGRATION PATTERNS AND TRENDS

To inform priorities, policies, and actions, the housing element must include an analysis of integration and segregation, including patterns and trends, related to people with protected characteristics. Integration generally means a condition in which there is not a high concentration of persons of a particular race, color, religion, sex, familial status, national origin, or having a disability or a particular type of disability when compared to a broader geographic area. Segregation generally means a condition in which there is a high concentration of persons of a particular race, color, religion, sex, familial status, national origin, or having a disability or a type of disability in a particular geographic area when compared to a broader geographic area.

Race and Poverty Concentration

The ethnic and racial composition of a jurisdiction is useful in analyzing housing demand and any related fair housing concerns as it tends to demonstrate a relationship with other characteristics such as household size, income level, locational preferences, and mobility. To assist in this analysis of integration and segregation, HCD and the California Tax Credit Allocation Committee (CTCAC) directed the California Fair Housing Task Force to “provide research, evidence-based policy recommendations, and other strategic recommendations to HCD and other related state agencies/departments to further the fair housing goals (as defined by HCD).” The Task Force created Opportunity Maps to identify resources levels across the state “to accompany new policies aimed at increasing access to high opportunity areas for families with children in housing financed with 9 percent Low Income Housing Tax Credits (LIHTCs).” These opportunity maps are made from composite scores of three different domains made up of a set of indicators, as shown in Table 3. The opportunity maps include a measure or “filter” to identify areas with poverty and racial segregation. To identify these areas, census tracts were first filtered by poverty and then by a measure of racial segregation. The criteria for these filters were:

- Poverty: Tracts with at least 30 percent of population under federal poverty line
- Racial Segregation: Tracts with location quotient higher than 1.25 for Black, Hispanic, Asian, or all non-White residents in comparison to the County

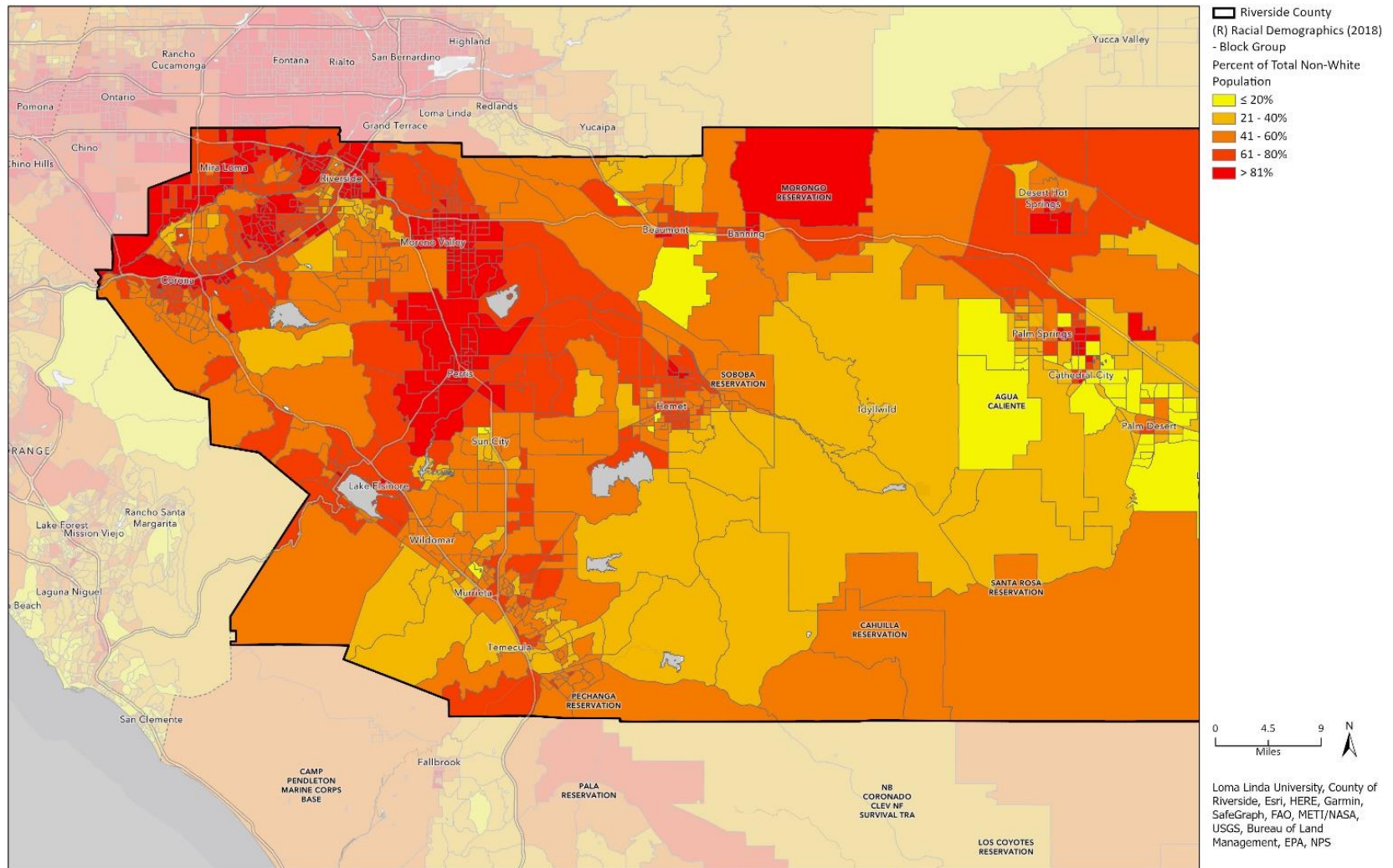
Table 3: Domains and List of Indicators for Opportunity Maps

Domain	Indicator
Economic	Poverty, Adult Education, Employment, Job Proximity, Median Home Value
Environmental	CalEnviroScreen 3.0 pollution Indicators and Values
Education	Math proficiency, Reading proficiency, High school Graduation Rates, Student Poverty Rates

County of Riverside Minority Concentrated Areas

According to the California Fair Housing Task Force, areas with high segregation are primarily located in the western, urban areas of the County and the Native American reservations in the northern and southern portions of the County, as shown on Figure 1. Hispanic residents make up the highest percentage of racial composition in the County at 45.45 percent of the population.

Figure 1: Minority Concentrated Areas: Riverside County



Source: AFFH Data Viewer, 2021

CITY OF CORONA MINORITY CONCENTRATED AREAS

As discussed in Chapter 2 of the Housing Element, the City of Corona has a slightly higher percentage of White, Non-Hispanic residents than Riverside County as a whole. Corona's population of white, non-Hispanic residents is 38.13 percent, compared to the County's 36.61 percent of residents who identify as white, non-Hispanic residents. The City has a slightly lower share of Hispanic residents than the County at 43.67 percent, compared to 47.25 percent. In addition, the City has a higher percentage of Asian/Pacific Islander residents than the County (9.89 percent vs. 7.14 percent). According to the Corona AI, non-white populations have grown significantly since 1990, with a greater than 175 percent population increase among Hispanics within the City of Corona. Discrimination based on race and ethnicity is a historic and known contributor to unfair housing practices. The existence of concentrations of minorities living in one location may be an indicator that some minority groups in Corona do not have as many housing choices as non-minority residents. This disparity can be an indicator of language barriers, unfair lending practices, and/or lack of mobility access.

HUD created seven opportunity indices to allow jurisdictions to measure exposure to opportunity in their neighborhoods. Table 4 provides index scores or values (ranging from 0 to 100 with 100 being the highest) for Corona for each race/ethnicity. Black, Hispanic, and Native American residents generally had lower opportunity scores than white and Asian or Pacific Islander residents for income, school proficiency, labor market access, and environmental health.

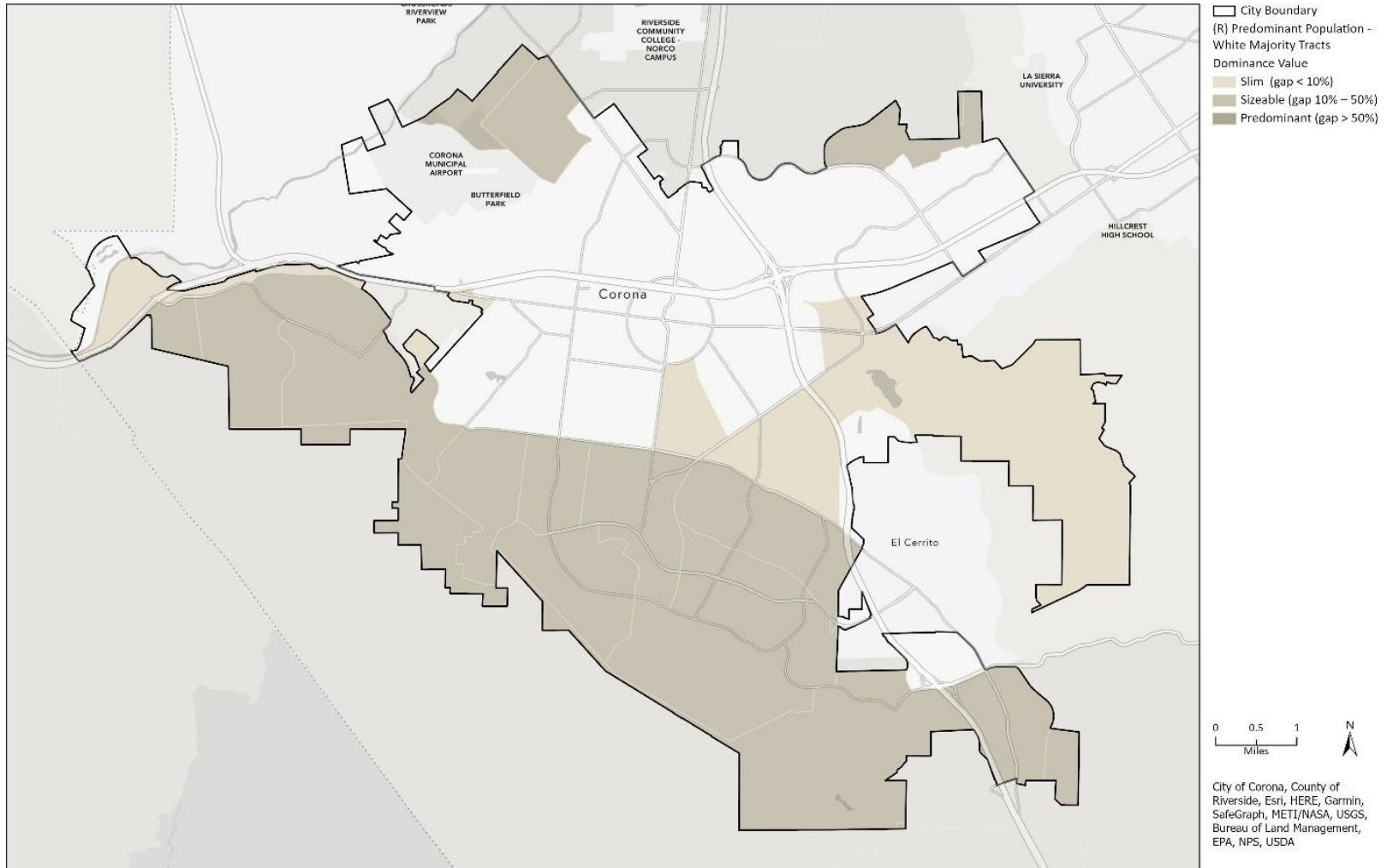
Table 4: Opportunity Indicators by Race/Ethnicity (Corona)

Index/ Indicator	Low Poverty	School Proficiency	Labor Market	Transit	Low Transportation Cost	Jobs Proximity	Environmental Health
Total Population							
White, Non- Hispanic	72.08	63.44	51.76	45.59	29.52	42.79	49.48
Black, Non- Hispanic	68.83	60.98	49.08	48.29	36.13	47.20	45.25
Hispanic	52.51	52.86	38.55	50.75	41.06	49.51	41.67
Asian or Pacific Islander, Non- Hispanic	74.61	64.80	54.03	45.93	30.21	47.34	48.70
Native American, Non- Hispanic	59.85	57.46	42.61	49.02	36.64	44.30	43.16

Population Below Federal Poverty Level							
White, Non-Hispanic	52.94	50.83	42.53	54.85	47.87	41.14	39.85
Black, Non-Hispanic	69.62	63.99	46.36	50.67	37.41	51.88	43.92
Asian or Pacific Islander, Non-Hispanic	30.63	41.48	27.05	55.59	51.84	54.88	35.70
Native American, Non-Hispanic	60.87	59.39	42.75	49.00	38.28	50.49	45.16
White, Non-Hispanic	10.00	30.86	13.0	65.00	69.00	75.81	27.00
Source: Corona AI							

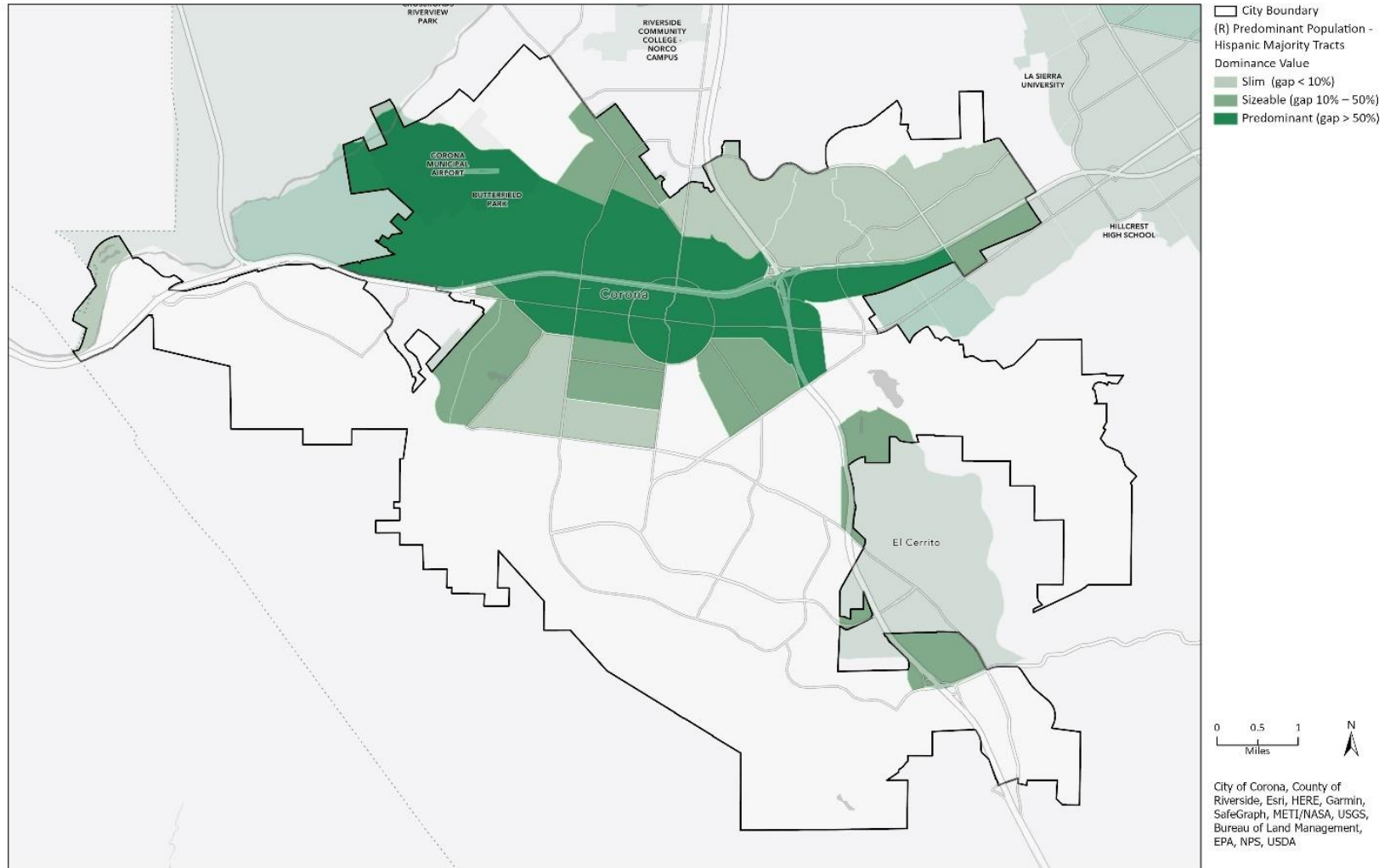
Figure 2 and Figure 3 show the predominant populations of white, non-Hispanic and Hispanic populations within each census tract and Figure 4 shows the percent of non-white residents within each block group. Corona has higher concentrations of Hispanic residents in the historic Corona downtown between SR-91 and River Road, and south of State Route 91 (SR-91) and east of Interstate 15 (I-15). The area with the highest percent of non-white population is south of SR-91 and east of I-15.

Figure 2: Predominant Population - White Non-Hispanic: Corona



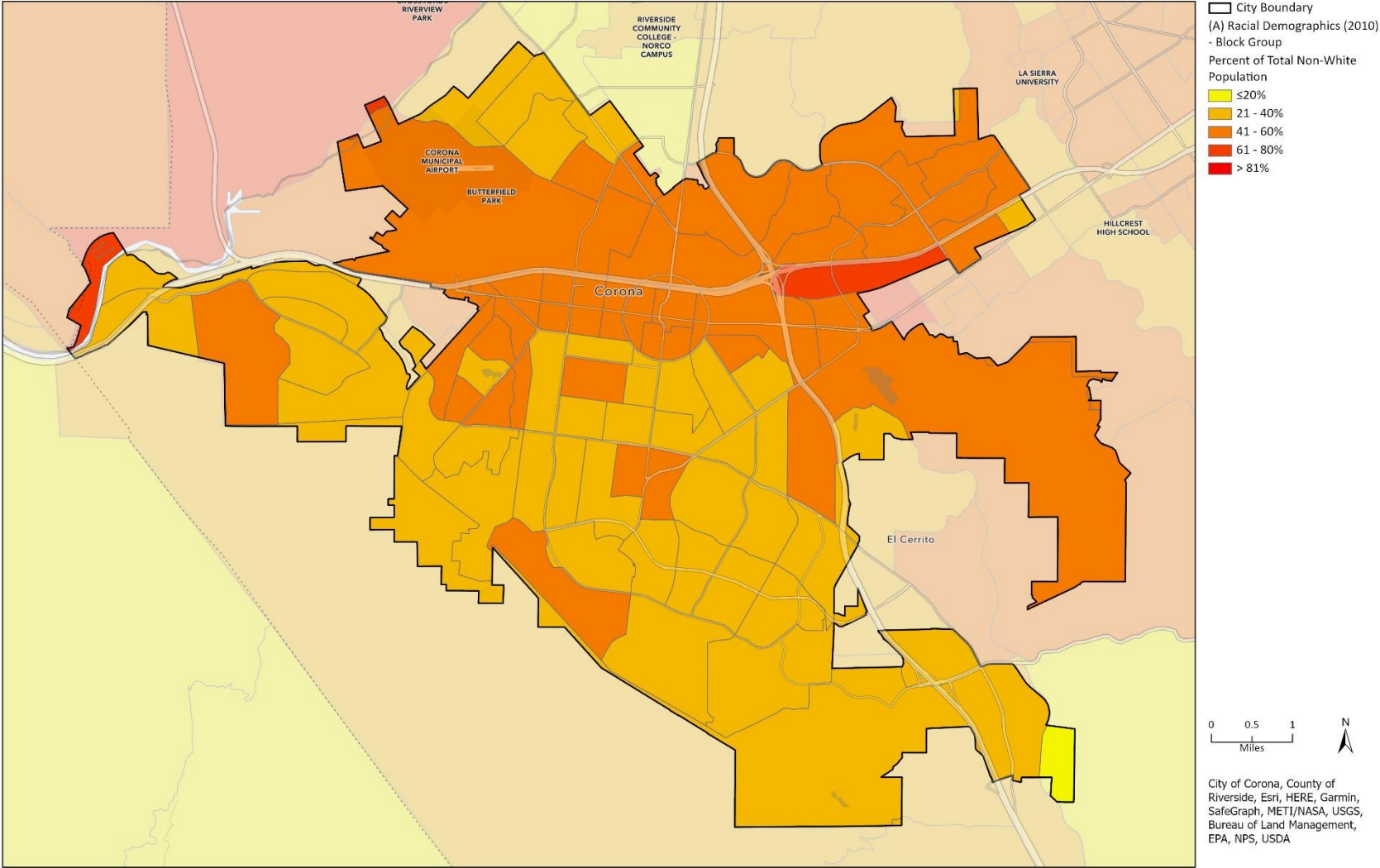
Source: AFFH Data Viewer, 2021

Figure 3: Predominant Population- Hispanic: Corona



Source: AFFH Data Viewer, 2021

Figure 4: Racial Demographics: Corona



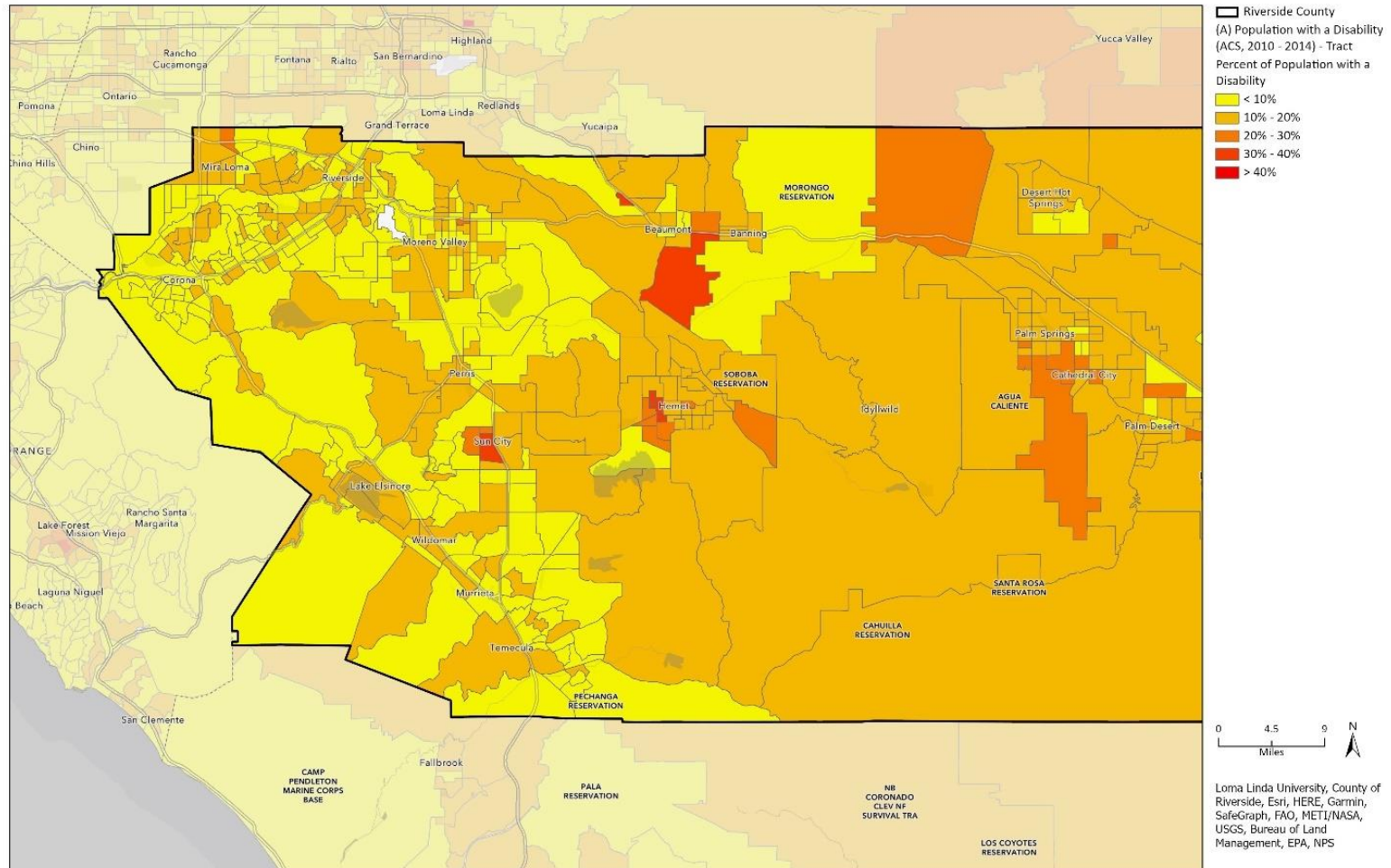
Source: AFFH Data Viewer, 2021

PERSONS WITH DISABILITIES

County of Riverside Trends

Housing choices for special needs groups, specifically for persons with disabilities, are limited in the region. According to the County of Riverside AI (using 2013-2017 ACS data), 11.5 percent of County residents had a physical disability. Many persons with disabilities also face cost burden problems due to their relatively fixed incomes. Figure 5 shows areas in Riverside County with concentrations of persons with a disability. Corona is not an area of the County with a high concentration of persons with a disability. The areas with a high concentration of persons with a disability are south of Beaumont, parts of Hemet, and in Sun City.

Figure 5: Population with a Disability: Riverside County



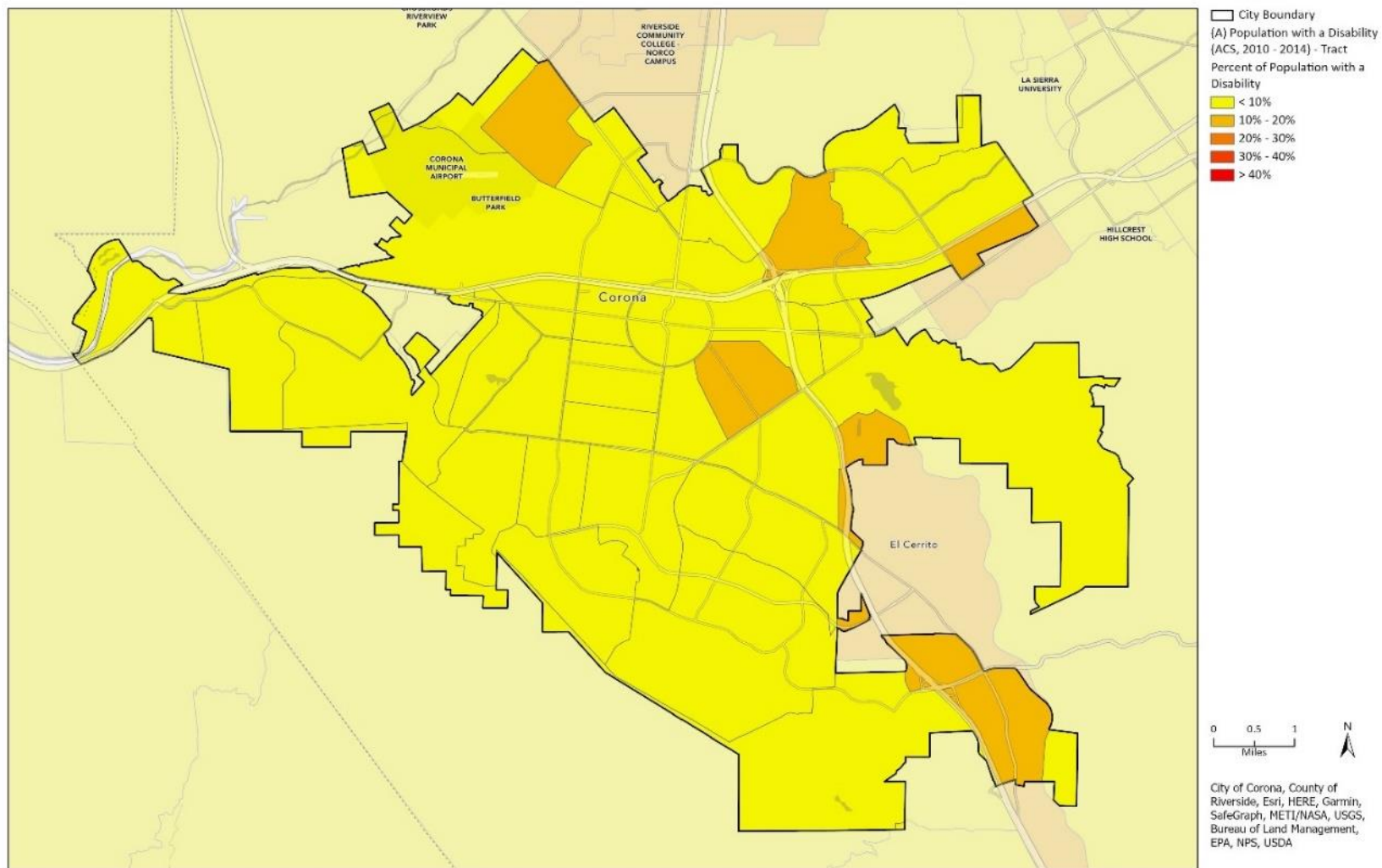
Source: AFFH Data Viewer, 2021

City of Corona Trends

As discussed in the Housing Element, approximately eight percent of Corona residents had a disability according to 2014-2018 ACS data. The ACS also tallied the number of disabilities by type for residents with one or more disabilities. Among the disabilities tallied, ambulatory difficulties were most prevalent, while cognitive and independent living difficulties were also highly prevalent. Ambulatory and independent living difficulties were most prevalent in among the senior population. Figure 6 depicts the percentage of population with disabilities throughout the City. The percentage of the City's population with a disability ranges between 10 and 20 percent, with areas of higher concentrations scattered throughout the City near Fullerton Avenue, north of W. Rincon Street, north of SR-91 and east of I-15, between SR-91 and Magnolia Avenue, and in the southeastern portion of the City.

During the stakeholder workshops conducted by the City on February 16th and 18th, a representative of the Inland Regional Center Affordable Housing Specialist, provided local knowledge and insights for persons with disabilities in finding adequate housing that suites their needs including access to low-income housing, proximity to transportation, and non-ADA compliant development (not inclusive to someone who utilizes a wheelchair). Additionally, it was stated that more housing should be located near medical facilities and suggests working with developers to allocate a portion of these units to low-income households.

Figure 6: Population with a Disability: Corona



Source: AFFH Data Viewer, 2021

FAMILIAL STATUS

Familial status refers to the presence of children under the age of 18, whether the child is biologically related to the head of household, and the marital status of the head of households. The Fair Housing Act makes it unlawful to discriminate against a person whose household includes one or more children who are under 18 years of age. Familial status protection covers households in which one or more minor children live with: a parent, a person who has legal custody (including guardianship) of a minor child or children, or the designee of a parent or legal custodian, with the written permission of the parent or legal custodian.³

However, HUD data shows that familial status discrimination ranks third in discrimination of protected classes, behind discrimination due to disability and race. While the language in federal law about familial status discrimination is clear, the guidelines landlords can use to establish occupancy can be very vague. Although landlords can create occupancy guidelines based on the physical limitations of the housing unit, landlords often impose occupancy limitations that can preclude large families with children. Differential treatments such as limiting the number of children in a complex, or confining children to a specific location, are also fair housing concerns. Single-parent, female-headed households with children require special consideration and assistance because of their greater need for affordable housing and accessible day care, health care, and other supportive services.

County of Riverside Trends

Certain jurisdictions in the County have a higher-than-average proportion of family households with children and, therefore, may be more vulnerable to this type of discrimination. Table 5 shows a comparison of household types in the County and jurisdictions near Corona.

³ Fair Housing: Equal Opportunity for All: https://www.hud.gov/sites/documents/FHEO_BOOKLET_ENG.PDF

Table 5: Household Type (Riverside County)

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786
Chino Hills	2,892 (14.3)	3,820 (18.9)	8,726 (43.2)	1,533 (7.6)	3,225 (16.0)	20,196
Moreno Valley	6,166 (11.1)	7,125 (12.8)	21,106 (37.9)	7,022 (12.6)	14,231 (25.6)	55,650
Norco	1,471 (20.9)	1,828 (26.0)	2,106 (30.0)	382 (5.4)	1,241 (17.7)	7,028
City of Riverside	18,050 (19.1)	18,985 (20.1)	30,617 (32.4)	9,523 (10.1)	17,209 (18.2)	94,384
Riverside County	156,113 (23.8)	69,255 (9.3)	238,702 (30.6)	67,737 (8.9)	143,669 (20.0) ¹	718,349
Source: American Community Survey, 2014-2018. SCAG Corona Local Data. ¹ SCAG Profile of Riverside County.						

City of Corona Trends

As shown in Table 6, 36.7 percent of Corona households in 2018 were families; a decrease of 8.5 percent since 2010. The number of single households grew 61.8 percent between 2010 and 2018. Additionally, within the single households, the number of senior headed households increased by 32.8 percent during that time. The number of large households decreased by more than 14 percent, and the average household size decreased from 3.4 to 3.3 persons per household.

Table 6: Household Characteristics, City of Corona (2010-2018)

Household Type	2010		2018		Percent Change (2010-2018)
	Number	Percent of Population	Number	Percent of Population	

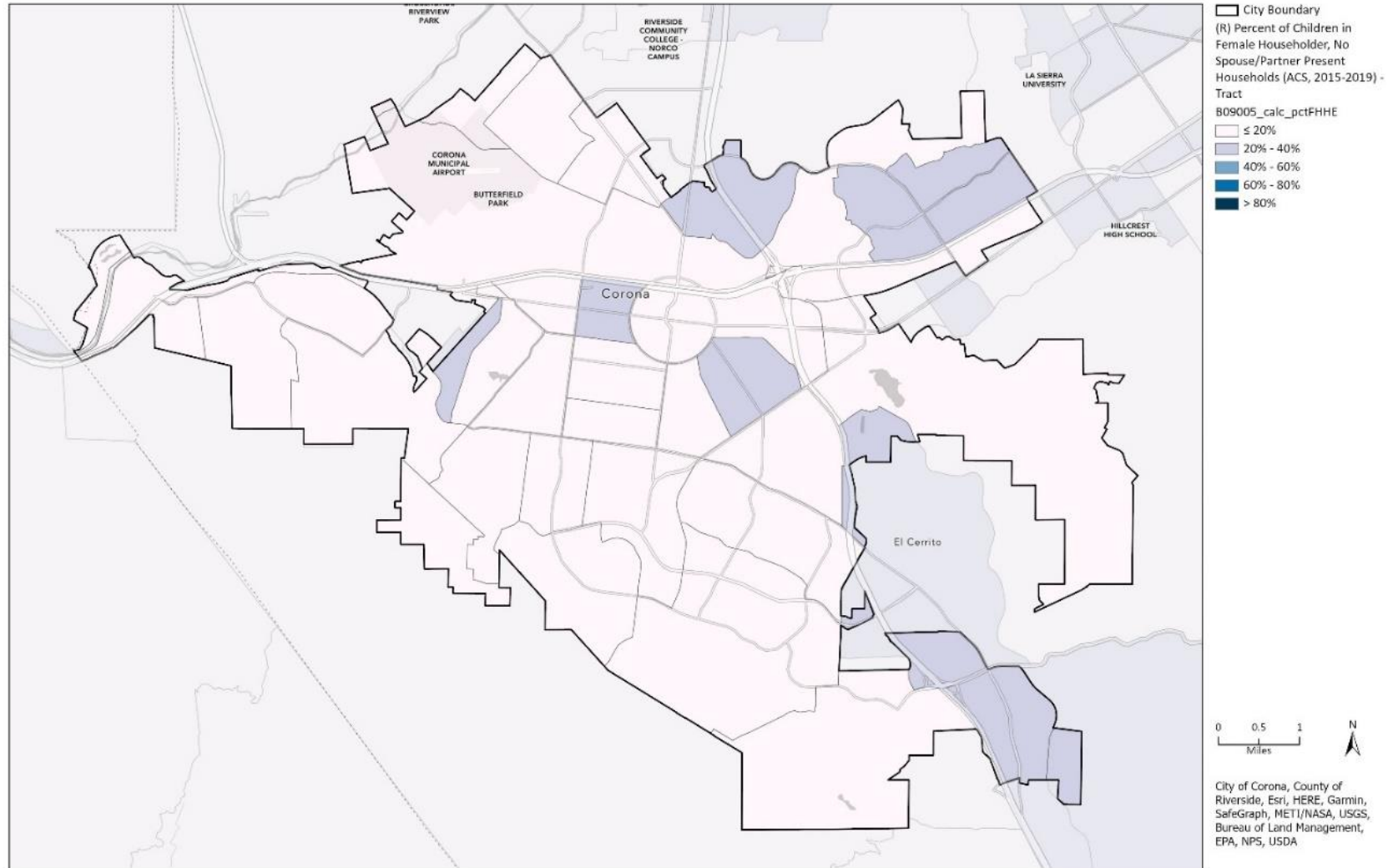
Single Person	6,372	14.4	10,309	20.7	61.8
Senior Headed Households	6,113	13.6	8,115	16.3	32.8
Families with Children	20,317	45.2	18,219	36.7	-10.3
Single-Parent Households	4,765	10.6	4,167	8.4	-12.5
Large Households	10,504	23.4	8,976	18.1	-14.5
Total Households	44,950	100	49,786	100	10.8
Average Household Size	3.4	-	3.3	-	-

Source: American Community Survey, 2014-2018.

Families, particularly female-headed families, are disproportionately affected by poverty. The 2014-2018 ACS reported 5,446 female-headed households in Corona, of which 3,257 had children. The 2014-2018 ACS estimated that approximately 8.4 percent of Corona households were headed by a single-parent. Female-headed households accounted for approximately 11.1 percent of total Corona households. Of total Corona households, 2.4 percent were both female-headed households and had incomes below the poverty level, and 39.0 percent of the City's households with incomes below the poverty level were female-headed. Figure 7 shows areas of the City with concentrations of single-parent, female-headed households. Areas of higher concentrations (between 20 and 40 percent of families with children) are scattered throughout the City near Fullerton Avenue, around McKinley Street and S. Promenade Avenue, north and south of SR-91 east of the Circle, between SR-91 and Magnolia Avenue, north of E. Parkridge Avenue, and in the southeastern portion of the City.

During a stakeholder workshop, the representative from Corona Norco United Way emphasized a need for more affordable housing near schools, work/live housing, and proximity to transportation. It was mentioned that there was a particular need for this type of housing in order to improve rehousing efforts for single, female-headed households, particularly for those leaving domestic abuse situations. Additionally, partnerships with developers should be developed on identifying funding opportunities to provide additional housing units that fit the needs of low-income individuals. For more information from the workshops refer to Appendix A (notes from stakeholder workshops are provided in Appendix A).

Figure 7: Single-Parent, Female-Headed Households with Children: Corona



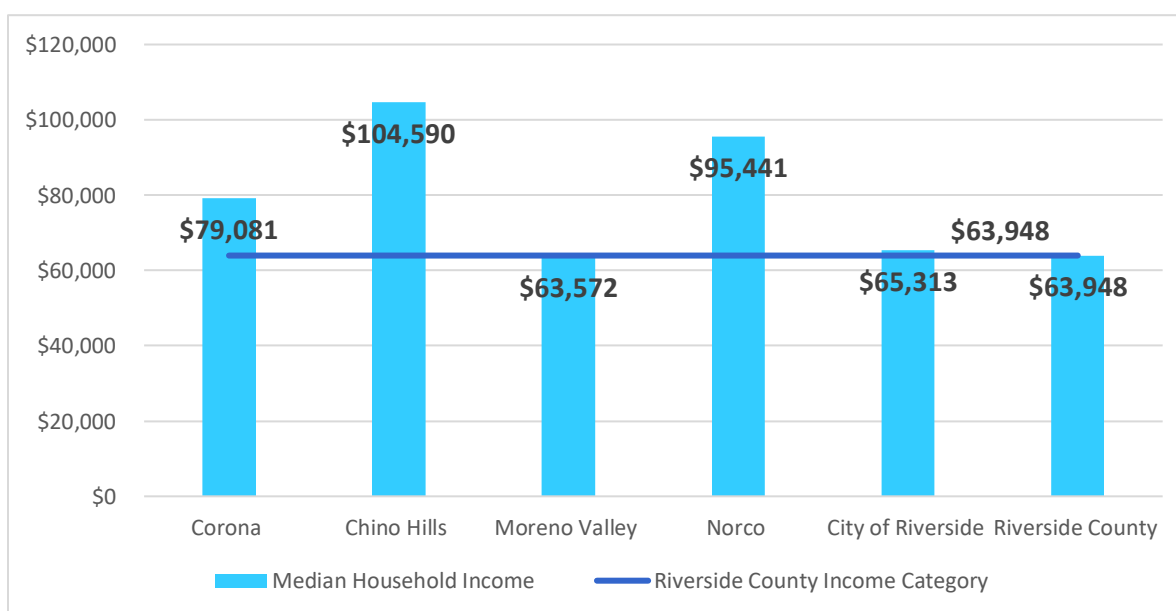
Source: AFFH Data Viewer, 2021

INCOME

Identifying LMI geographies and individuals is important to overcome patterns of segregation. HUD defines a LMI area as a Census tract or block group where over 51 percent of the population is LMI (based on HUD income definition of up to 80 percent of the AMI). Household income is directly connected to the ability to afford housing. Higher income households are more likely to own rather than rent housing. As household income decreases, households tend to pay a disproportionate amount of income for housing and the likelihood of residing in overcrowded or substandard housing increases. Households with incomes below the poverty level, which are typically households classified as extremely low and very low incomes, may require special programs to assist them in meeting their rent and mortgage obligations.

Household incomes in Corona tend to be higher than the County as a whole. The ACS estimates the median household income in Corona at \$73,594, compared to \$60,807 in the County. Figure 8 compares household incomes in Corona, surrounding cities, and the Riverside region.

Figure 8: Median Household Income



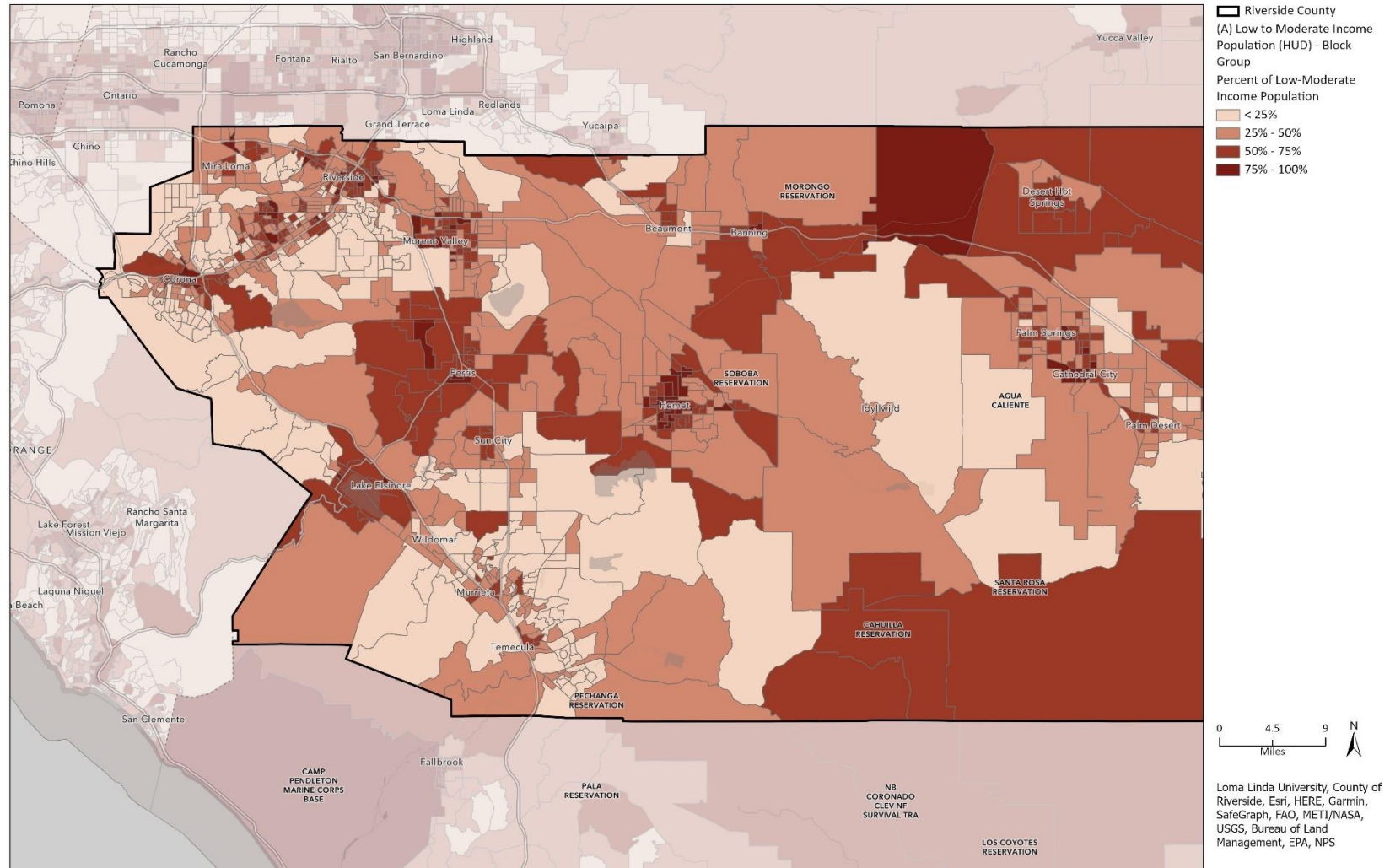
Source: Bureau of the Census, American Community Survey American Community Survey, 2014-2018.

Less than 14 percent of Corona households earned less than \$25,000 (2014-2018 ACS data). In contrast, about 39 percent of Corona households earned \$100,000 or more. Corona had a higher percentage of moderate to higher income households than Riverside County as a whole.

County of Riverside Trends

Figure 9 shows the LMI areas in the County by census block group. LMI areas are in the urban centers such as the City of Riverside and Perris and in the eastern rural areas of the County near Desert Hot Springs and the Cahuilla and Santa Rosa Reservations.

Figure 9: LMI Areas: Riverside County



Source: AFFH Data Viewer, 2021

City of Corona Trends

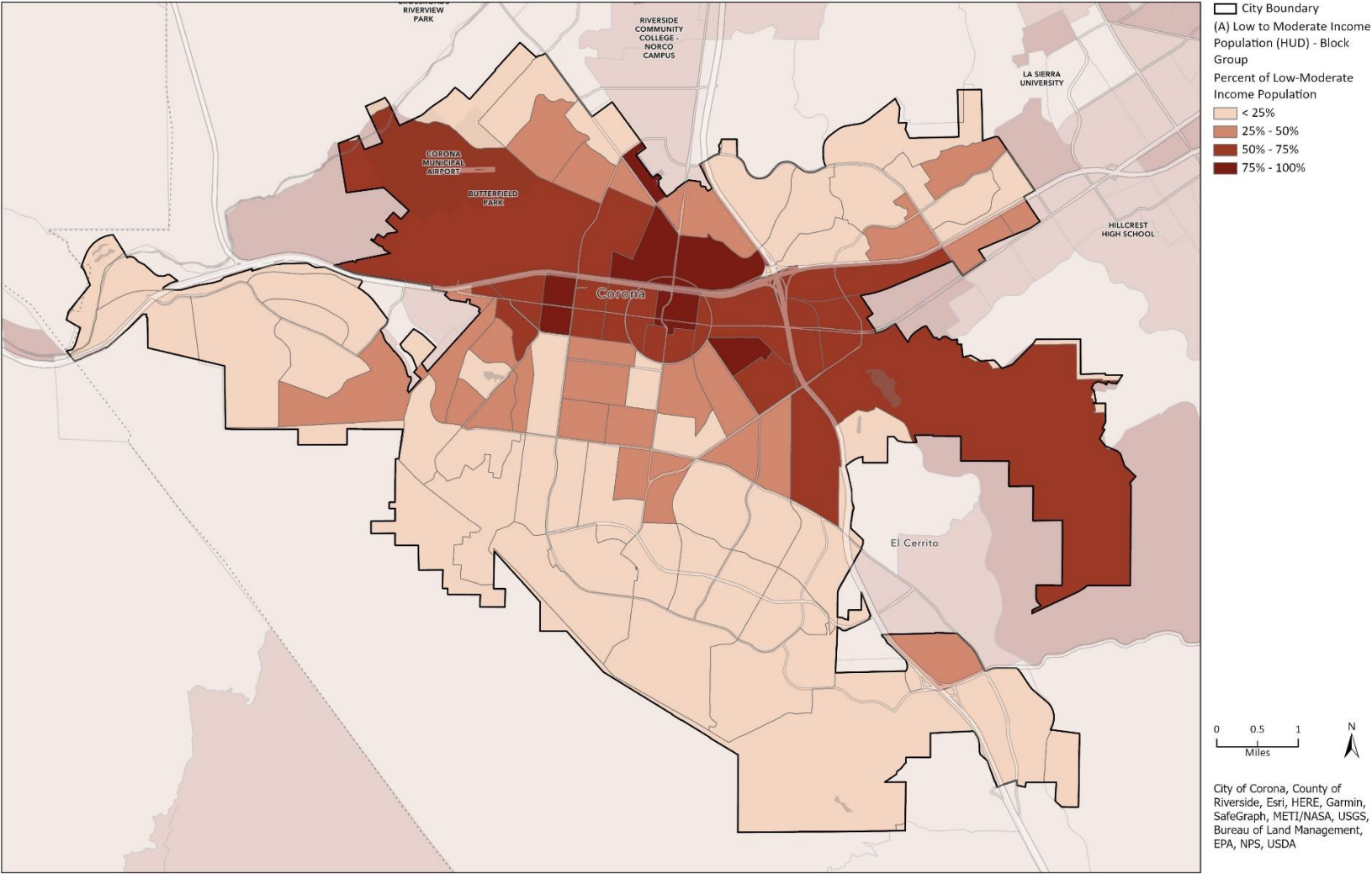
The 2014-2018 ACS identified 10.5 percent of all Corona residents as living in households with incomes below the poverty level, including 12.9 percent of all people under 18 years of age, and 11.1 percent of all people 65 years of age and over. As shown below in Table 7, approximately 60.1 percent of Corona households earned moderate or above moderate-incomes, while 39.8 percent of households were classified as lower-income.

Table 7: City of Corona Households by Income Category

Income Category (Percent of County AMI)	Households	Percent
Extremely Low (30% or less)	3,159	8.8%
Very-Low Income (<50% of AMI)	5,610	15.6%
Low Income (50-80% of AMI)	5,403	15.0%
Moderate Income (80-120% of AMI)	4,320	12.0%
Above Moderate Income (> 120%)	17,424	48.5%
Total	35,916	100.0%
Source: ACS 2014-2018		

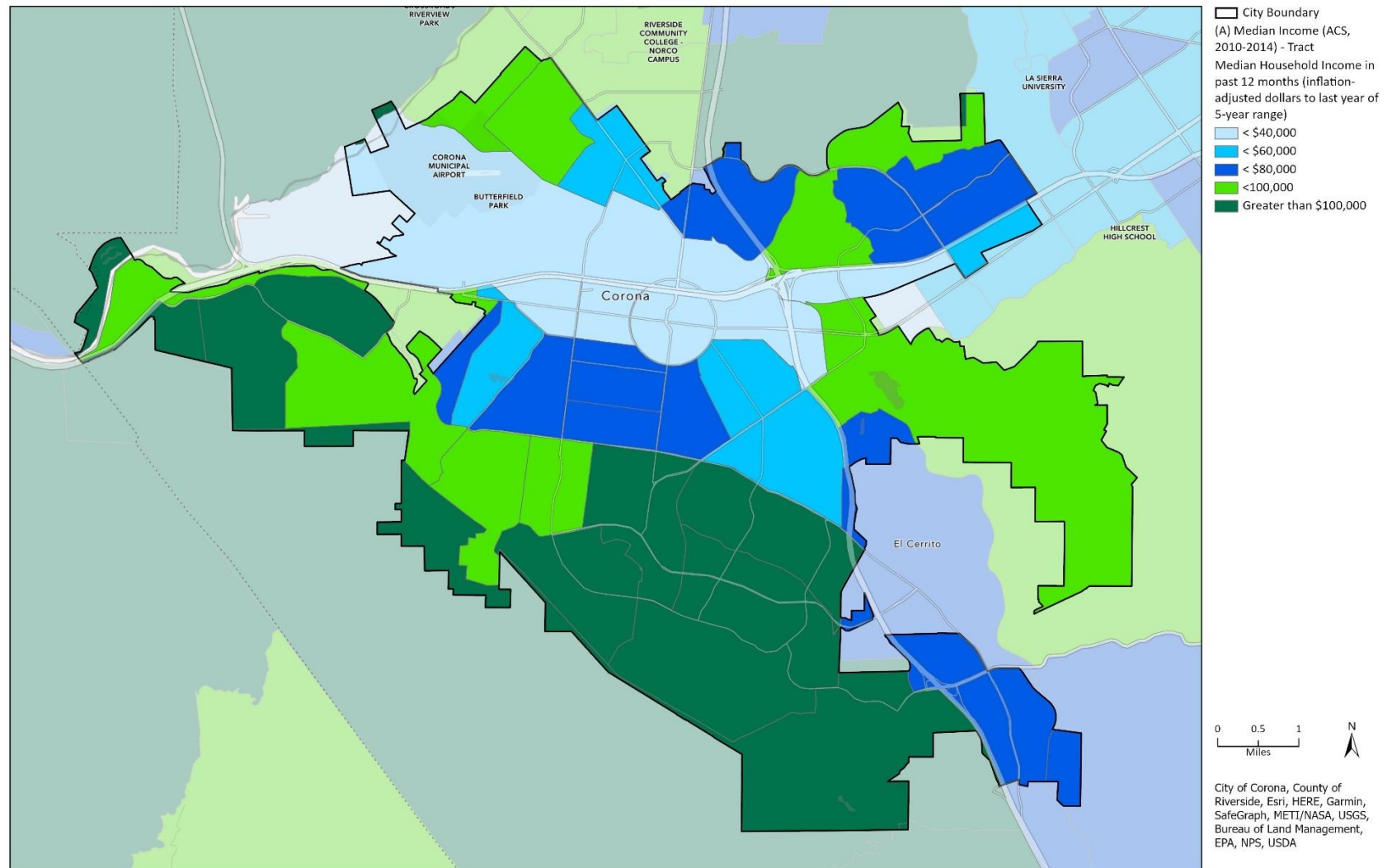
Figure 10 shows the LMI areas in Corona by census block group. LMI areas are concentrated east-west in the central part of the city, including the downtown area and north and south of SR-91, surrounding the Corona municipal airport, and east of Magnolia Avenue. Figure 11 shows the median income by census tract in the City. Correspondingly, areas of lower median income are located in the central portion of the City, and also in the northeastern area north of SR-91 and east of I-15. Areas of higher median income are located in the south and western areas, generally west and south of Via Del Rio, Via Pacifica, and W. Ontario Avenue. It should be noted that some of the areas identified on the figure do not have residential uses, including the area identified as having 25-50 percent LMI population that is east of I-15 and south of Liberty Avenue in the southeastern portion of the city.

Figure 10: LMI Areas: Corona



Source: AFFH Data Viewer, 2021

Figure 11: Median Household Income: Corona



Source: AFFH Data Viewer, 2021

RACIALLY AND ETHNICALLY CONCENTRATED AREAS OF POVERTY

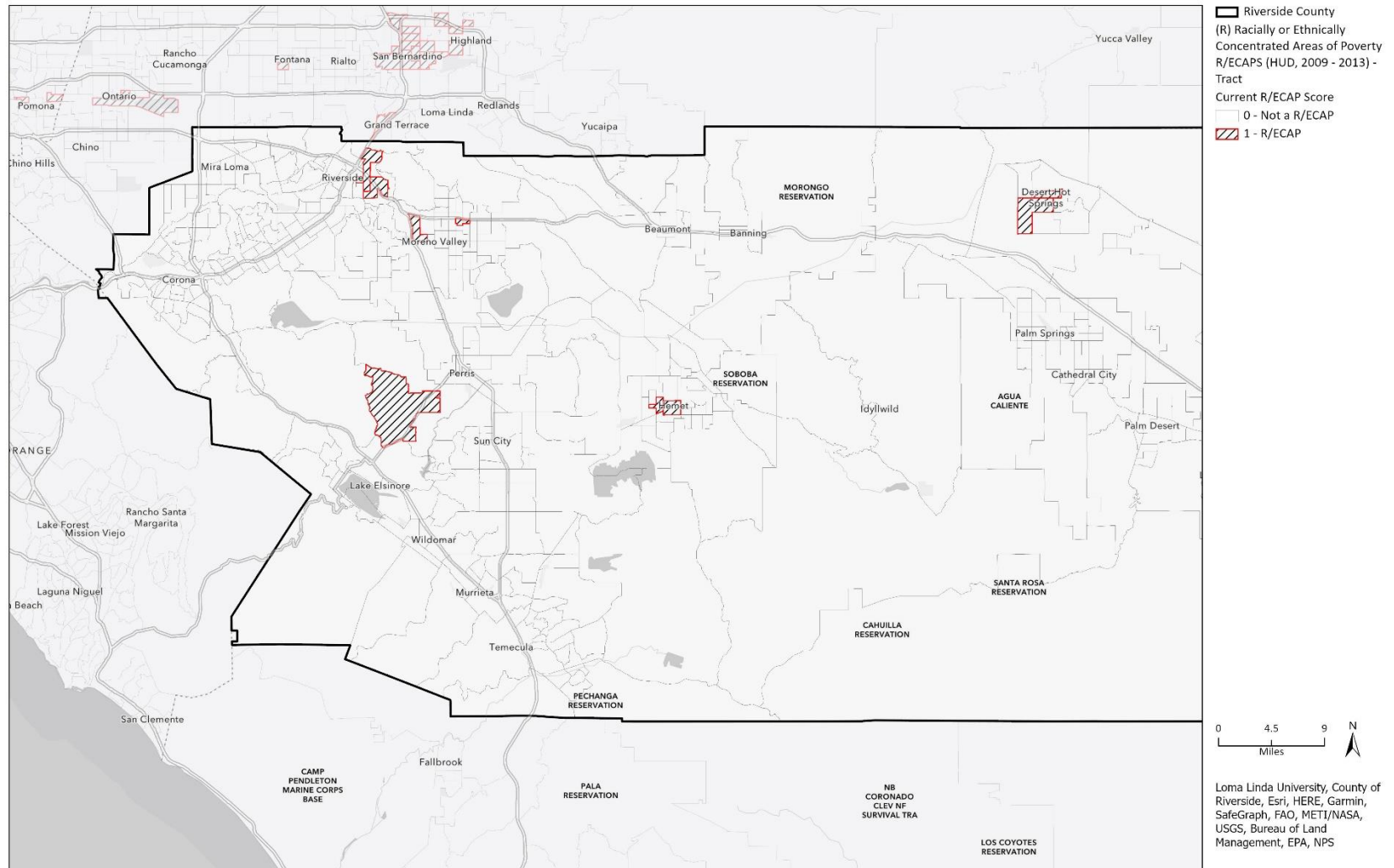
To assist communities in identifying racially and ethnically concentrated areas of poverty (also known as R/ECAPs), HUD developed a definition that relies on a racial and ethnic concentration threshold, as well as a poverty test. For an area to be identified as having a racial and ethnic concentration, the threshold is that a R/ECAP have a non-White population of 50 percent or more, within metropolitan or micropolitan areas. In locations outside these areas, where the non-White populations are likely to be much smaller than 50 percent, the threshold is set at 20 percent. The poverty test defines areas of “extreme poverty” as those where 40 percent or more of the population lives at or below the federal poverty line, or those where the poverty rate is three times the average poverty rate in the metropolitan area, whichever is less. An area that meets either the racial or ethnic concentration and also meets the poverty test would be considered a RECAP.

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs 19 through 28 in the Housing Element focus on the City’s efforts to affirmatively reduce barriers to housing, including but not limited to, racial inequities, high housing costs, and public awareness of existing resources. Poverty and segregation work to exasperate existing impediments in Corona, such as concentrations of LMI populations, language barriers, lending discrimination, and overcrowded conditions.

County of Riverside Trends

In Riverside County, there are R/ECAPs scattered in small sections of Riverside, Moreno Valley, and Hemet, as shown in Figure 12. Larger R/ECAP clusters can be seen in the western part of the county near Meadowbrook between Lake Elsinore and Perris, and in the eastern part of the county in Desert Hot Springs.

Figure 12: R/ECAPs: Riverside County

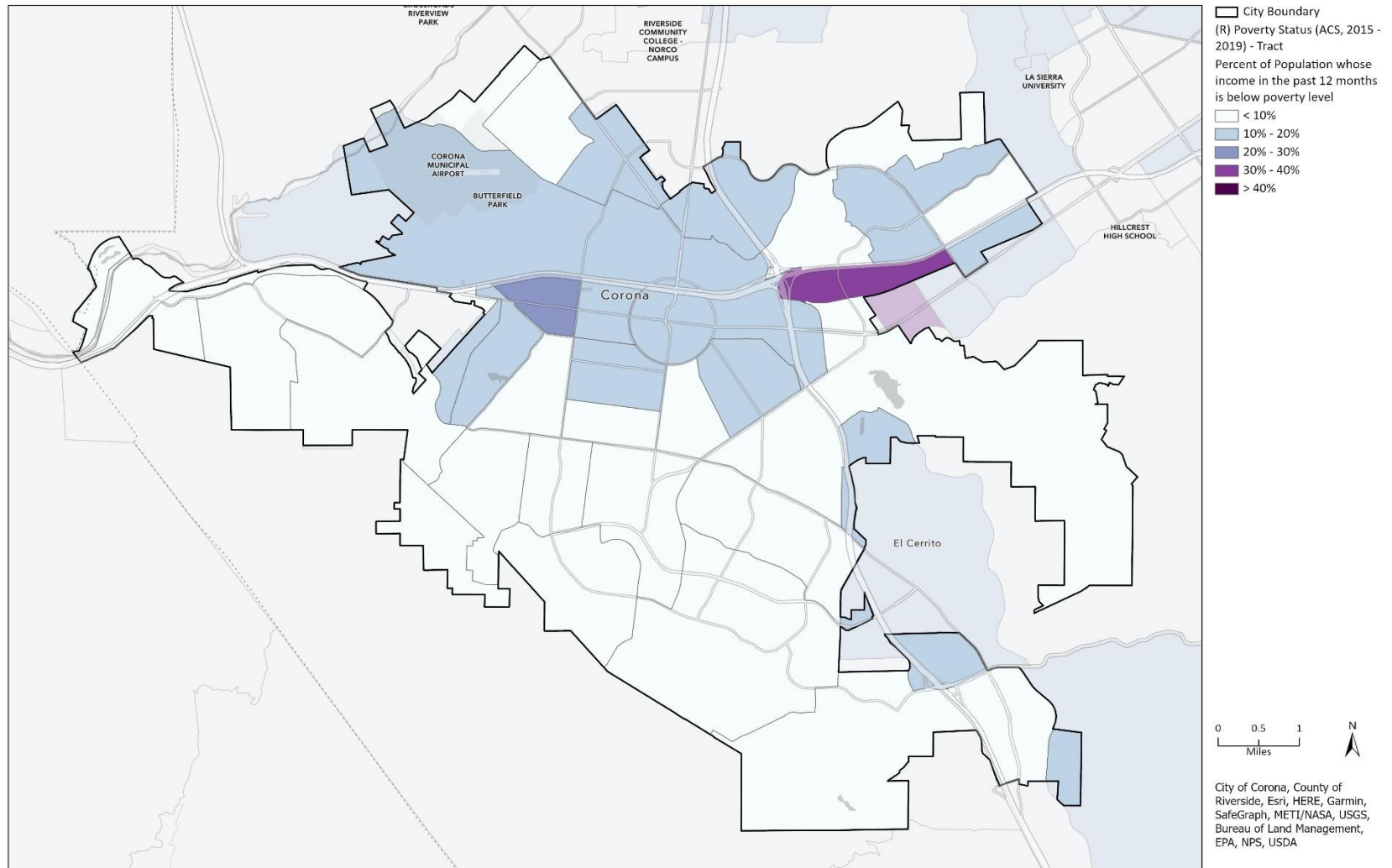


Source: AFFH Data Viewer, 2021

City of Corona Trends

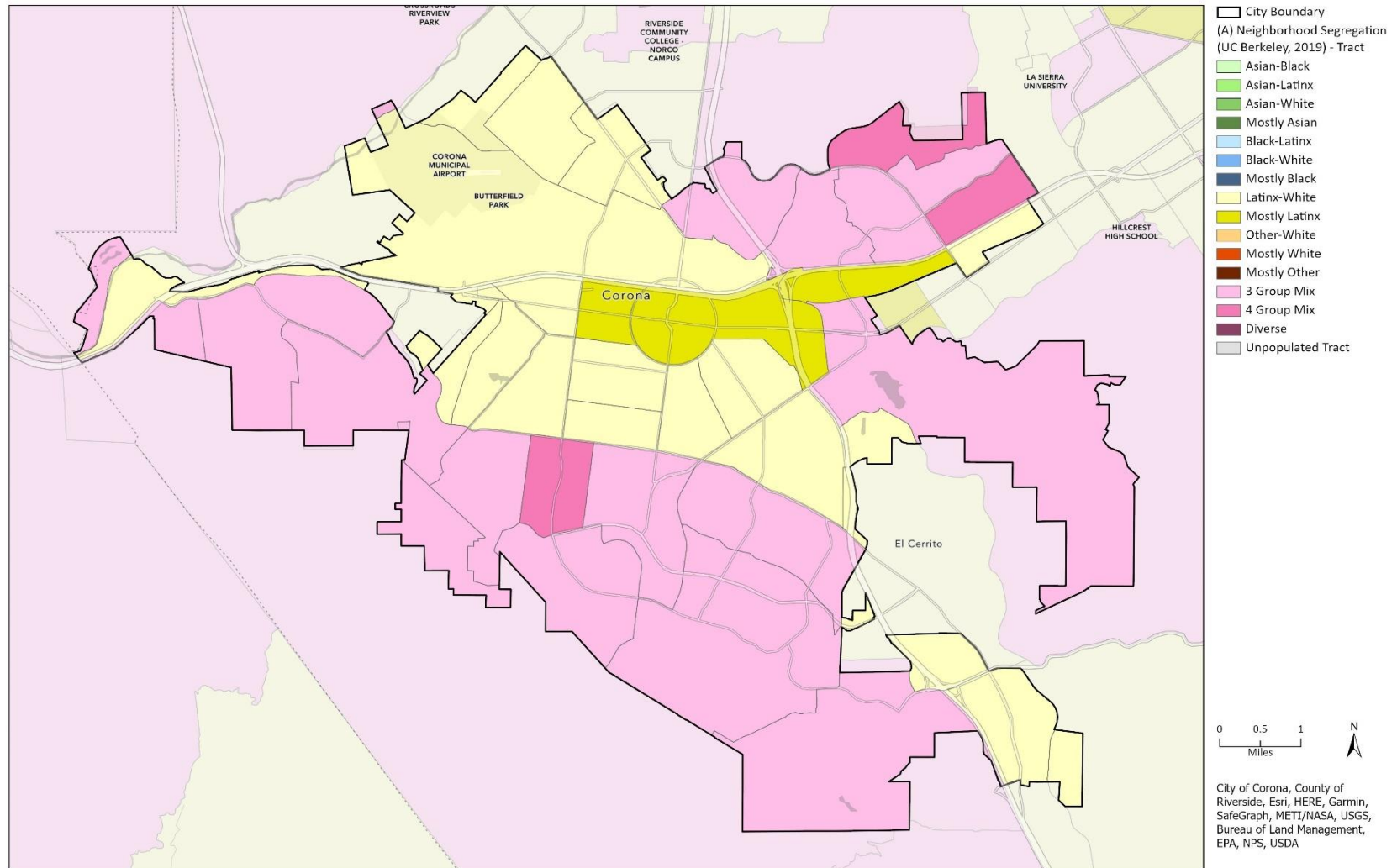
Corona does not have any R/ECAP areas. Figure 13 shows concentrated areas of poverty in the City by census tract, with an area of high segregation and poverty in the eastern area of the city south of SR-91 and north of Sampson Avenue. However, this area is generally industrial with few if any residences. Generally, Corona's areas of poverty (between 10 and 30 percent of the population) are concentrated in the downtown area and north and south of SR-91, with some pockets in the eastern portions of the City. It should be noted that some of the areas identified on the figure do not have residential uses, including the areas identified as having 10-20 percent poverty that are east of I-15 and south of Liberty Avenue in the southeastern portion of the city. Areas of racial/ethnic segregation exist mainly in the downtown areas, as shown in Figure 14. Taken together, Corona's areas of segregation and poverty exist mainly in the downtown core east of S. Lincoln Avenue and west of I-15, north of W. 10th Street/W. Grand Boulevard/Circle City Drive, and south of SR-91.

Figure 13: Areas of Poverty: Corona



Source: AFFH Data Viewer, 2021

Figure 14: Areas of Segregation: Corona



Source: AFFH Data Viewer, 2021

CONCENTRATED AREAS OF AFFLUENCE

While racially R/ECAPs have long been the focus of fair housing policies, racially concentrated areas of affluence (RCAAs) must also be analyzed to ensure housing is integrated, a key to fair housing choice. According to a policy paper published by HUD, RCAA is defined as affluent, white communities. According to HUD's policy paper, whites are the most racially segregated group in the United States and in the same way neighborhood disadvantage is associated with concentrated poverty and high concentrations of people of color, conversely, distinct advantages are associated with residence in affluent, white communities." RCAAs have not been studied extensively nor has a standard definition been published by HCD or HUD, this fair housing assessment uses the percent white population and median household income as proxies to identify potential areas of affluence.

County of Riverside Trends

Figure 1 shows concentrations of majority non-white populations, with the areas with the least non-white populations in the desert communities in the eastern area of the county (Palm Springs, Palm Desert, and surrounding communities).

City of Corona Trends

As shown in Figure 14, Corona does not have any majority white communities. It has areas of concentrated Latino/Hispanic populations, but mainly areas that are "mostly Latino" or "group mix."

DISPARITIES IN ACCESS TO OPPORTUNITY

Access to opportunity is a concept to approximate place-based characteristics linked to critical life outcomes. Access to opportunity often means both improving the quality of life for residents of low-income communities, as well as supporting mobility and access to "high resource" neighborhoods. This encompasses education, employment, economic development, safe and decent housing, low rates of violent crime, transportation, and other opportunities, including recreation, food and healthy environment (air, water, safe neighborhood, safety from environmental hazards, social services, and cultural institutions).

TRANSIT

Access to public transit is of paramount importance to households affected by low incomes and rising housing prices. Public transit should strive to link lower income persons, who are often transit dependent, to major employers where job opportunities exist. Access to employment via public transportation can reduce welfare usage and increase housing mobility, which enables residents to locate housing outside of traditionally low-income neighborhoods.⁴ The lack of a relationship between public transit, employment opportunities, and affordable housing may impede fair housing choice. Persons who depend on public transit may have limited choices regarding places to live.

⁴ Ong, Paul and Evelyn Blumenberg, "Job Accessibility and Welfare Usage: Evidence from Los Angeles." UCLA Department of Policy Studies, (1998).

County of Riverside Trends

Riverside County residents in urban and suburban areas generally access to transportation infrastructure, which includes the RTA bus system, the Sun Line Transit Agency in the Palm Springs area, Palo Verde Transit Agency in the Blythe area, the Riverside Metrolink Station, with links to San Bernardino County's Omnitrans system as well as to Amtrak, the Corona Transit Center, and the West Corona Metrolink Station. Public transit providers serve large portions of the western side of the County.

Transit use is higher in parts of the region where the greatest investment in transit service has been made. Almost all major employment centers in Riverside are served by some form of public transit. However, having regional access to jobs by means of public transit does not necessarily translate into stable employment. Low-income workers, especially female heads of household with children, have unique travel patterns that may prevent them from obtaining work far from home, regardless of access to public transit. Women in general are disproportionately responsible for household-supporting activities such as trips to grocery stores or accompanying young children to and from schools.

AllTransit is an online database that provides details on transit opportunity throughout the United States. The website explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. The participating jurisdictions in the County received an average AllTransit performance score of 3.3.⁵ AllTransit performance score explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. A score of 3.3 means there is, overall, a low combination of trips per week and number of jobs accessible enabling few people to take transit to work.

City of Corona Trends

According to AllTransit, 1.65 percent of workers in Corona take public transportation to work. The City has an AllTransit Performance Score of 2.5, less than the County as a whole. Four RTA routes serve the city.

EDUCATION

County of Riverside Trends

TCAC Opportunity Areas map for education provides an overview of education outcomes across the county. As shown in Figure 15, areas of more positive educational outcomes are located in the western portion of the county and near Beaumont and Palm Desert. The TCAC Opportunity methodology included test scores, high school graduation rates, and school poverty rates.

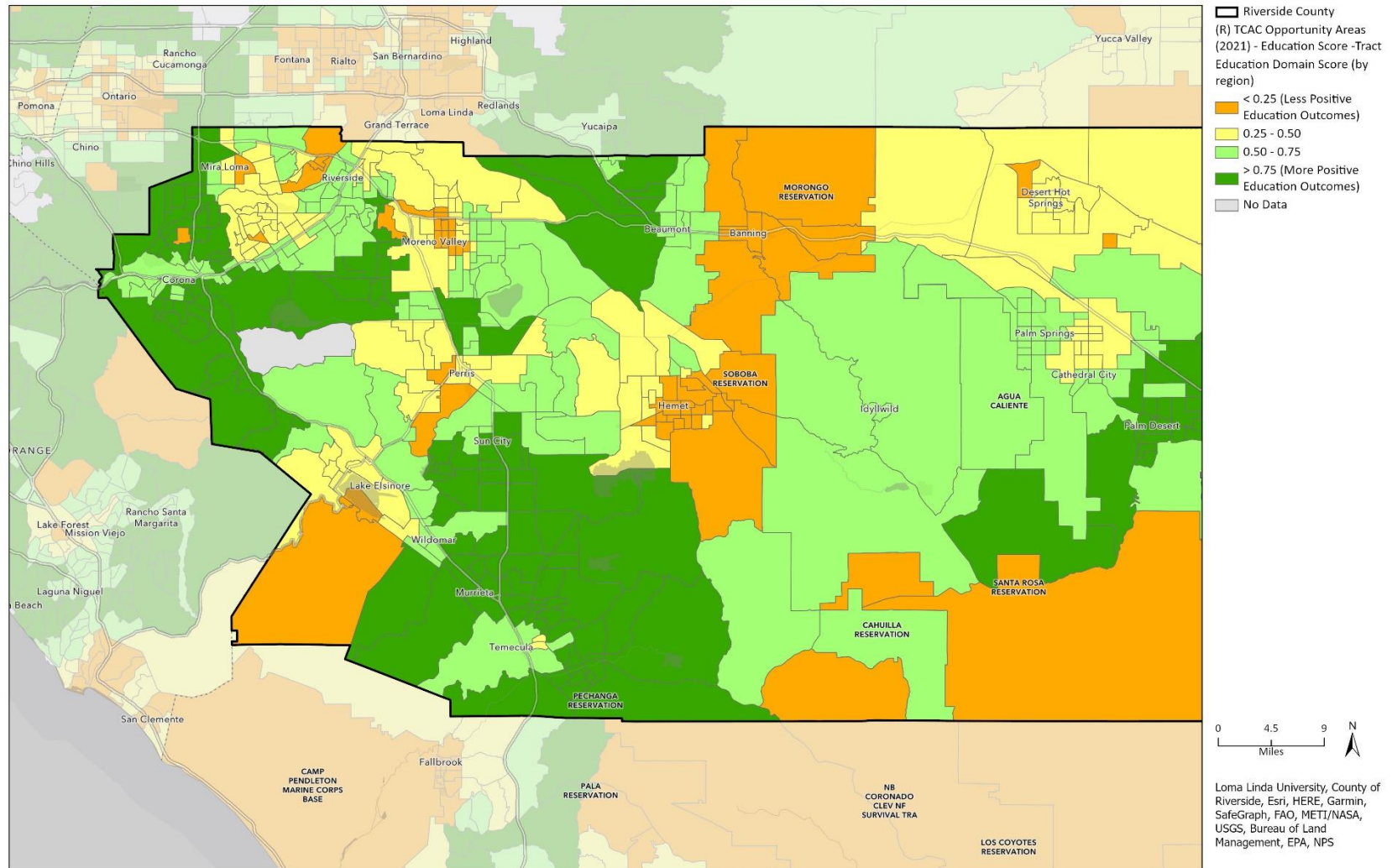
Kidsdata.org, a program of the Lucile Packard Foundation for Children's Health, estimated that 27.6 percent of children aged 0-17 in Riverside County were living in low-income working families between 2013 to 2017.⁶ Additionally, 21.3 percent of families with children aged 0-17 in the county were

⁵ <https://alltransit.cnt.org/>

⁶ Definition of "low income working family": children ages 0-17 living in families with incomes below 200 percent of their federal poverty threshold and with at least one resident parent who worked at least 50 weeks in the 12 months prior to the survey

below the poverty level between 2013-2017 and 5.1 percent of public school students experienced homelessness. Cost burden is also an issue in Riverside County, as 42.6 percent of households with school age children experienced high housing cost burden between 2014-2018.

Figure 15: TCAC Opportunity Areas of Education: Riverside County



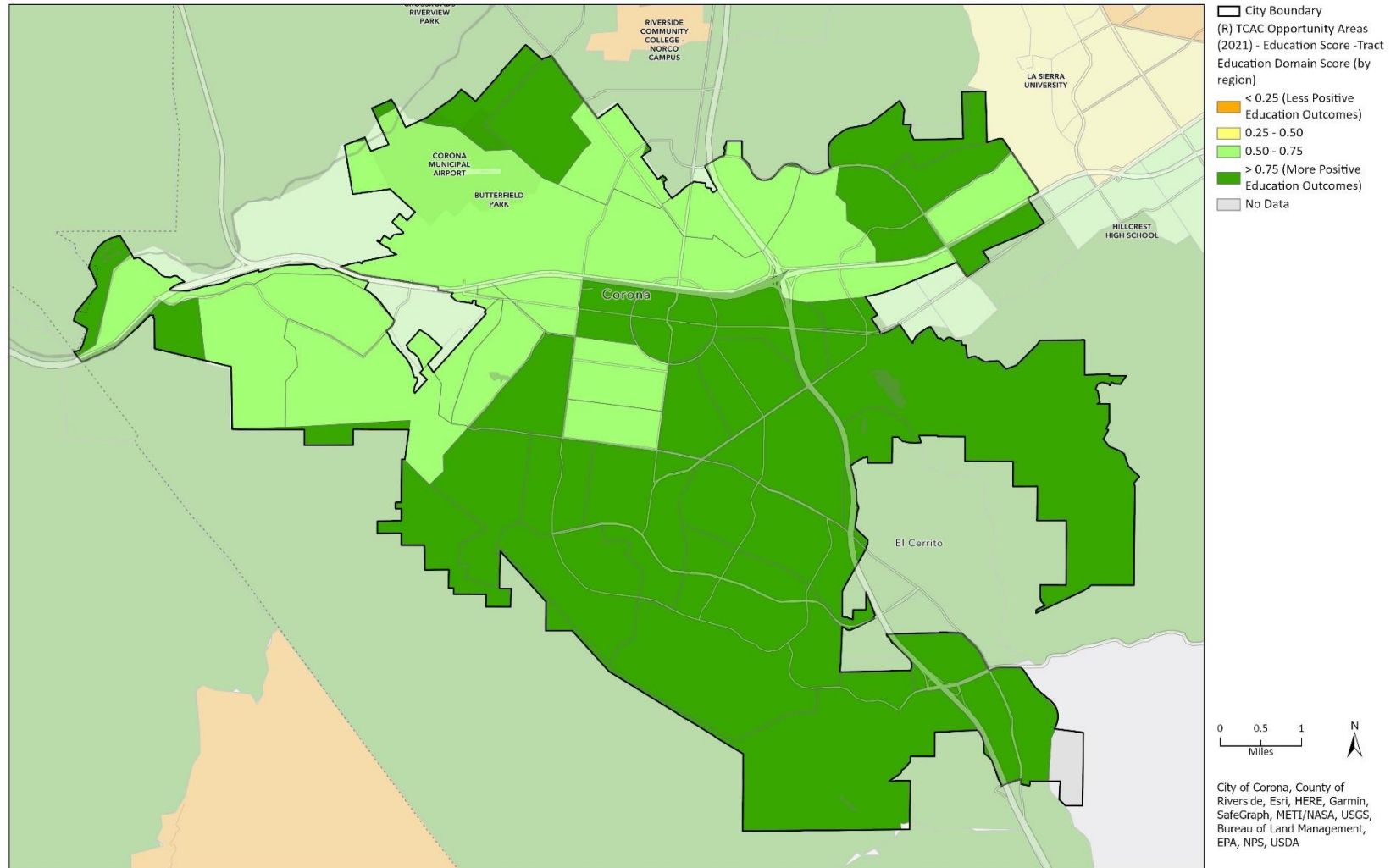
Source: TCAC/HUD, 2021

City of Corona Trends

Youth in Corona are served by the Corona Norco Unified School District (CNUSD). Although the City does not have direct control over the school district, City and CNUSD staff work closely to ensure that access, safety, and opportunity is continually provided. Figure 16 shows Corona's TCAC scores related to access to education on a census tract level. In general, the City does not have large disparities in educational outcomes. Educational outcome scores are higher in the southern portion of the City with the exception of areas to the very north and east, but no portion of the City has low outcome scores.

Kidsdata.org estimated that 19.6 percent of children aged 0-17 in CNUSD were living in low-income working families between 2012 and 2016, which is lower than the 27.6 percent low-income rate in the County as a whole. Additionally, 21.3 percent of families with children aged 0-17 in the CNUSD were below the poverty level between 2013-2017 and 0.7 percent of public school students were homeless. Similar to Riverside County, 42.3 percent of households with school age children experienced a high housing cost burden, according to 2014-2018 ACS data.

Figure 16: TCAC Opportunity Areas of Education: Corona



Source: TCAC/HUD, 2021

EMPLOYMENT

County of Riverside Trends

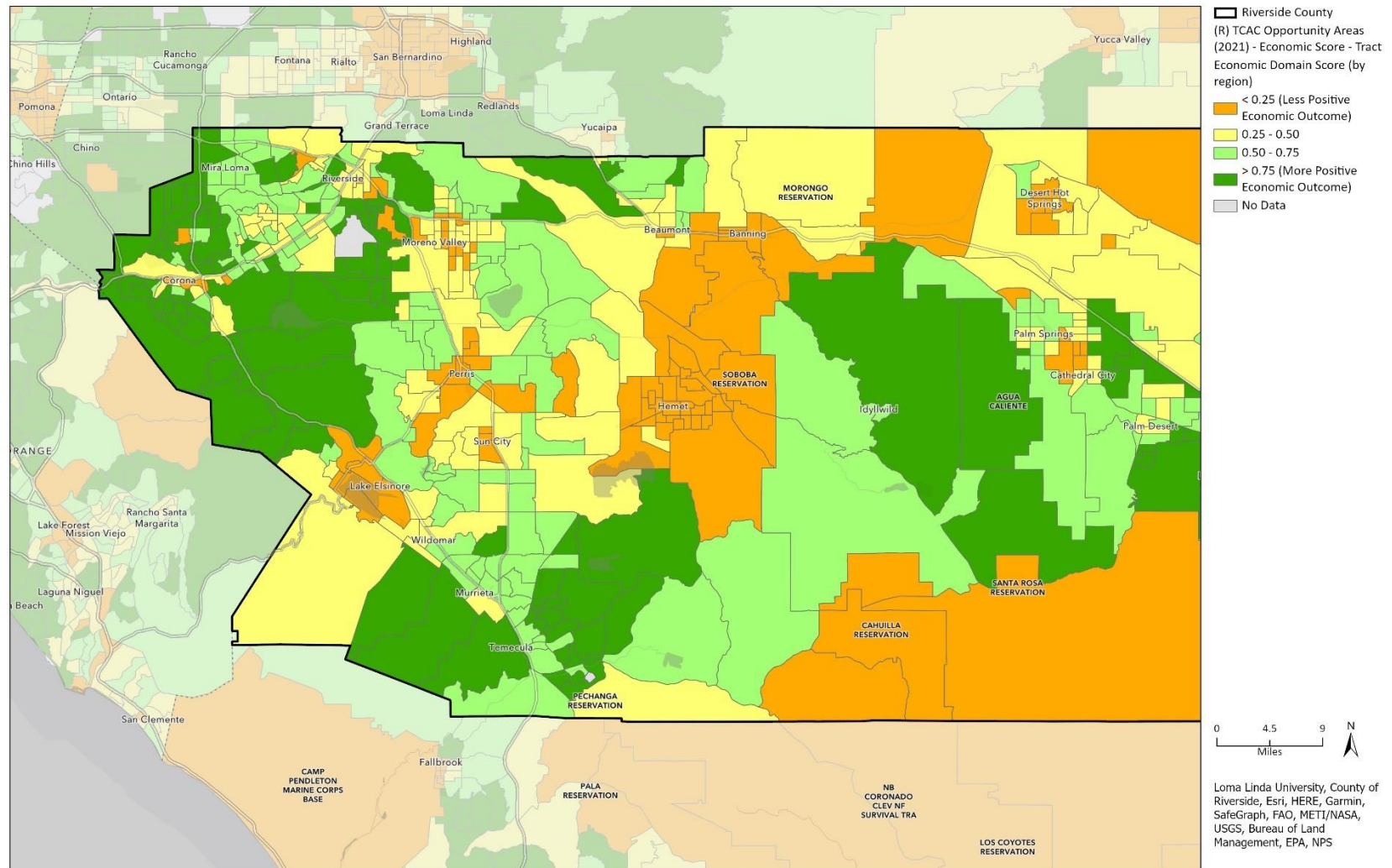
According to the California Employment Development Department, the unemployment rate of Riverside County was 7.2 percent in May 2021 (not seasonally adjusted).⁷ Riverside's top 10 employers are primarily in the medical, education, and municipal sectors. While one major retail company, Amazon, remains among the top ten County employers, it is surpassed by the U.S. Military, a major university, and a regional government bureaucracy in terms of numbers of employees. A high proportion of managerial/professional and sales/office occupations are held by Riverside County residents.

According to HUD, "The labor market engagement index provides a summary description of the relative intensity of labor market engagement and human capital in a neighborhood. This is based upon the level of employment, labor force participation, and educational attainment in a census tract" (AFFH-T Data Documentation 2017). Educational attainment is a measure of those within a census tract who have achieved a bachelor's degree or higher. Values are ranked by national percentile and range from 0 to 100. The higher the score, the higher the labor force participation and human capital in a neighborhood. The group with the highest Labor Market Index scores in both the jurisdiction and the region is Asians or Pacific Islander residents, at 40.96. This group is followed by white residents, at 35.68; Black residents, at 29.68; then Native American residents, at 27.08, and Hispanic residents, at 25.01. HUD attempts to correct for income disparities by statistically separating out the population below the federal poverty level. For Riverside residents below the poverty line, the numbers decrease by an average of 7.28 points, with the largest decrease, 10.34 percent, occurring among Asians and Pacific Islander residents in poverty.

Figure 17 shows the TCAC Opportunity Areas map for economic outcomes across the county. Areas of more positive economic outcomes are located in the western portion of the county and near Temecula, Idyllwild, and in some of the desert communities in the eastern portion of the county.

⁷ <https://www.labormarketinfo.edd.ca.gov/data/labor-force-and-unemployment-for-cities-and-census-areas.html#Data>

Figure 17: TCAC Opportunity Areas of Economic Outcomes: Riverside County



Source: TCAC/HUD, 2021

City of Corona Trends

According to the 2014-2018 American Community Survey (ACS), there were 80,196 Corona residents in the labor force, representing a labor force participation rate of 62.5 percent of persons 16 years and over. Table 8 shows the number of persons employed in each job industry and the corresponding percentage of the labor force for the City. The largest occupational category for City residents was education/health care/social assistance. According to the California Employment Development Department, the unemployment rate of Riverside County was 5.8 percent in May 2021 (not seasonally adjusted).

Table 8: Jobs Held by Corona Residents

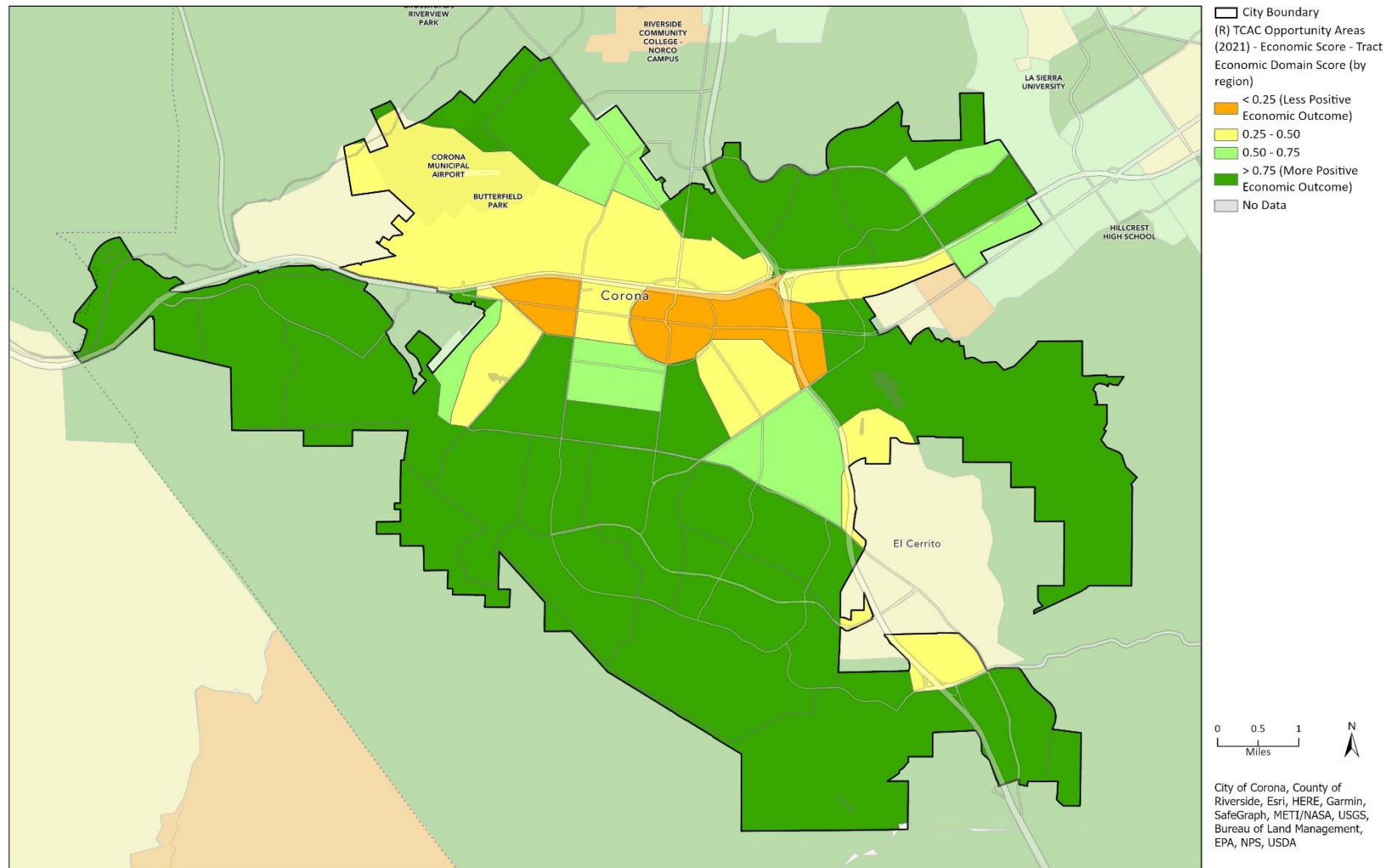
Job Industry	Number	Percent
Agriculture, forestry, fishing and hunting, and mining	160	0.2%
Construction	5,796	7.2%
Manufacturing	11,008	13.7%
Wholesale trade	2,893	3.6%
Retail trade	9,767	12.2%
Transportation and warehousing, and utilities	4,299	5.4%
Information	1,241	1.5%
Finance, insurance, real estate, and rental and leasing	5,045	6.3%
Professional, scientific, management, administration, and waste management	8,024	10.0%
Educational, health care, and social assistance	16,461	20.5%
Arts, entertainment, and recreation, accommodation, and food serves	7,487	9.3%
Other services, except public administration	3,800	4.7%
Public administration	4,215	5.3%
Total employed persons (16 years and over)	80,196	100%
Total persons in labor force	84,863	
Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018		

Corona's proximity to major transportation corridors makes this area an attractive location for firms seeking ready access to markets in the counties of Riverside, San Diego, Orange, Los Angeles, and San Bernardino. Several major employers are located within Corona. Major employers in the community include Corona-Norco Unified School District, Corona Regional Medical Center, and Kaiser Permanente.

Figure 18 shows the TCAC Opportunity Areas map for economic outcomes in the City. Areas of more positive economic outcomes are located in the south portion of the county and near the periphery of the

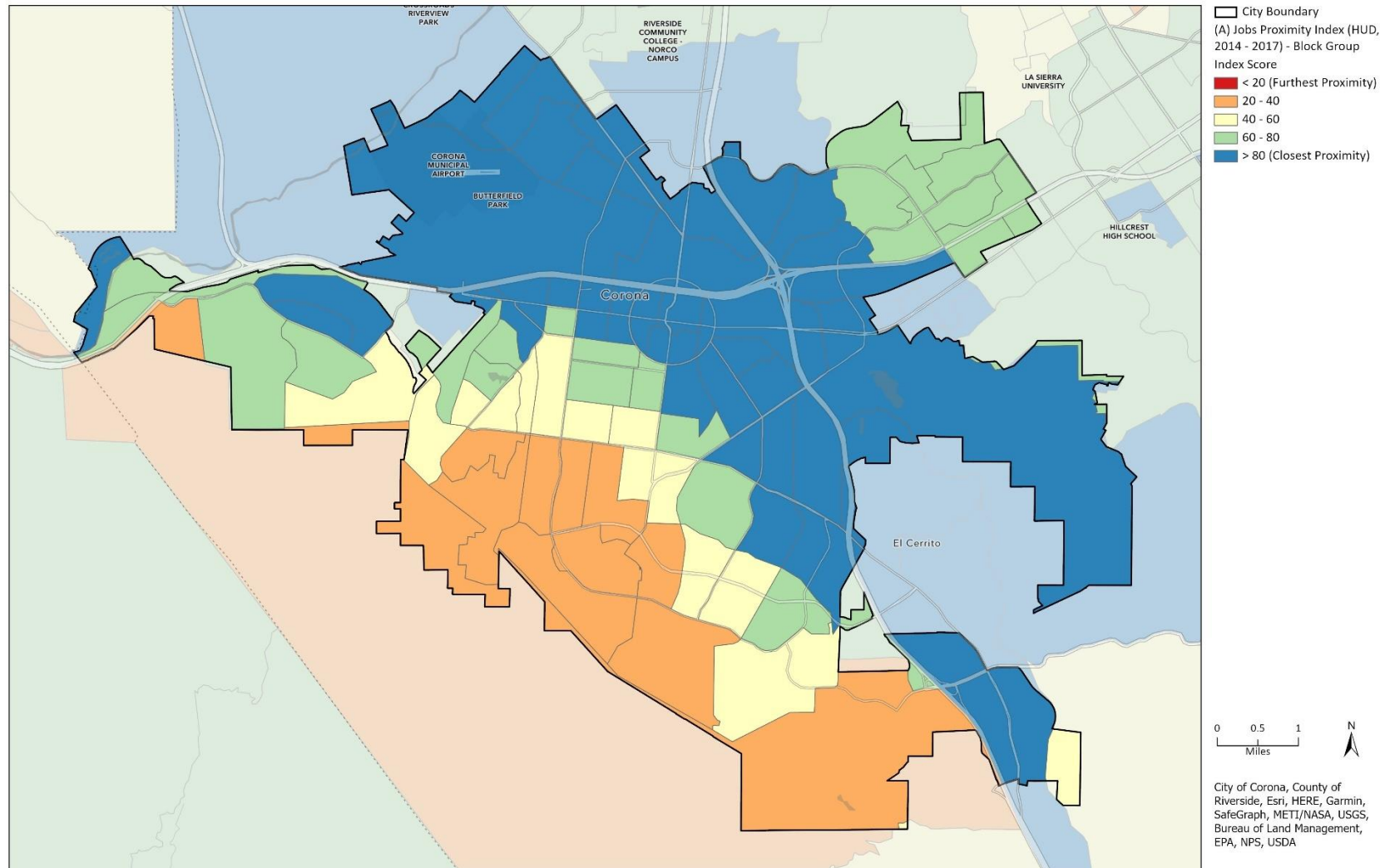
city center, while the downtown area, airport area, and industrial areas have a lower economic outcome score. However, according to Figure 19, the city center and industrial areas have a higher job proximity index than areas towards the City's peripheries. The City focuses on the economic opportunities in the downtown area. The Downtown Revitalization Plan addresses specific goals identified including investing in redevelopment of the downtown.

Figure 18: TCAC Opportunity Areas of Economic Outcomes: Corona



Source: TCAC/HUD, 2021

Figure 19: Job Proximity Index: Corona



Source: AFFH Viewer 2021

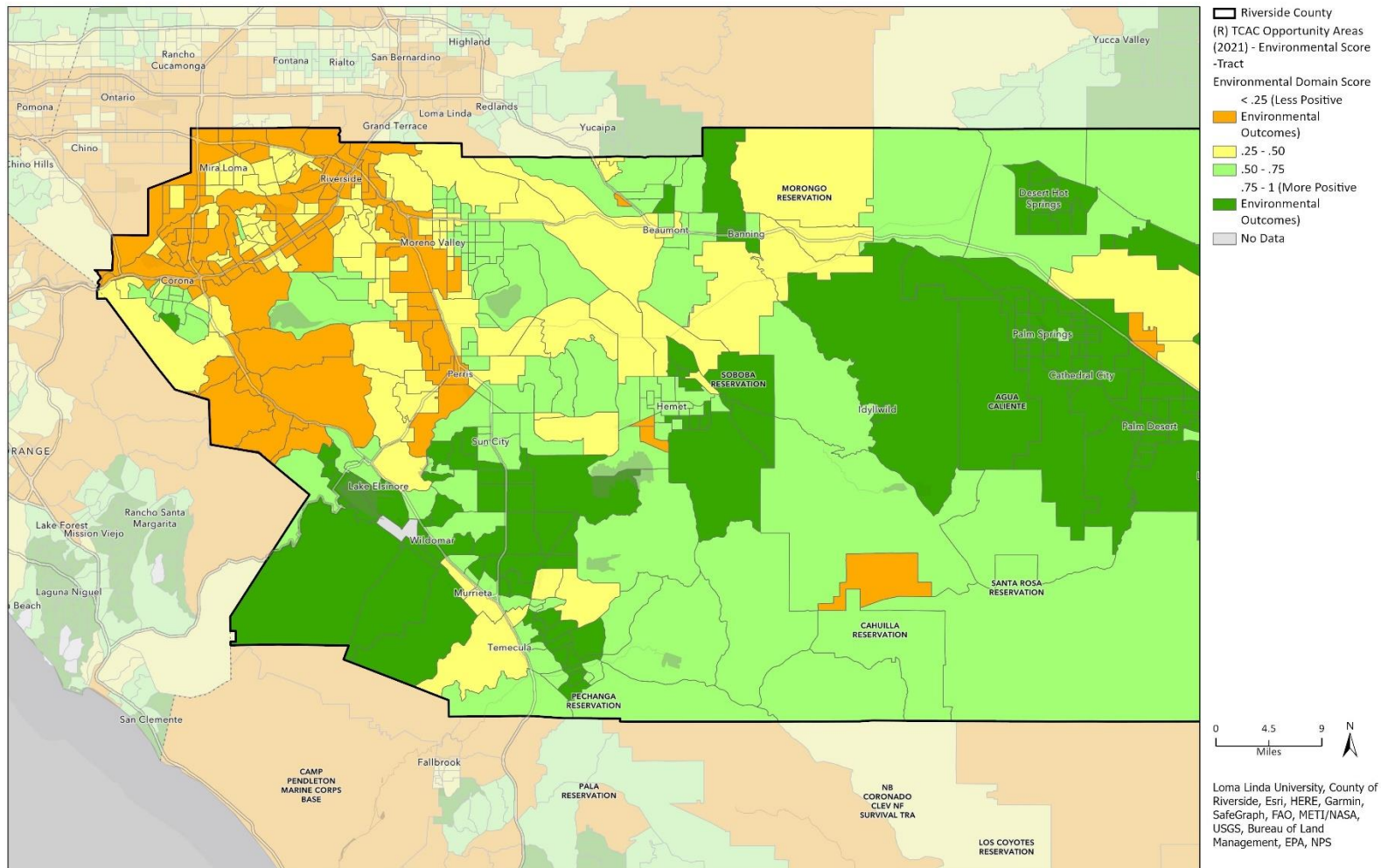
HEALTHY ENVIRONMENT

Access to a healthy environment is necessary for the communities found within the City to thrive. Healthy Environment in AFFH addresses patterns in the disparities found within the different neighborhoods and protected area groups. As previously mentioned, these disparities can vary from air quality, water quality, safe neighborhood, environmental hazards, social services, and cultural institutions. It is important to address these issues in order to keep from triggering the California laws AB 1550, SB 535 and SB 1000 which emphasize the importance of environmental justice for housing efforts. The California Office of Environmental Health Hazard Assessment (OEHHA) developed a screening methodology to help identify California communities disproportionately burdened by multiple sources of pollution called the California Communities Environmental Health Screening Tool (CalEnviroScreen). High scoring census tracts tend to be more burdened by pollution from multiple sources and are most vulnerable to its effects, taking into account socioeconomic characteristics and underlying health status.

County of Riverside Trends

The County's overall CalEnviroScreen map identifies pollution and hazardous areas within the County of Riverside. This is an important tool which allows for the analyzation of people's vulnerability to pollution and whether communities are considered an SB 535 disadvantaged community. CalEnviroScreen reports scores as percentiles to compare tracts across the entire county. Figure 20 shows the more urbanized, western portion of the County has less positive environmental outcomes.

Figure 20: CalEnviroScreen Percentile Scores: Riverside County



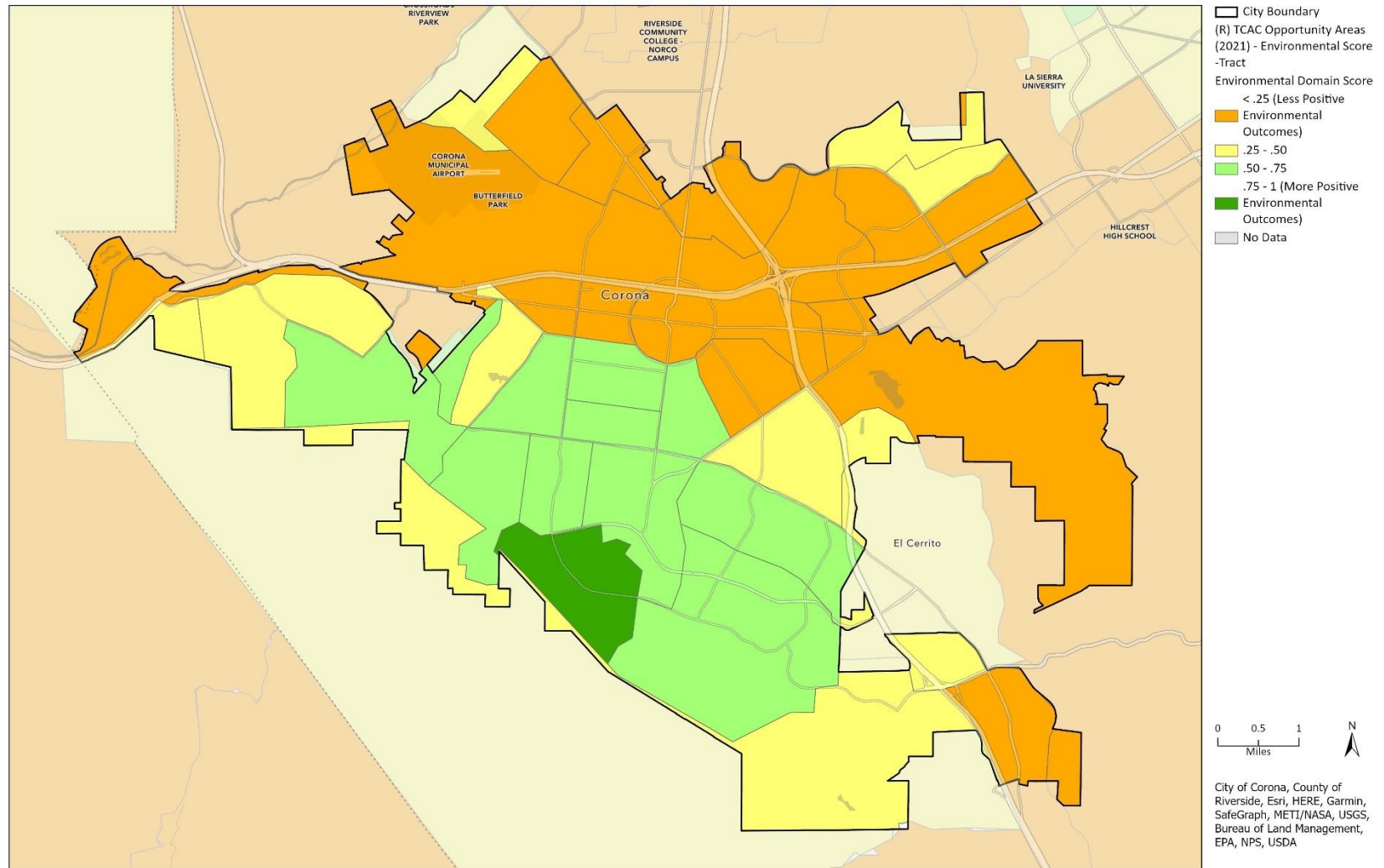
Source: AFFH Viewer 2021

City of Corona Trends

As shown in Figure 21, the City has a large disparity in environmental outcomes. The northern portion of the City, from downtown north, has less positive environmental outcomes than south of downtown, which are further from freeways and industrial areas and closer to undeveloped mountain land. Unsurprisingly, areas close to freeways in Corona have a high pollution burden for diesel particulate matter, ozone, and traffic.⁸ These areas also tend to have higher concentrations of poverty and racial/ethnic minorities.

⁸ <https://oehha.ca.gov/calenviroscreen/report/draft-calenviroscreen-40>

Figure 21: CalEnviroScreen Percentile Scores: Corona



Source: AFFH Viewer 2021

DISPROPORTIONATE HOUSING NEEDS

Disproportionate housing needs generally refers to a condition in which there are significant disparities in the proportion of members of a protected class experiencing a category of housing need when compared to the proportion of members of any other relevant groups, or the total population experiencing that category of housing need in the applicable geographic area. For purposes of this definition, categories of housing need are based on such factors as cost burden and severe cost burden, overcrowding, homelessness, and substandard housing conditions.

COST BURDEN

County of Riverside Trends

Cost burden is defined as the proportion of a household's total gross income spent on housing costs. Households spending a minimum of 30 percent of their total gross income on housing costs are considered cost burdened, whereas households spending over 50 percent on housing costs are considered severely rent burdened. Low-income households and persons in protected classes disproportionately experience severe housing problems. Housing problems include units with physical defects, overcrowded conditions, and housing cost burden. Low-income households tend to more often be renters than buyers.

According to the County of Riverside AI, there are a total of 683,145 households in Riverside County. Of those households, 337,325, or 49.38 percent, experience housing problems. Among those 337,325 households experiencing problems, 187,835, or 27.50 percent of the total, experience severe housing problems. Additionally, Hispanic and Black households within the jurisdiction experience housing problems and severe housing problems at disproportionately higher rates than the average. Specifically, 59.46 percent of Hispanic and 58.67 percent of Black residents experience housing problems, while 37.16 percent of Hispanic and 32.77 percent of Black residents experience severe housing problems. Asian residents in Riverside County experience severe housing problems disproportionately, at 28.19 percent, as compared to 27.50 percent of households in general. By contrast, white residents within the jurisdiction are far less likely to experience housing problems, making up 41.38 percent of those experiencing problems vs. 49.38 percent of the population on average. They are also less likely than average to experience severe housing problem, at 20.32 percent versus 27.50 percent for the general population.

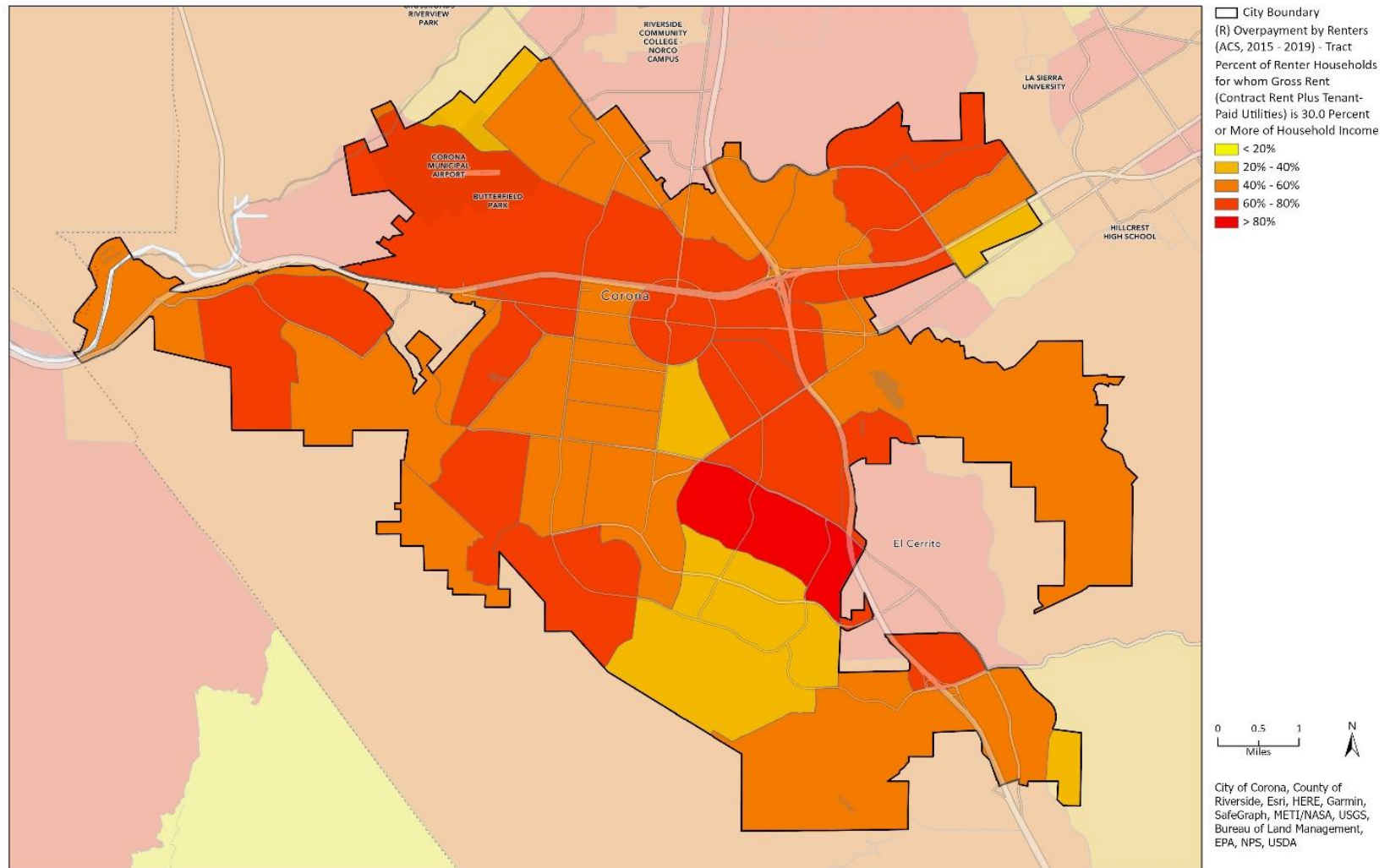
City of Corona Trends

When comparing by household types, a greater proportion of renter elderly, renter small family, and renter large family households faced housing problems than owner households of the same type. As discussed in the Housing Element, 61 percent of extremely low-income renter households in Corona spend more than 50 percent of their income on housing. Low-income households tend to more often be renters than buyers. Specifically, all extremely low, very low, and low-income renters in Corona reported experiencing at least one housing problem. Additionally, a higher-than-average portion of families who rent are housing-burdened (pay more than 30 percent of income on housing).

Figure 22 shows the areas of the City most likely to have overpayment by renters. The area most likely to incur overpayment by renters is south of W. Ontario Avenue and north of E. Chase Drive west of I-15. The downtown area and central part of the city, and the northeast area of the city near the Riverside Community College are also likely to have overpayment by renters. It should be noted that some of the

areas identified on the figure do not have residential uses, including the area identified as having 40-60 percent overpayment by renters that is east of I-15 and south of Liberty Avenue in the southeastern portion of the city.

Figure 22: Overpayment by Renters: Corona



Source: AFFH Data Viewer, 2021

OVERCROWDING

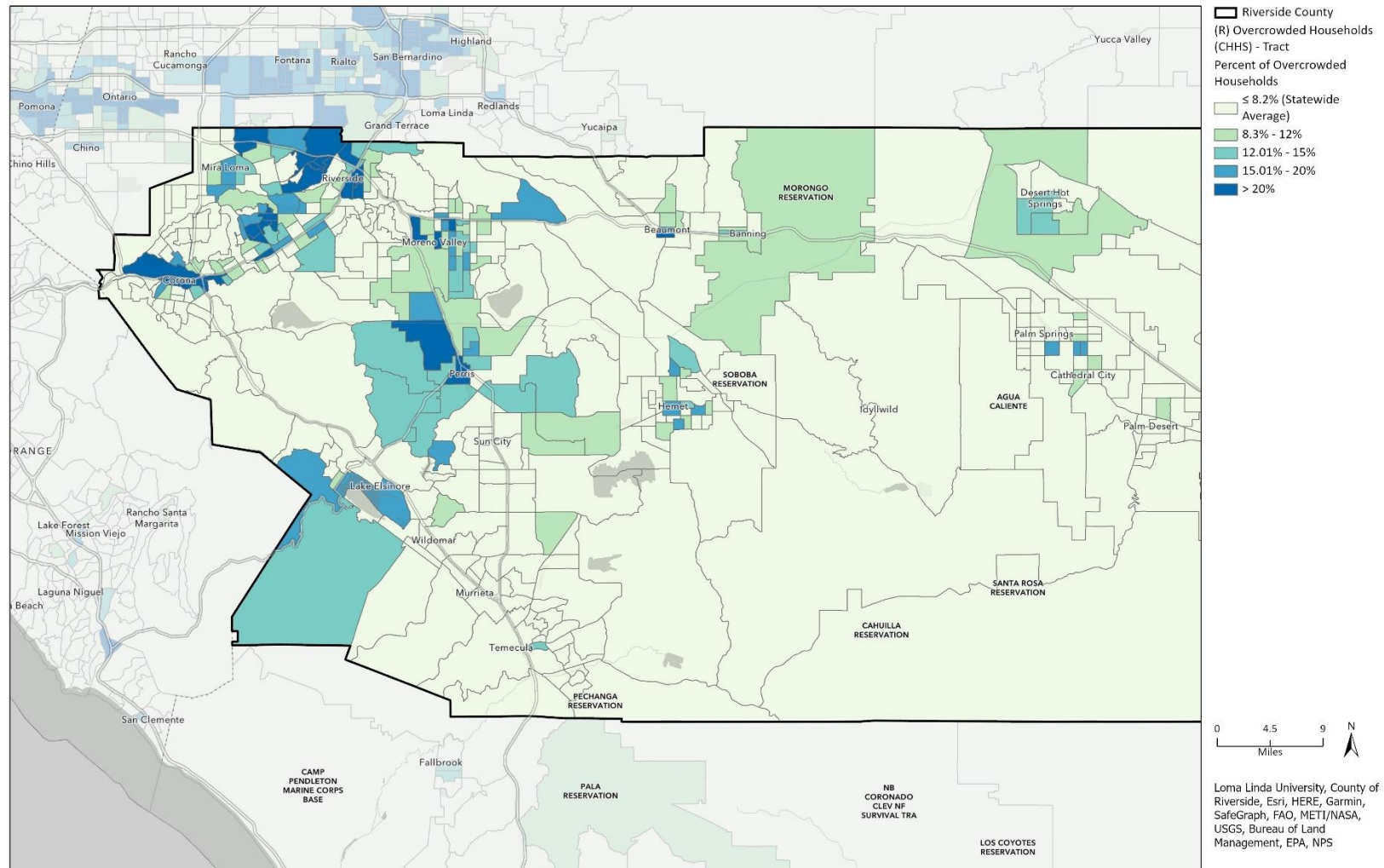
Overcrowding is defined as housing units with more than one person per room (including dining and living rooms but excluding bathrooms and kitchen) while severe overcrowding refers to more than 1.5 persons per room. Large families in general have special housing needs due to lower per capita income, the need for affordable housing, or the need for larger units with 3 or more bedrooms, resulting in overcrowding.

Some households may not be able to accommodate high cost burdens for housing but may instead accept smaller housing or reside with other individuals or families in the same home. Potential fair housing issues emerge if non-traditional households are discouraged or denied housing due to a perception of overcrowding. Household overcrowding is reflective of various living situations: a family lives in a home that is too small; a family chooses to house extended family members; or unrelated individuals or families are doubling up to afford housing. However, cultural differences also contribute to the overcrowded conditions since some cultures tend to have a larger household size than others due to the preference of living with extended family members. Not only is overcrowding a potential fair housing concern, it can potentially strain physical facilities and the delivery of public services, reduce the quality of the physical environment, contribute to a shortage of parking, and accelerate the deterioration of homes. As a result, some landlords or apartment managers may be more hesitant to rent to larger families, thus making access to adequate housing even more difficult. According to local fair housing service providers and property managers, addressing the issue of large households is complex as there are no set of guidelines for determining the maximum capacity for a unit. Fair housing issues may arise from policies aimed to limit overcrowding that have a disparate impact on specific racial or ethnic groups with higher proportion of overcrowding.

County of Riverside Trends

According to the County of Riverside AI, the County had 129,419 large families, 35.16 of which earned what would be considered low and moderate income for a family of four, with roughly 14.4 percent falling into the extremely low-income category. Large families experience housing problems disproportionately, at 64.48 percent, vs. 49.38 percent of households generally. 3,843 two-bedroom units and 2,995 three or more-bedroom units are available within subsidized housing programs within the County. In total, 32.01 percent, or 3,934 units, of the 12,287 total publicly supported housing program units are occupied by families with children. As shown in Figure 23, overcrowded housing is a greater issue in western Riverside County, mainly in urban centers such as the City of Riverside, Corona, and Perris.

Figure 23: Overcrowded Housing: Riverside County

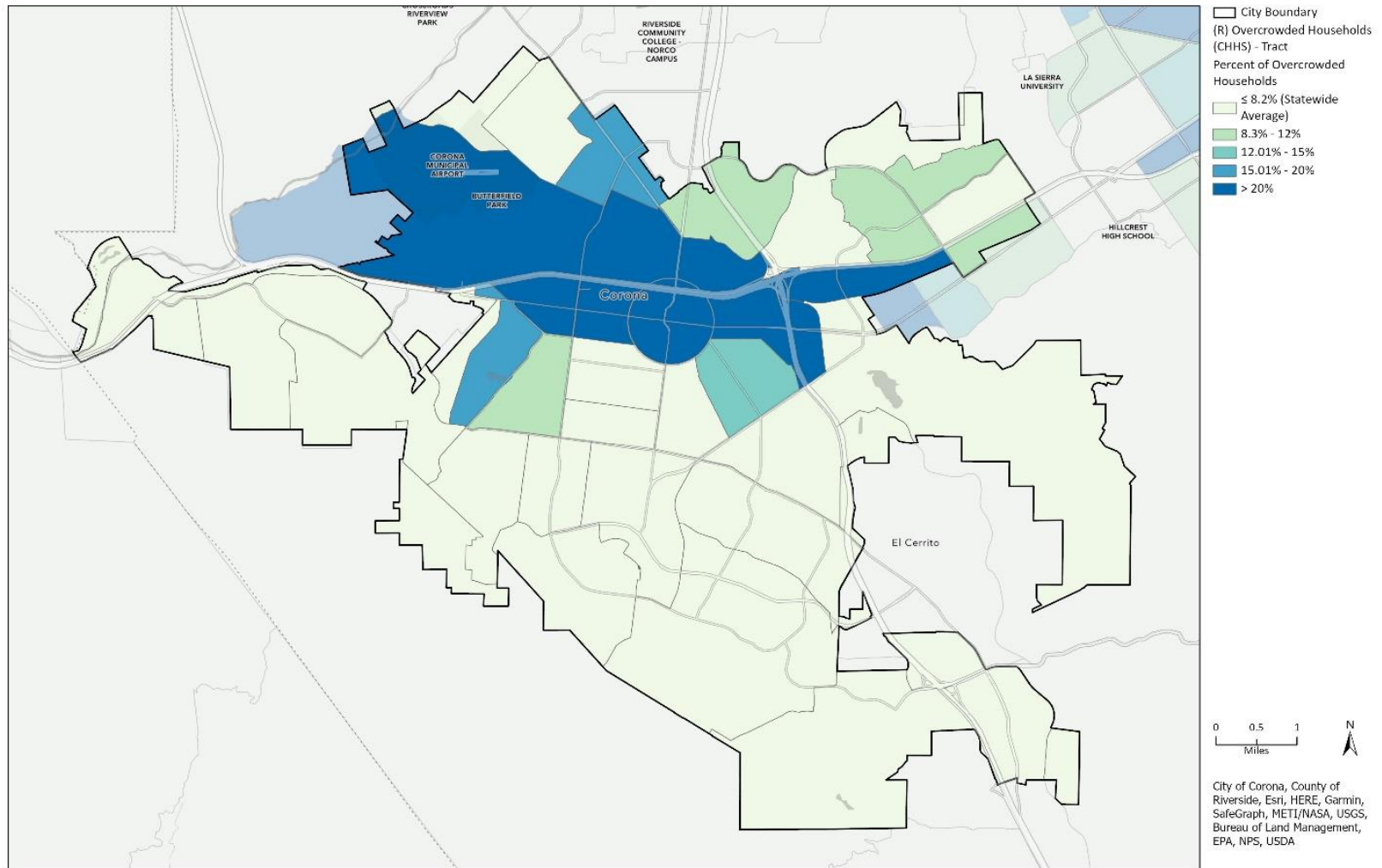


Source: AFFH Data Viewer, 2021

City of Corona Trends

Based on 2014-2018 ACS estimates, 5.9 percent of households in Corona are overcrowded, compared to 6.9 percent for the County as a whole. Corona had an average of 3.32 persons per household in 2018, representing a small decrease from 2010, when an average of 3.38 persons per household was recorded. Corona had a smaller average household size than Moreno Valley and Norco. Furthermore, Corona had a lower percentage of overcrowded households when compared to Moreno Valley, City of Riverside, and the County of Riverside. As shown in Figure 24, areas more likely to have overcrowded households are located in the downtown and central areas of the City north and south of SR-91.

Figure 24: Overcrowded Housing in Corona



Source: AFFH Data Viewer, 2021

DISPLACEMENT

The two primary key factors in visualizing displacement are the loss of low-income households and increases in rent. According to the UDP, neighborhoods are considered sensitive communities if they have a large percentage of residents at a higher risk of displacement due to increasing housing costs relative to other areas.

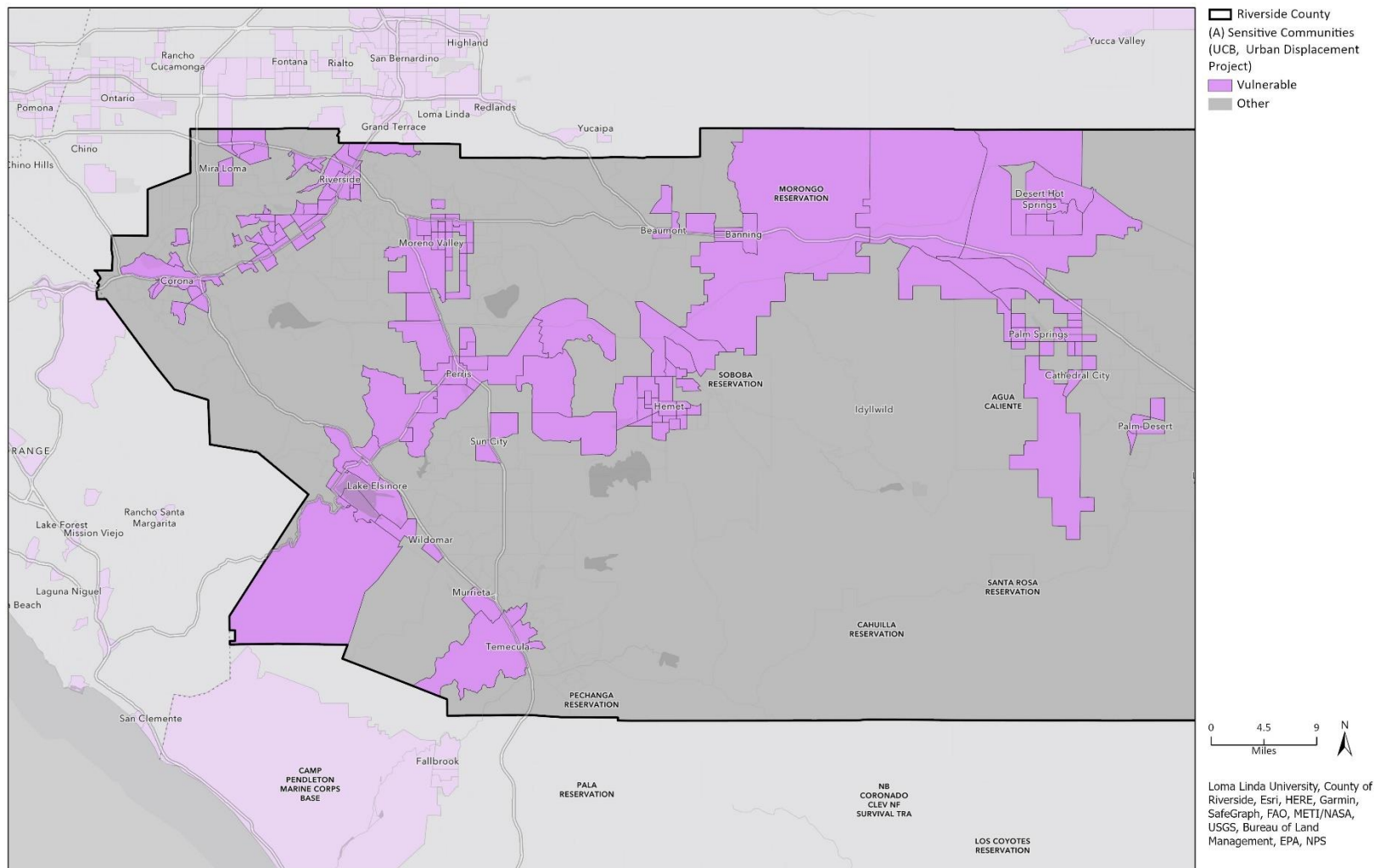
Riverside County Trends

As shown in Figure 25, residents in the cities in northern Riverside County are facing relatively less displacement risk than those living in cities in the southern portion of the county. Residents living in urban areas such as Riverside, Moreno Valley, Perris, Nuevo, Lake Elsinore, and Hemet are at risk of displacement, as are residents in more rural areas such as the Morongo Reservation.

City of Corona Trends

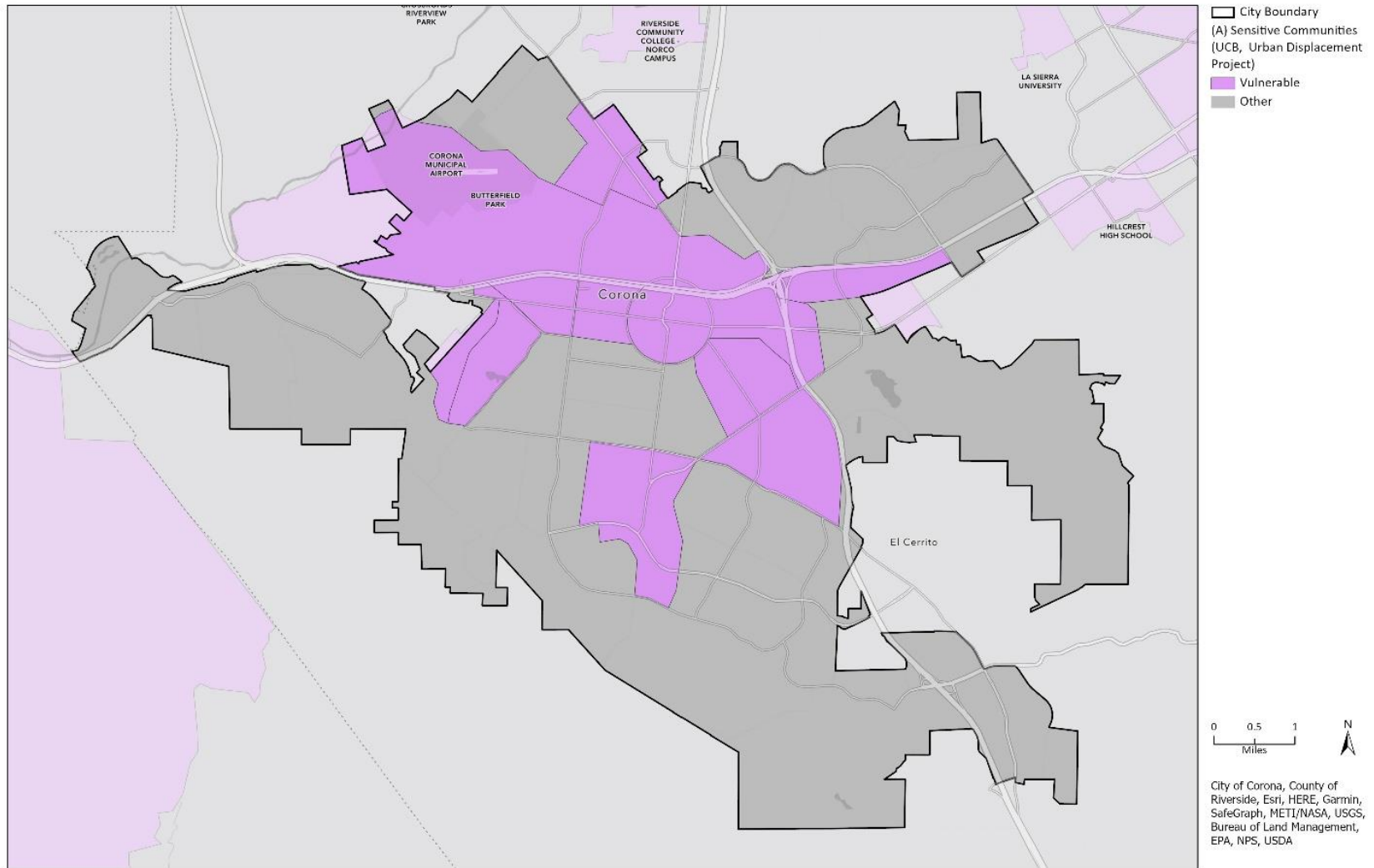
In Corona, the areas with greatest risk of displacement are also the areas where residents tend to have lower median incomes, as shown in Figure 26.

Figure 25: Sensitive Communities in Riverside County



Source: AFFH Data Viewer, 2021

Figure 26: Sensitive Communities in Corona



Source: AFFH Data Viewer, 2021

Disproportionate Housing Needs: Contributing Factors

- Patterns of racial and ethnic concentration
- Displacement of residents due to economic pressures
- Lack of private investments in specific neighborhoods
- Location and type of affordable housing
- Limiting local land use policies
- Unaffordable rents and sales
- Shortage of subsidized housing units
- Dominance of single-family housing
- Discriminatory lending practices
- Location and type of affordable housing
- High levels of overcrowding
- Cost of repairs or rehabilitation

SITES INVENTORY

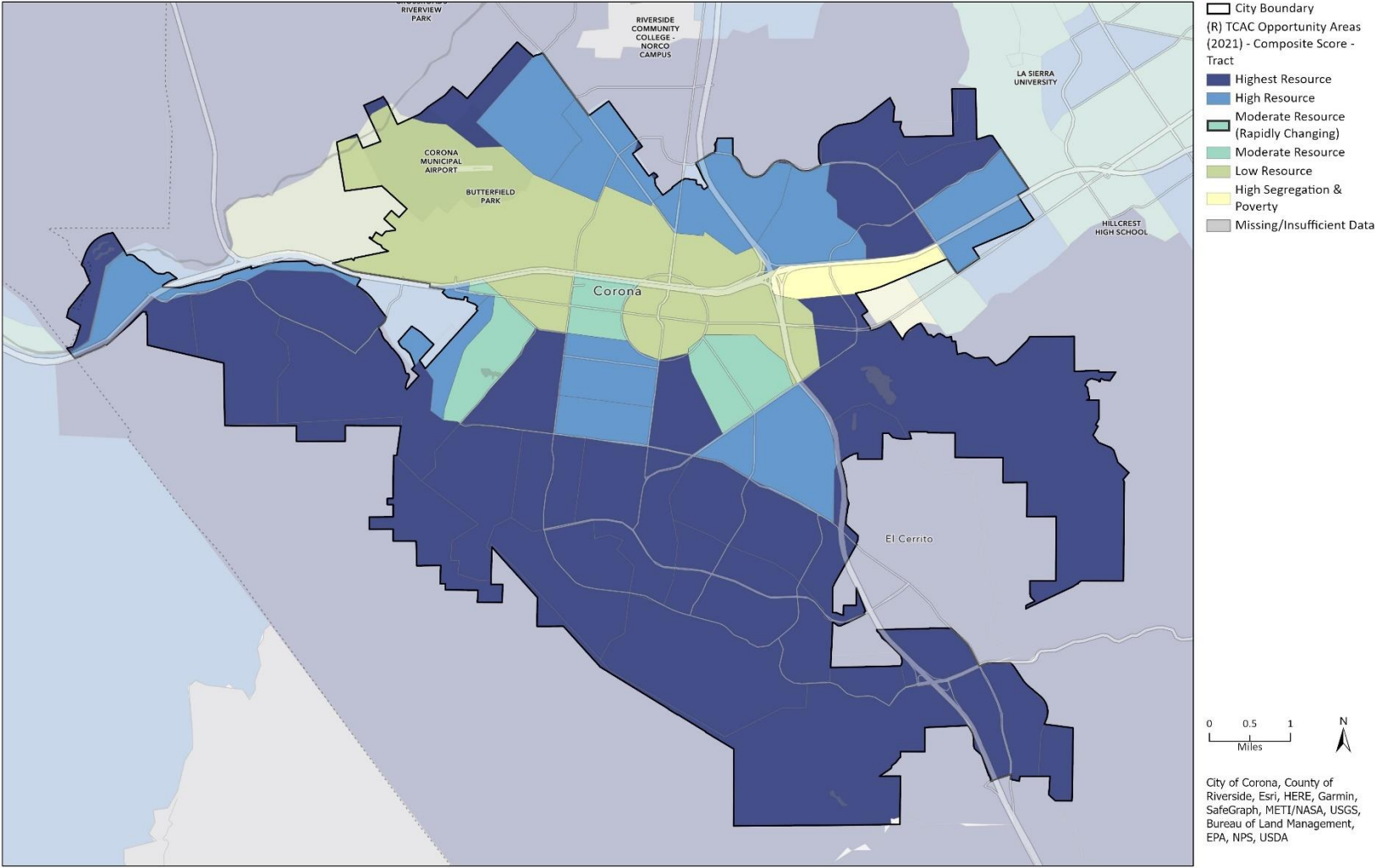
The housing element must demonstrate that there are adequate sites zoned for the development of housing for households at each income level sufficient to accommodate the number of new housing units needed at each income level as identified in the RHNA. In the context of AFFH, the site identification requirement involves not only an analysis of site capacity to accommodate the RHNA, but also whether the identified sites serve the purpose of replacing segregated living patterns with truly integrated and balanced living patterns, transforming racially and ethnically concentrated areas of poverty into areas of opportunity.

Opportunity Areas

HCD and CTAC have created opportunity maps to identify areas throughout the state whose characteristics support positive economic (low poverty, high employment, high median household income), educational (reading and math proficiency, high school graduation rates, low student poverty rates), and environmental outcomes (low exposure to pollution) for low-income families—particularly long-term outcomes for children. The HCD/CTAC Opportunity Areas Map ranks Census tracts in Highest Resource to Low Resource based on these outcomes. A Census tract with a designation of High Resource would indicate that the Census tract has strong educational and economic opportunities, meaning opportunity for current and future residents.

For purposes of evaluating fair housing, resource levels designated by the CTAC/HCD map report on access to economic and educational opportunities such as low-cost transportation, jobs, and high-quality schools and the quality of environmental factors in the area such as proximity to hazards and air quality. This categorization of the census tracts in the City of Corona indicates that, except for the downtown and central areas of the City, residents have moderate to high access to positive economic, educational, and environmental outcomes. The downtown and central areas of the City are categorized as having low access.

Figure 27: Opportunity Areas Map: Corona



Source: AFFH Data Viewer, 2021

The City's residential neighborhoods are primarily built out. The majority of moderate- and lower-income units identified in the Sites Inventory (Appendix B) are located on nonvacant sites and sites that will be rezoned to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU), and nonvacant commercial and residential parcels that are specifically suitable for an affordable housing overlay (AHO). AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing.

These nonvacant sites, rezone sites, and AHO sites are located in the central area of the City in downtown and north and south of SR-91, which contain census tracts with low- and moderate- income households, areas with a higher concentration of minorities, and a greater concentration of special needs populations and housing problems. Additionally, revitalization and improvement strategies are planned within the North Main Street District Specific Plan in the north-central portion of the City and the Downtown Revitalization Plan Area in the central portion of the City. The City selected available sites in these areas for inclusion in the 6th Housing Element Cycle due to their proximity to public transit, low improvement-to-land value ratio, and potential for future recycling. These sites would not be concentrated in a single neighborhood but spread out across the central district, north and south of SR-91 (see Figures 8 through 10 in the Housing Element). Other sites in the inventory include vacant residential parcels with low, moderate, and above-moderate income sites spread out throughout the City, with above-moderate sites mainly in the southern portion of the City or north of SR-91 along I-15.

Risk of Exacerbated Conditions

The central area of the City, which has census tracts with higher concentrations of minorities, cost burdened households, and overcrowded households, would accommodate housing of a variety of income levels under the Housing Plan for the 6th RHNA Cycle. Additionally, the AHO sites would generate new housing opportunities for housing burdened households at risk of displacement.

INTEGRATION AND SEGREGATION: RACE AND INCOME

Census tracts with the highest concentration of minorities and LMI populations are located in the central and northern parts of the City. The majority of nonvacant and rezoned sites would be located in this area but would be spread throughout, integrated into the urban fabric of the central area of the city.

Racially/Ethnically Concentrated Areas of Poverty and Affluence

While Corona has no R/ECAPs (per HUD's definition), some tracts with a higher concentration of minorities and LMI populations were found in the central and northern areas of the City. The majority of AHO sites would not be located in the one majority Latinx census tract (downtown area). While some AHO sites would be located in the tract with a relatively high concentration of poverty (east of S. Lincoln Avenue and south of SR-91), AHO site locations would be spread out across census tracts.

ACCESS TO OPPORTUNITY

The majority of sites would be located in areas TCAC has designated as low, moderate, and high census tracts (Figure 27). Housing units in the sites inventory are not disproportionately concentrated in different resource areas, and the sites identified in low resource areas are scattered on vacant parcels and facilitate the development of lower-, moderate-, and above moderate-income units.

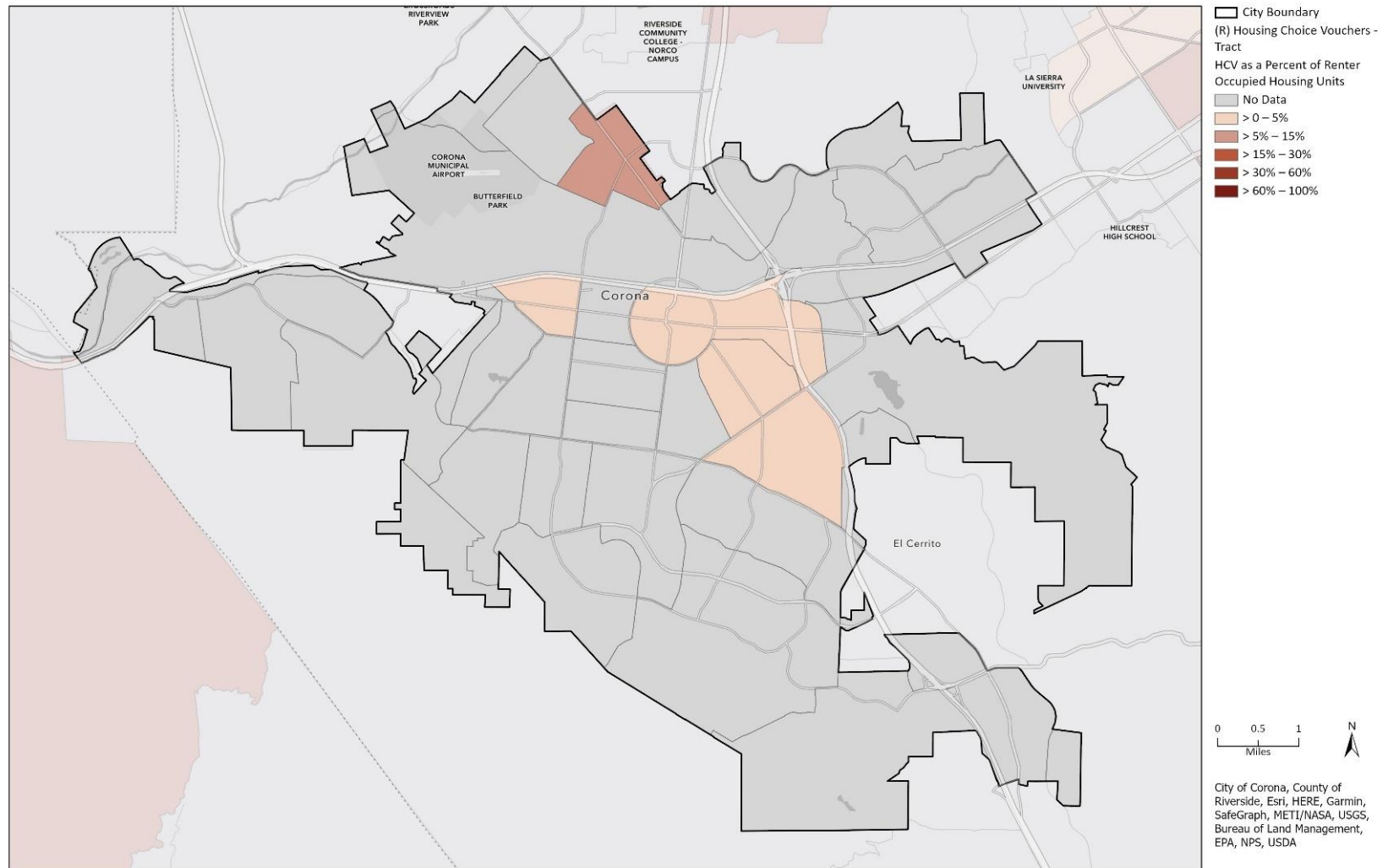
Disproportionate Housing Needs

The fair housing assessment found a need for affordable housing for people with disabilities and adequate housing for large families. The City incentivizes the development of extremely low-, very low-, low-, and moderate-income housing by reducing land costs to the point where it becomes economically feasible for the private developer to build units affordable to low- and moderate-income households (Program 12). The City may also assist in acquiring and assembling property, subsidizing on-site and off-site improvements, and assisting in relocation activities as well as clearing and demolition.

Subsidized Housing

As discussed in Chapter 2, Corona has four publicly assisted rental housing projects in the City that rely on Section 202, Section 811, and/or Section 8 assistance. One projects with 35 assisted units will be at risk of conversion to market rate over the next 10 years. As shown on in Figure 28, high concentrations of Housing Choice Voucher recipients are not present in the City. The highest percent of housing voucher recipients (5 – 15 percent) occurs in a TCAC-designated high resource area. The Sites Inventory does not focus lower income sites in areas with historically high levels of housing choice voucher recipients.

Figure 28: Housing Voucher Recipients: Corona



Source: AFFH Data Viewer, 2021

FAIR HOUSING PRIORITIES AND GOALS

As demonstrated by the geographic and demographic analysis, in addition to input from representatives of non-profit organizations that provide housing for special needs populations, the most prevalent fair housing issues in Corona are:

- » Addressing housing access, economic, and environmental disparities between the historic Downtown and 6th Street corridor and the suburban communities generally located in the southern and northern ends of the City,
- » Increasing development opportunities for affordable housing located near services, schools, public transit, and employment and increasing opportunities for housing mobility for low-income residents.

Table 9 identifies the fair housing issues in Corona and identifies meaningful actions to further fair housing in the City.

Table 9: Fair Housing Issues and Meaningful Actions

AFH Identified Fair Housing Issue	Contributing Factors	Meaningful Actions	Metrics and Milestones
Enhancing fair housing outreach and housing mobility strategies	<ul style="list-style-type: none"> ▪ People obtain information through many media forms, not limited to traditional newspaper noticing or other print forms. Increasingly fewer people rely on the newspapers to receive information. Public notices and printed flyers are costly and ineffective means to reach the community at large ▪ Lack of language access ▪ Insufficient local public fair housing enforcement and testing 	<ul style="list-style-type: none"> ▪ Participate in the FHCRC meetings, at least once annually, to coordinate regional responses to housing discrimination issues. ▪ Continue to provide CDBG funds to a fair housing service provider. ▪ Continue to invest in Fair Housing resources through a contract with Riverside Legal Aid (RLA) to support residents who need Fair Housing resources, mitigation, or legal advice. ▪ Respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution) and report complaints to the city's fair housing service provider. 	<ul style="list-style-type: none"> ▪ Staff attendance at local workshops in Corona sponsored by FHCRC. ▪ Annual distribution of CDBG funds to FHCRC spanning planning period 2021-2029. ▪ Code Compliance documented case logs on reported complaints/violations. ▪ Bilingual multimedia campaigns on the City's social media platforms. ▪ Staff attendance at local educational workshops conducted by FHCRC during the 2021-2029 planning period. ▪ Documented efforts by the Corona Housing Authority and FHCRC on the outreach to landlords that use rental vouchers

	<ul style="list-style-type: none"> Discriminatory lending practices 	<ul style="list-style-type: none"> At least once annually in areas considered sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06), coordinate with FHCRC to provide free educational workshops to tenants and landlords on their rights and responsibilities under Fair Housing laws. Conduct bilingual multimedia campaigns for housing-related educational events (housing rights, legal assistance, etc.), including social media and printed flyers posted in the common area of large apartment complexes, community centers, the library, laundromats, and other strategic visible locations, with a focus on Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06. At least once annually, obtain feedback through a multimedia campaign, including public surveys, focused discussions, and in-person to obtain public input and feedback on fair housing issues. Work with the FHCRC to conduct random testing at least once every five years in Corona. Specifically, with the release of the 2020 Census, determine the appropriate bases be tested in the city. 	during planning period 2021-2029.
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		<ul style="list-style-type: none"> Conduct at least one workshop annually with targeted populations (with the focus on Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) to allow for meaningful discussions and dissemination of useful information related to housing finance opportunities such as the Riverside County First Time Home Buyer Down Payment Assistance Program. Education and outreach activities to be conducted as a multi-media campaign, including social media such as Facebook, Twitter, and Instagram, as well as other meeting/discussion forums such as chat rooms and webinars. Obtain feedback at least once annually. Involve neighborhood groups and other community organizations when conducting outreach and education activities. Annually work with the Housing Authority of the County of Riverside to conduct landlord outreach to expand the location of participating voucher properties. 	
Encouraging development of new affordable housing in Areas of High Opportunity	<ul style="list-style-type: none"> Dominance of single-family housing in areas of high opportunity, which is typically more expensive than multi-family 	<ul style="list-style-type: none"> Diversify and expand the housing stock to accommodate the varied housing needs of different groups within areas of high opportunity, namely south and east of the downtown area. 	<ul style="list-style-type: none"> Execution of an Affordable Housing Development Agreement between the Corona Housing Authority and a developer to assist or partner in the development of at least

		<ul style="list-style-type: none"> ▪ Prioritize areas of high opportunity, namely south and east of the downtown area when identifying potential sites for Habitat for Humanity builds. ▪ Promote the use of density bonuses to increase provision of affordable housing in areas of high opportunity, areas south and east of the downtown area. ▪ At least once annually, provide information through the City's public news networks, including social media channels, and/or television access, on allowing accessory dwelling units (ADUs) in the city, and target outreach to residents in areas of high opportunity, namely south and east of the downtown area. 	<p>one affordable multi-family opportunity or the conversion of existing market rate units to moderate or low income units in areas identified as high opportunity during the 2021-2029 planning period.</p> <ul style="list-style-type: none"> ▪ Availability of the ADU process on the city's website and explaining the path to getting a permit.
Improving place-based strategies to encourage community conservation and revitalization, including preservation of existing affordable housing	<ul style="list-style-type: none"> ▪ Lack of investment in the downtown due to suburbanization. ▪ Shortage of subsidized housing units ▪ Cost of repairs or rehabilitation ▪ Limiting local land use policies 	<ul style="list-style-type: none"> ▪ Assist 103 very low income and 152 low-income households during the planning period, with an average of 15 households annually. ▪ Hold at least one community event every five years as part of the City's CDBG and HOME Action Plan for the Neighborhood Improvement Program in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13. ▪ Continue to acquire or seek partnerships with developers on acquiring multi-family housing that can be rehabilitated with emphasis in the 	<ul style="list-style-type: none"> ▪ Distribution of residential rehabilitation funds to qualified properties within the CDBG area and revise existing housing agreements with certain developers seeking new state funds to rehabilitate existing affordable housing units that are deteriorating or in need of repair. ▪ At least one community event as part of the CDBG and HOME Action Plan for the Neighborhood Improvement Program in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13 during the 2021-2029 planning period. ▪ Execution of an Affordable Housing

		<p>downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13.</p> <ul style="list-style-type: none"> ▪ Promote development of affordable and ADA-accessible housing across the city (mixed-use and infill) and near services (transit corridors), specifically in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13 through a rezoning program. ▪ At least once annually, audit existing zoning, density bonus program, development standards, ADU program, development impact fees, and project review and hearing process and remove governmental constraints to residential housing development, particularly for supportive and affordable housing. ▪ Prioritize housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06). ▪ Implement small-scale placemaking projects/events in the downtown area and Census tracts 414.09, 415, 	<p>Development Agreement between the Corona Housing Authority and developer on the construction of new affordable housing units or the preservation of existing units in planning period 2021-2029.</p> <ul style="list-style-type: none"> ▪ At least one documented new strategy or revision to the City's Zoning Ordinance to support housing creation or funding to promote housing development in Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06.
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		<p>416, 417.03, 417.04, and 418.13.</p> <ul style="list-style-type: none"> Conduct workshops and housing education training with different community-based organizations. 	
Protecting existing residents from displacement	<ul style="list-style-type: none"> Unaffordable rents and sales prices in a range of sizes Displacement of residents due to economic pressure such as unaffordable rents, concentration of poverty, and availability of affordable housing 	<ul style="list-style-type: none"> Target housing resources to sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) and consider the community needs in outreach activities (language, meeting days/times, advertisement). Preserve at-risk housing, targeting sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) by assisting property owners on opportunities to obtain funding to subsidize below market rate units. 	<ul style="list-style-type: none"> Provide at least 100 tenants in at-risk housing or in areas of potential displacement or gentrification in identified Census tracts regarding Housing Choice voucher rent subsidies through the Corona Housing Authority, and other affordable housing opportunities in the city.
Source: Corona AI			

The City of Corona further addresses these impediments by contracting with the FHCRC, a non-profit organization to counsel property owners, managers, tenants, and homebuyers on fair housing related issues. Various services are implemented through this partnership including:

- Providing tenant/landlord counseling to all citizens;
- Responding to all citizens complaints regarding violations of the fair housing laws;
- Promoting community awareness of fair housing rights and responsibilities;
- Monitoring fair housing legislation, attending training and reporting to the City; and
- Serving as an overall fair housing resource for the area, including implementation of an affirmative fair housing market plan.

No policies or programs in the Housing Element have been identified as barriers to fair housing practices in Corona. In addition to Federal fair housing laws, existing City policies and programs are already in place to increase affordable housing options, as well as ensure the provision of housing to many different population groups, including persons living with disability, large families, farmworkers, and persons who would benefit from supportive and/or transitional housing. The implementation of identified programs would further existing fair housing practices by expanding outreach strategies to include populations that live on lower household incomes and/or those who would be more receptive through Spanish language communication.

Additionally, while the AI lists several impediments to fair housing in Corona, the City is working separately to address impediments, and will address the remainder through implementing programs of this Housing Element. As for the regional impediments noted in the AI, AFFH programs in this Housing Element will work to increase fair housing practices such as outreach and education through social media and providing resources such as fair housing counseling and mediation, including targeting populations that have historically had fewer housing choices; promote equitable employment, and continue existing work with the FHCRC.

FAIR HOUSING

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

GOAL H-4

Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies

- H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.
- H-4.2 Promote and provide for nondiscrimination in all City programs.

HOUSING PROGRAMS

The goals and policies contained in the Housing Element address the identified housing needs in Corona and are implemented through a series of housing programs. Housing programs define the specific actions the City will take to achieve specific goals and policies. Housing programs include the programs currently in operation in the City as well as new programs. This section provides a description and the qualitative and quantitative objectives for each housing program the 2021-2029 period.

CONSERVING AND IMPROVING EXISTING AFFORDABLE HOUSING

Maintaining Corona's older residential neighborhoods is vital to preserving the overall high quality and character of the community. In addition to maintaining the City's housing stock, Corona must also conserve affordable units. The cost of housing in Corona has become unaffordable or too much of a burden for many residents, particularly those with fixed incomes and lower and moderate-income households. The preservation of affordable housing helps maintain adequate housing opportunities available to all residents.

Program 1: Residential Rehabilitation Program

The Residential Rehabilitation Program includes provides forgivable loans through the city's allocation of annual Federal HOME Funds to address critical home improvement needs that benefit low and moderate income persons, which aid in the prevention or elimination of slums and neighborhood blight. Residential rehabilitation can also include amendments to existing Affordable Housing Agreements that assist affordable housing operators in seeking state funds for the rehabilitation of existing housing units. Rehabilitation projects can include -such as the remediation of code violations, new heating and air conditioning, new windows, exterior or interior paint, water heater replacement, new roofing, upgraded

plumbing or repairs, upgraded electrical, remodeled kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 120 households during the 2021-2029 period with an annual average of 15 households. As part of the city's CDBG & HOME Funds Action Plan, the City will continue to conduct community outreach regarding available loans and grants.

Funding	CDBG/HOME funds, Renegotiation of City Affordable Housing Agreement
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> Assist <u>1030 homeowners in the City's CDBG low and moderate income neighborhoods, which is very low income and 152 low income households during the planning period, with an average of 15.3</u> households annually. <u>Assist existing affordable housing operators on amendments to existing housing agreements that support funding for the rehabilitation of 96 low income units that are aging in order to preserve existing low income units.</u> Continue to provide community outreach regarding available loans and grants for needed home improvements by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A.
Timeframe	<u>By 2022, a Annual. This is annually monitored through the city's CDBG Consolidated Annual Performance and Evaluation Report and identifies the number of houses awarded residential rehabilitation funds. This report is produced and submitted to HUD every September and benchmarks the city's use of CDBG and HOME Funds for approved programs. enrolled in the housing rehabilitation program. This program will be implemented. Continue to implement program</u> on an ongoing basis throughout the planning period based on available funding.

Program 2: Housing Choice Voucher Program

The Housing Choice Voucher Program (formerly Section 8) is implemented through the Riverside County Housing Authority. Very low-income renters receive supplemental rental assistance for standard housing in order to prevent them from becoming overly rent burdened. The Housing Choice Voucher Program extends rental subsidies to lower income families and the elderly who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the fair market rent. In 2018, the County issued 333 housing vouchers to Corona households.

Funding	HUD Housing Choice Voucher funding allocation
Responsible Agency	Riverside County Housing Authority
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. ▪ Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. ▪ Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.
Timeframe	<u>October 2023.</u> This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 3: Conservation of Existing and Future Affordable Units

A total of 89 units in Corona are at risk of losing their affordability controls (e.g., become market rate) prior to December 2023. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities.

Funding	CDBG/HOME Administration (monitor at-risk status); other funding sources as available for preservation.
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Annually identify and analyze inventory that may be put at risk of losing affordability controls. ▪ Maintain communication with the local HUD office. ▪ Assist in tenant education. ▪ Identify potential buyers. ▪ Identify potential acquisition funds. ▪ Coordinate with property owners and non-profit developers to identify potential acquisition opportunities by October 2022. ▪ The California Legislature extended the required notification period, requiring property owners give a 12-month notice of their intent to opt out of low-income use restrictions. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the <u>public County's</u> housing authority, and other affordable housing opportunities <u>within</u> in the City. ▪ Assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.
Timeframe	Annual. <u>Ongoing</u> monitoring and ongoing pursue of funding opportunities for long-term preservation.

Program 4: Mobile Home Park Program

The City will ~~continue to implement the maintain its~~ Residential Mobile Home Park zoning ordinance (Municipal Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5.

~~Additionally, The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance for existing mobile home parks is available through~~ the State Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Funding	State Grants/Loans (MPRRP)
Responsible Agency	Community Services Department,
Objectives	<ul style="list-style-type: none"> Continue to regulate allow the conversion of mobile home parks to be rehabilitated and restored through ownership programs in Corona as permitted by State law. As appropriate, provide information to mobile home park tenants regarding potential tenant purchase of parks and assistance available, through programs such as State's Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP).
Timeframe	January 2023. Provide information on the MPRROP on the city's Community Assistance Division website. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 5: Neighborhood Improvements

To foster community pride and ~~increase incentives for private- encourage~~ homeowners ~~to investment in the upkeep of their homes properties in low and moderate income neighborhoods~~, the City will continue its ~~implementation of Neighborhood Improvements Program through its Code Compliance efforts~~. This program consists of ~~property inspections to ensure exterior and interior public improvements to properties, such room additions, electrical and plumbing upgrades, front yard landscaping and other similar improvements are being done in accordance with city ordinances to ensure the health and safety of habitable units and to maintain the aesthetic appearance of neighborhoods. such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program.~~ Public ~~Such~~ improvements inspire property owners to stay in the neighborhood ~~and invest in their property, thus and preserve~~ the ~~existing~~ housing stock. The City continues to develop methods designed to increase the City's collective sense of community pride.

Funding	CDBG funds
Responsible Agency	Administrative Services Department, Public Works DepartmentPlanning and Development – Code Compliance
Objectives	<ul style="list-style-type: none"> Continued Proactive and reactive inspections of 300 housing units annually in the city's low and moderate income neighborhoods implementation of neighborhood public improvements that address housing complaints regarding the condition and maintenance of properties and to ensure improvements to properties are done in accordance with city ordinances. The program is intended to provide safe and sanitary housing by requiring non-permitted improvements to be brought into compliance with city ordinances, property maintenance ordinance, design review, and historical preservation ordinance.
Timeframe	Annual inspections of 300 housing units. This program is implemented annually through CDBG funds and is specifically used in the CDBG neighborhoods to provide Code Compliance services. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report. This program is will be monitored annually and implemented on an ongoing and will be used during the basis through the remainder of the planning period.

Program 6: Sustainable Building

The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> Implement sustainable building practices and incorporate amenities into new housing developments that utilize water efficiency, energy efficiency and building materials (such as solar and pervious outdoor surfaces) that support the Continue to implement the city's Climate Action Plan and CAL Green Building Standards Code that fosters sustainability in all development requiring discretionary approval.
Timeframe	Annually. The city has an adopted Climate Action Plan and has adopted the California Building Standards for new construction. This is program will be implemented on an is ongoing basis through the remainder of the planning period.

PROVIDE ADEQUATE HOUSING SITES

A key element in satisfying the housing needs of all segments of the community is the provision of adequate sites for housing of all types, sizes, and prices. This is an important function in both zoning and General Plan designations. The City of Corona's regional housing needs allocation (RHNA) for the 2021 - 2029 period is 6,088 units.

Program 7: Site Availability and Rezone Program

Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B).

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. ▪ Amend Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024. ▪ Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website. ▪ Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses. ▪ Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites. ▪ Monitor the consumption of residential acreage to ensure an adequate inventory is available. ▪ Create opportunity for at least 3,132 2,746 units for lower income households <u>and 976 units for moderate income households</u>. ▪ By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements. ▪ Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive. ▪ Amend land use designation MU-1 with <u>an AHO Zone</u> to allow for 100 percent residential use or combination of residential and commercial uses by October 2024. ▪ Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households. <ul style="list-style-type: none"> ▫ Permit at least 16 units per site; ▫ Require a minimum density of 20 units per acre; and ▫ At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites: <ul style="list-style-type: none"> – Allow 100 percent residential use; and – Require that all residential use occupy 50 percent of the total floor area of a mixed use project.
Timeframe	<u>October 2024</u> . This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 8: Residential Sites Monitoring Program

In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss,” was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City’s available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target.

Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure "no net loss" in capacity to accommodate the RHNA.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Maintain an updated inventory of residential housing developments that have been submitted, approved, and denied. ▪ The City will actively promote, through outreach and discussions, sites available for lower- and moderate-income housing development to potential developers, private and non-profit organizations, and other interested persons and organizations. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to allow, by right, a mix of dwelling types and sizes, specifically missing middle housing types (e.g., duplexes, triplexes, fourplexes, courtyard buildings). ▪ Starting <u>January</u> 2022, annually monitor the City's remaining housing capacity to ensure compliance with SB 166.
Timeframe	Annually every April through the Annual Progress Report to HCD. This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 9: Sites Used In Previous Planning Periods Housing Elements

In 2017, AB 879 and AB 1397 were passed requiring additional analysis and justification of the sites included in the sites inventory of the City's Housing Element. The Housing Element may only count non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements if the sites are subject to a program that allows affordable housing by right. Some sites within this Housing Element were used in previous cycles and this program is included to address the by-right approval requirement. Per AB 1397, the use by right of these sites during the planning period is restricted to developments in which at least 20 percent of the units in the development are affordable to lower income households, provided that these sites have sufficient water, sewer, and other dry utilities available and accessible or that they are included in an existing general plan program or other mandatory program or plan to secure sufficient water, sewer, dry utilities supply to support housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ The City shall rezone or amend its Zoning Code <u>or applicable specific plans</u> by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units
Timeframe	<u>October 2024.</u> This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 10: Lot Consolidation and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum ~~front and side~~-yard setbacks, and open space to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards where access exists to public transportation.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to fFacilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers. ▪ Offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include <u>expedited processing, reduced development fees</u>, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance. ▪ <u>Waiver of certain development impact</u> fees for lot consolidation for 100 percent affordable housing. ▪ <u>Create lot consolidation provisions for affordable housing projects within the Zoning Ordinance.</u>
Timeframe	October 2023. As projects are processed through the Planning and Development Department throughout the planning period. Incentives <u>would be applied to applicable projects throughout the planning period.</u> will be adopted as part of Title 17 within three years of adoption of the Housing Element.

Program 11: Multi-Family Acquisition and Rehabilitation

Acquisition and rehabilitation of existing multi-family housing stock are more cost-effective than constructing new affordable units and provide the additional benefit of maintaining the City's multi-family housing stock. An important component of Corona's housing strategy is the identification of existing multi-family units for acquisition and rehabilitating as affordable housing. The City has several older apartment complexes, many in substandard conditions, that have potential for acquisition and rehabilitation. To the extent feasible, the City will encourage a portion of acquired affordable units to be made available to persons with disabilities (including developmental disabilities) and extremely low-income households.

In the previous housing cycle, the City used NSP and HOME funds for the acquisition of a 12-unit dilapidated complex for very low-income families. Additionally, the City used NSP funds to purchase a remnant structure with 19 units. This was part of a partial-take affected by the State Route 91 expansion project. These 19 units were integrated into the Citrus Circle Affordable Housing project which also constructed 42 new units. The entire project created 61 affordable units.

Funding	NSP and HOME funds
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> Utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. Pursue available funds for multi-family acquisition and rehabilitation.
Timeframe	<u>Annual through the city's CDBG/HOME Funds Action Plan, which is adopted every fiscal year. This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.</u>

ASSIST IN THE DEVELOPMENT OF AFFORDABLE HOUSING

The high cost of new construction can prohibit the development of affordable housing units. Incentive programs for housing developers, such as a density bonus, offer a cost-effective means of promoting affordable housing development. Public sector support for new construction includes the following programs for lower and moderate-income housing development.

Program 12: Affordable Housing Development

The City is committed to maintaining and monitoring housing conditions amongst vulnerable, very low-income low-income, and special needs populations. Lower-income communities along with the elderly and persons with special needs are disproportionately burdened with poorer housing conditions. Corona will continue to seek new funding opportunities and partnerships to improve housing conditions. The City will identify and partner with advocacy groups such as Habitat for Humanity to expand existing resources and help further improve housing conditions for special needs and low-income communities, and identify the need for rehabilitation assistance as the housing stock ages.

The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources.

The following are recent affordable housing activities in the City that are planned in the 6th Cycle:

- » Corona Housing Authority acquired approximately 5 acres at Second Street and Buena Vista Street to support the construction of approximately 130 apartments for low income and permanent supportive housing. The project is expected to be constructed within this planning period. The Housing Authority will be providing financial assistance and the land for the project.

The City provided financial assistance to these projects for site acquisition, construction, rehabilitation, and/or relocation of existing tenants.

Funding	HOME funds, CHA funds, other sources as available
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives. Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 1304 lower income units within the planning period. Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years. Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing. Annually seek additional funding sources and identify new partnerships to greater expand resources in the City. By October 2024, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates. Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households. Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households into the General Plan. .
Timeframe	October 2024. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 13: Density Bonus Program

Consistent with State law (Government Code sections 65915 through 65918), the City continues to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements.

In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Update the Corona Zoning Ordinance by October 2023 to integrate future changes in State Density Bonus Law. ▪ Continue to advertise and inform prospective developers of options for density bonuses, and actively educate and promote density bonus increases as adopted. ▪ Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. ▪ Promote the use of density bonus incentives by providing information on City website and offering technical assistance to developers.
Timeframe	October 2023. This program should be monitored annually to identify any new density bonus legislation and amend the Zoning Ordinance and should would be implemented on an ongoing basis through the remainder of the planning period.

REMOVE GOVERNMENTAL CONSTRAINTS

To facilitate housing development, the Housing Element must address and, where appropriate and legally possible, remove governmental constraints affecting the maintenance, improvement, and development of housing. The following programs are designed to lessen governmental constraints on housing development.

Program 14: Zoning Ordinance Monitoring

The Corona Zoning Ordinance (Title 17 of the Corona Municipal Code) is continuously updated to address changes among a range of issues and State/Federal laws. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop. ▪ Amend Title 17 of the Municipal Code by October 2023 to comply with the Employee Housing Act. ▪ Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP. ▪ Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities. ▪ Amend the Zoning Ordinance including specific plans by October 2024 to allow up to three stories by-right in multifamily residential zones that accommodate affordable housing units.
Timeframe	<u>October 2023 and October 2024.</u> This program should be monitored annually and would be implemented on an ongoing basis through the remainder of the planning period.

Program 15: Flexibility in Development Standards

The City, in its review of development applications, may recommend waiving or modifying certain development standards, or propose changes to the Municipal Code to encourage the development of low- and moderate-income housing. The City offers offsets to assist in the development of affordable housing citywide. Offsets include concessions or assistance including, but not limited to, direct financial assistance, density increases, standards modifications, or any other financial, land use, or regulatory concession that would result in an identifiable cost reduction.

Funding	Department Budget
Responsible Agency	Community Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor application of Development Code standards for constraints to development of new <u>low and moderate income</u> housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. ▪ By <u>October</u> 2024, the City will adopt standards for affordable and/or high-density housing development that allow greater flexibility in development standards, such as reduced setbacks, and/or reduction of required common open space.
Timeframe	<u>October 2024.</u> This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 16: Development Impact Fees

Various fees and assessments are charged by the City to cover the costs of processing permits and providing services and facilities. While almost all these fees are assessed on a pro rata share system, they often contribute to the cost of housing and constrain the development of lower priced units. As a result, the City will evaluate the impact of the fee increase on residential and mixed-use developments as a potential constraint on housing development and adjust as necessary to encourage and facilitate residential development. In addition, the City will work with the development community to solicit their input on the impact and viability of existing fees. The City currently updates their Fee Schedule for development impact fees every ten to twenty years by the City's Finance Department.

Funding	Department Budget
Responsible Agency	City Council by Policy
Objectives	<ul style="list-style-type: none">At least once annually, evaluate the impact of <u>development</u> fees on residential and mixed-use developments <u>that include low income units</u> and make adjustments as necessary to facilitate development activities.Consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing <u>units</u> for low-income households.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 17: Expedited Project Review and Hearing Process

The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">As needed, tThe City will prioritize processing for affordable housing projects; andAnnually assess the efficiency of the City's permit streamlining process and continue to implement best practices with efficient project review procedures.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROMOTE EQUAL HOUSING OPPORTUNITY

To make adequate provision for the housing needs of all economic segments of the community, the housing plan must include actions that promote housing opportunities for all persons regardless of race, religion, sex, family size, marital status, ancestry, national origin, color, age, or physical disability.

Program 18: Affirmatively Furthering Fair Housing (AFFH)

To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data.

The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services Department
Objectives	<ul style="list-style-type: none">▪ Continue to effectively address the requirements of AB 686 by increasing outreach and education through the fair housing service providers, publicize fair housing litigation to encourage reporting, and conduct random testing on a regular basis to identify issues, trends, and problem properties.▪ Work with local agencies such as the Fair Housing Council of Riverside County to help identify and reduce barriers to housing on both a regional and local scale.▪ Establish a method of measuring the progress of fair housing practices, which can include the index of dissimilarity, the Regional Opportunity Index, and percentage of residents experiencing extreme housing cost burdens. Report the findings of these metrics as part of the city's Housing Element Annual Progress Report.▪ Expand understanding of the current state of fair housing practices and potential areas of discrimination by conducting an in-depth study of fair housing issues around the city.▪ The city shall continue to facilitate opportunities for all residents and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout plan development and the public review process. Outreach efforts to disadvantaged communities will be a priority.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 19: Fair Housing Services

With assistance from the city's fair housing provider, [which is the Fair Housing Council of Riverside County](#), the city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686 (2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Funding	CDBG, Section 8 Rental Assistance, Housing Trust Fund
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> Continue to provide annual CDBG funds to a fair housing service provider. Encourage affirmative marketing on all residential projects and will require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements. Implement the action items identified in the Analysis of Impediments to Fair Housing Choice, which was adopted by the City Council on March 16, 2011. Allocate annual funding for fair housing services through the Action Plan process for the use of CDBG funds. Participate in regional efforts to mitigate impediments to fair housing choice. Distribute educational materials to property owners, apartment managers, and tenants relative to fair housing requirements, regulations, and services. Make public announcements, via different media (e.g., social media, newspaper ads, and public service announcements at local radio and television channels) related to fair housing programs and opportunities. Conduct workshops and training with different community-based organizations. Conduct fair housing workshops and training in Spanish. Hold diversity awareness events and programs at a variety of locations throughout the city. Outreach targeted and related to home financing opportunities; Monitor and respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution). Referring services to appropriate agencies; Conduct fair housing testing at random sites to measure compliance and remove any such impediments through fair housing law enforcement. Continue working collaboratively with the Fair Housing Council of Riverside County to promote fair housing, education, and advocacy. Take affirmative actions to further fair housing choice in the city, and implement the solutions developed in the Regional Analysis of Impediments to Fair Housing Choice to mitigate and / or remove fair housing impediments. Target housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in all parts of the community.
Timeframe	Annual. This program is implemented annually through CDBG funds. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report to HUD. will be implemented on an ongoing basis through the remainder of the planning period.

Program 20: Segregation in Housing Implementation

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Funding	Departmental Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing.▪ Assess opportunities on infill sites for residential development and redevelopment of underutilized property that could support higher density housing opportunities for low and moderate income households.
Timeframe	October 2024 . This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 21 Housing for Persons Experiencing Homelessness

On June 17, 2020, Corona's City Council adopted the Strategic Plan to Address Homelessness, designed to address homelessness through various programs. The City's Homeless Prevention Programs was created as a result of the City's Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The Strategic Plan identified eight goals to help prevent homelessness, improve quality of life, and reduce homelessness:

- » Develop a Systems-Oriented Approach to Address Homelessness;
- » Develop a Low-Barrier Emergency Shelter/Navigation Center System;
- » Develop Permanent Supportive and Affordable Housing Solutions;
- » Expand Outreach and Engagement;
- » Develop and Participate in Sub-Regional Collaboratives with Neighboring Cities;
- » Develop Partnerships with the County and Continuum of Care to Support Plan Initiatives;
- » Develop a Homeless Prevention Initiative
- » Develop an Advocacy Campaign to Support Plan Initiatives, and;
- » Expand Data Tracking Systems and Dashboard to Measure System Performance

Funding	CDBG, HOME, SB2
Responsible Agency	Community Services Department, Community Development
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Coordinate with agencies such as the Housing and Homeless Coalition of Riverside County along with SCAG for the purposes of coordinating efforts, reducing the unsheltered population, increasing emergency and permanent housing, and leveraging resources to address homelessness. ▪ Continue to provide funding for local and sub-regional homeless service providers that operate temporary and emergency shelters. ▪ Assist (when possible) local non-profits and charitable organizations in securing state and federal funding for the acquisition, construction, and management of shelters. ▪ Review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to state law and amend the zoning ordinance (Refer to Program 15) and other documents as part of the General Plan and Zoning Code. ▪ Consider establishing a maximum length of stay for emergency shelters to have a limit of no more than 180 consecutive days within a one-year period instead of a total of 180 days in a one-year period. ▪ Continue to financially support the 211 system operated by the Volunteer Center of Riverside County. This system provides information on all social services offered in Riverside County. ▪ Commit to updating the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.
Timeframe	<u>Annual. This program is implemented through CDBG funds. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report to HUD.</u> This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 22: Housing for Special Needs Populations

The Corona Zoning Ordinance is continuously updated to address a wide range of issues and State and federal law with respect to accommodating and addressing housing for special needs. In 2018, Assembly Bill 2162 (AB 2162) was passed which requires that supportive housing be a use by-right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multifamily uses. The City's Zoning Ordinance currently reflects this piece of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this piece of AB 2162 and will amend Title 17 of the Corona Municipal Code to reflect this portion of the legislation.

The City is committed to expanding supportive housing opportunities for vulnerable communities that rely on such services. The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Amend Title 17 of the Corona Municipal Code to incorporate all changes to State legislation pertaining to special needs populations as part of the General Plan and Zoning Code update project, by October 2023. ▪ Facilitate the development of housing for persons with disabilities and other special needs through the development of incentives for affordable housing development by October 2023. ▪ Nurture ongoing partnerships that help educate and execute the development of supportive and transitional housing.
Timeframe	<u>October 2023</u> . This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 23: Safe and Healthy Communities

Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Annually monitor policies, standards, and regulations regarding environmental justice in the City. ▪ Nurture ongoing partnerships that help educate and execute the development of safe and health housing communities for all groups of people.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 24: Alternative Housing Program

Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to annually monitor underutilized properties and sites that have a potential for alternative housing options and offer the information to interested developers on an on-going basis. ▪ Rezone underutilized commercial, office, and or industrial space, as appropriate, to facilitate use for alternative housing types. This will be done with the RHNA updates on or before October 2024 and then annually as opportunities arise. ▪ By October 2024, develop, as part of a zoning ordinance update, measures that encourage affordability by design (e.g., smaller, more efficient and flexibly-design living spaces). ▪ Where appropriate, utilize the city's regulatory powers (e.g., land use and fees) to remove the requirement of a CUP for the development of care facilities that provide 24-hour care to seven or more disabled persons. ▪ Encourage the development of alternative housing including care facilities for 7+ individuals in residential zones. ▪ Actively encourage, through annual outreach and discussions with developers, innovative housing structures, such as micro-unit housing and new shared and intergenerational housing models to help meet the housing needs of aging adults, students, and lower-income individuals citywide. This will be accomplished on an on-going basis. ▪ Develop and promote assistance with financing or funding applications.
Timeframe	<u>October 2024</u> . This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 25: Community Outreach Program

Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City's housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities. Strategies to expand accessibility and help further educate community groups include:

- » Sharing and distributing public announcements/information through a variety of mediums such as flyers, E-blasts, website updates, new media, and social media;
- » Actively engaging existing stakeholders and seeking additional stakeholders from all sectors of the community to participate in the public participation process;
- » Increasing accessibility to public meetings by conducting public meetings around typical work hours, accommodating persons with disabilities, choosing locations near transit centers, and providing resources such as childcare, language translation services, and food and refreshments where possible;
- » Continuing to educate all community groups about the services available for rental, homeownership, and rehabilitation/maintenance services.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services
Objectives	<ul style="list-style-type: none"> ▪ Increase accessibility to public meetings for all sectors of the community including minority groups and persons with disabilities by ensuring public meetings are in accessible locations to all persons. ▪ Ensure public meetings and other planning processes are delivered in ways that all groups of the community can understand such as delivering meeting content in multiple languages. ▪ Make public announcements and information accessible and visible using a variety of communication methods.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 26: Community Placemaking Pilot Program

The City of Corona actively seeks to identify new opportunities to connect neighborhoods despite differences in income levels and demographics. The Community Placemaking Pilot Program will implement small-scale placemaking projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds. Placemaking strategies include but are not limited to:

- » Increase signage and wayfinding between neighborhoods;
- » Implement “popup parks”/sidewalk cafes in community neighborhoods;
- » Create a community murals programs to help beautify community neighborhoods and connect local artists of all backgrounds;
- » Increase seating, such as picnic tables with chess/checker boards;
- » Create a designated city community garden for all members of the community to visit and volunteer;
- » Coordinate neighborhood walks/races, and;
- » Increase overall community outreach (partnering with Program 25) to help spread the word on new community attractions in various neighborhoods and educate community groups on new community activities

Funding	Department Budget
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Connect diverse neighborhoods through small, inclusive, and accessible placemaking projects and activities. ▪ Expand public outreach to target all neighborhoods and educate people from all types of community groups on new and upcoming neighborhood projects and activities.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 27: Replacement Housing Program

Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Pursue amendment to the Zoning Code by October 2022 to address replacement requirement.
Timeframe	<u>October 2022</u> . This program will be implemented within one-year of Housing Element adoption.

Program 28: Lot Configuration and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Funding	City Development Services Fund
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">• Facilitate the development of affordable housing.▪ Adopt incentives by 2024 for development of high-density residential sites.
Timeframe	As projects are processed through the Planning and Development Department throughout the planning period and incentives will be adopted as part of Title 23 within three years of adoption of the Housing Element.

SUMMARY OF QUANTIFIED OBJECTIVES

The City has proposed its objectives for the Housing Element period based on financial resources, past experience, and staff capacity. The following table summarizes the City's quantified objectives for the 2021-2029 period by income group.

Table 48: Quantified Housing Objectives (2021-2029)

	New Construction	Rehabilitation	Conservation/Preservation
Extremely Low Income	36	-	-
Very Low Income	11	103	12
Low Income	87	152 15	36
Moderate Income	64	- 15	-
Anticipated Outcomes from Programs ¹	-	-	439
Total	198	255 30	487
¹ Conservation objectives were increased by incorporating anticipated outcomes from the following programs: 2 (Housing Choice Voucher Program), 3 (Conservation of Existing and Future Affordable Units), and 26 (Preservation of At-Risk Housing). Program 2 would accommodate 350 households in the very-low income category and Program 3 would conserve a total of 89 affordable units.			

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City of Corona 2021 Housing Element Update

General Plan EIR Addendum Evaluation

prepared by

City of Corona

Planning Division

400 South Vicentia Avenue, Suite 320

Corona, California 92882

Contact: Joanna Coletta, Community Development Director

prepared with the assistance of

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1980 Orange Tree Lane, Suite 105

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September 2021



RINCON CONSULTANTS, INC.

Environmental Scientists | Planners | Engineers

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EXHIBIT 4

1039

City of Corona 2021 Housing Element Update

General Plan EIR Addendum Evaluation

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1 Introduction and Project Summary

1.1 Project Title

City of Corona Housing Element Update 2021-2029

1.2 Lead Agency Name and Address

City of Corona
Planning Division
400 South Vicentia Avenue, Suite 320
Corona, California 92882

1.3 Contact Person and Phone Number

Joanna Coletta, Community Development Director
(951) 736-2434

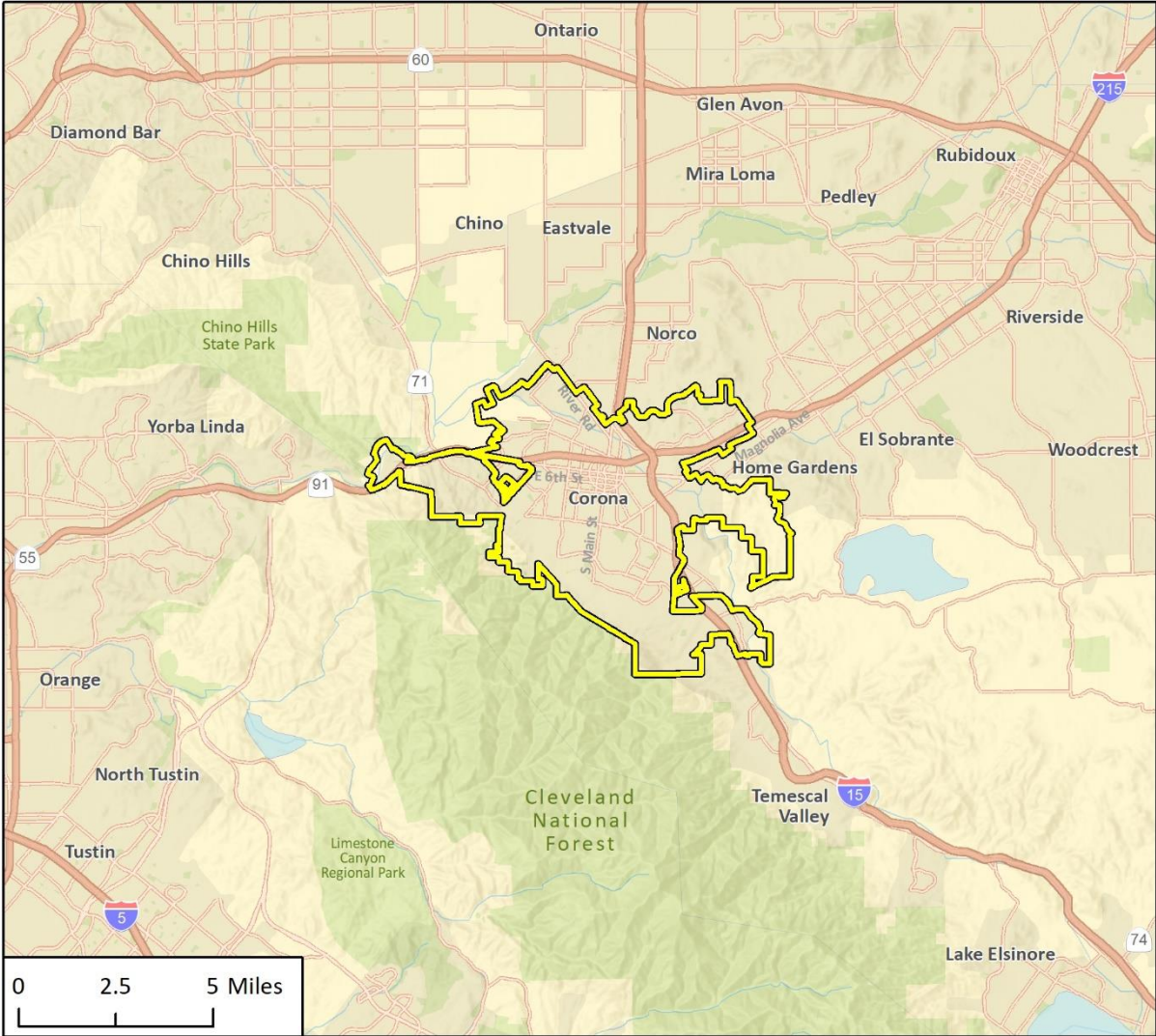
1.4 Project Location

The City of Corona (City) encompasses approximately 39 square miles and is located in western Riverside County, near the boundaries of Orange and San Bernardino counties. The City is south of the City of Norco, southwest of the City of Riverside, and north of the Cleveland National Forest. Unincorporated Riverside County borders the City along the majority of the eastern and southern extents. The Housing Element update's planning boundaries coincide with the Corona city limits, both of which are depicted in Figure 1.

1.5 Project Sponsor's Name and Address

City of Corona
Planning Division
400 South Vicentia Avenue, Suite 320
Corona, California 92882

Figure 1 Regional Project Location, Planning Boundaries



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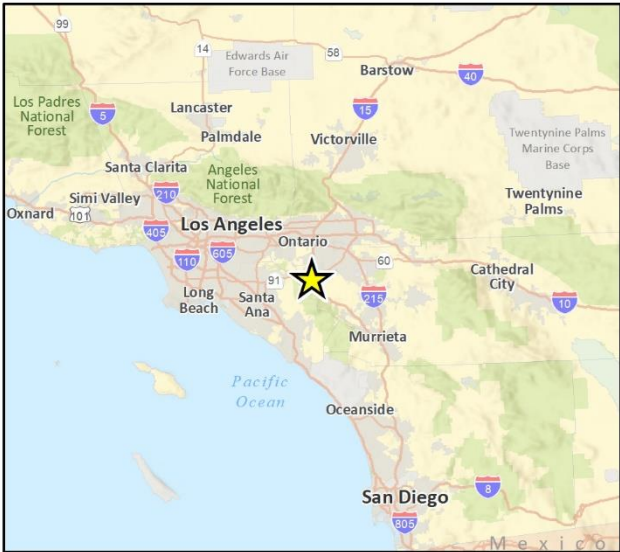


Fig 1 Regional Location

1.6 Project Description

The project consists of a comprehensive update to the City of Corona Housing Element (herein referred to as “Housing Element update” or “project”). The City’s 2020-2040 General Plan underwent extensive environmental review in the form of an Environmental Impact Report (EIR), which was certified in 2020. The EIR for the Corona General Plan is a comprehensive document and includes discussion of alternatives and growth inducing impacts associated with urban development in the city at the time it was developed.

State law requires that housing elements be updated every eight years (California Government Code Sections 65580 to 65589.8). The Housing Element update identifies residential sites adequate to accommodate a variety of housing types for all income levels and needs of special population groups, defined under State law (California Government Code Section 65583). It analyzes governmental constraints to housing maintenance, improvement, and development; addresses conservation and improvement of the condition of existing affordable housing stock; and outlines policies that promote housing opportunities for all persons. The City of Corona Housing Element is being updated as part of the State’s 6th cycle Regional Housing Needs Assessment (RHNA) allocation. For Corona, the planning period runs from October 15, 2021 through October 15, 2029.

The project would bring the City’s Housing Element into compliance with State legislation passed since the publication of the previous (5th Cycle) Housing Element (approved in 2013). The Housing Element update includes a housing sites inventory (Appendix B of the Housing Element) that demonstrates how the city plans to meet its 6th cycle RHNA allocation. However, no formal land use changes or physical development are proposed at the time of adoption of the Housing Element. Land use changes (i.e., rezoning or General Plan land use amendments) that are required to meet the city’s RHNA allocation will be done by a separate process with an accompanying environmental analysis in accordance with the California Environmental Quality Act (CEQA). Pursuant to California Government Code Section 65583(c)(1)(A), the City has three years from the start of the Housing Element planning period to rezone property that is required for the city to plan for its RHNA allocation. The rezoning process and any amendments to the General Plan land uses will require discretionary review by the City’s Planning and Housing Commission with the future changes ultimately adopted by the City Council.

The Housing Element update will not, in and of itself, result in environmental impacts as it does not propose to develop any projects. Rather, it establishes objectives and policies designed to guide future development as the City works to achieve State-mandated housing goals. Future development will require project-specific developmental review as potential impacts are location-specific and cannot be assessed in a meaningful way until a project site and development proposal are identified. When a specific development proposal is considered for approval, that project would be subject to adopted development guidelines/standards and it must incorporate applicable mitigation measures and alternatives developed in the 2020 – 2040 General Plan EIR (in accordance with CEQA Guidelines Section 15168(c)(3)). If a subsequent activity (in this case a specific development proposal) would have effects not identified in the program EIR (the 2020 – 2040 General Plan EIR and this Addendum), the lead agency must prepare additional CEQA documentation.

This Addendum Evaluation, therefore, includes the analysis of the changes and potential impacts related to the adoption of Housing Element update. No physical development or changes in land use are addressed or evaluated. The City would analyze the future changes in land use separate from the adoption of the Housing Element. This Addendum Evaluation is intended to demonstrate the

Housing Element's consistency with the existing General Plan Technical Update EIR to satisfy the requirements of CEQA. In particular, and in line with Public Resources Code Section 21083.3, this Addendum Evaluation assesses whether the updated Housing Element, as a policy and programs document, includes impacts not addressed or analyzed as significant effects in the Corona General Plan Technical Update EIR.

1.7 Discretionary Action

Implementation of the Housing Element would require the following discretionary actions by the City of Corona Planning Commission/City Council:

- Approval of an Addendum to the General Plan EIR
- Approval of a General Plan Amendment to incorporate the Housing Element Update 2021-2029.

The California Department of Housing and Community Development (HCD) reviews and determines whether the proposed Housing Element complies with State law. Aside from HCD, no other approvals by outside public agencies are required.

1.8 Prior Environmental Document(s)

City of Corona, General Plan Environmental Impact Report (General Plan EIR). State Clearinghouse Number 2018081039, certified April 2020.

1.9 Location of Prior Environmental Document(s)

City of Corona, Planning Department website:

<https://www.coronaca.gov/government/departments-divisions/planning-division/general-plan-update>

2 Project Context

The California Legislature has identified the attainment of a decent home and suitable living environment for every resident as the State's major housing goal. Recognizing the important role of local planning programs in pursuing this goal, the legislature mandated that all cities and counties prepare a housing element as part of their comprehensive general plans. Government Code Sections 65580 to 65589.8 set forth the specific components to be contained in a community's housing element.

2.1 Purpose of the Housing Element

The Housing Element of the General Plan is designed to provide the city with a coordinated and comprehensive strategy for promoting the production of safe, decent, and affordable housing within the community. A priority of both State and local governments, Government Code Section 65580 states that "the availability of housing is of vital statewide importance, and the early attainment of decent housing and a suitable living environment for every Californian family is a priority of the highest order."

Pursuant to the State law, the Housing Element has two main purposes:

1. To provide an assessment of both current and future housing needs and constraints in meeting these needs
2. To provide a strategy that establishes housing goals, policies, and programs

The Housing Element is one of the eight General Plan elements the State mandates in Government Code Section 65302. The Housing Element serves as an integrated part of the General Plan but is updated more frequently to ensure its relevancy and accuracy. The Housing Element identifies strategies and programs that focus on:

1. Conserving and improving existing affordable housing
2. Maximizing housing opportunities throughout the community
3. Assisting in the provision of affordable housing
4. Removing governmental and other constraints to housing investment
5. Promoting fair and equal housing opportunities

The residential character of Corona is largely determined by the variety, location, and maintenance of its housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population, establishing goals, policies, and programs that will guide City decision making and set forth an action plan to implement these housing programs through an established planning period.

2.2 Updates to the Housing Element

State law requires that housing elements be updated every eight years (California Government Code Section 65588). The Housing Element must identify residential sites adequate to accommodate a variety of housing types for all income levels and to meet the needs of special population groups as

defined under State law (California Government Code Section 65583). The Housing Element analyzes market and governmental constraints to housing maintenance, improvement, and development; addresses conservation and improvement of the condition of existing affordable housing stock; and outlines policies that promote housing opportunities for all persons.

The City of Corona Housing Element is now being updated as part of the 6th cycle RHNA allocation, which is for planning period October 15, 2021 through October 15, 2029.

2.3 Regional Housing Needs Allocation

The Regional Housing Needs Allocation (RHNA) reflects the California Department of Housing and Community Development's determination of the projected housing needs in a region by household income level as a percent of the Area Median Income (AMI). The Southern California Association of Governments (SCAG) was tasked with allocating this regional housing need among the jurisdictions in the SCAG region, which includes Riverside County. Table 1 shows the breakdown of the RHNA for Corona during the 2021-2029 planning period.

Table 1 2021-2029 Regional Housing Need Allocation

Income Group	Corona Unit Needs	Percent of Total Units	Regional Unit Needs (Riverside County)	Percent of Regional Units
Very low (\leq 50% AMI)	1,752	28.7%	41,995	25.1%
Low ($>$ 50-80% AMI)	1,040	17.1%	26,473	15.8%
Moderate ($>$ 80-120% AMI)	1,096	18.1%	29,167	17.4%
Above Moderate ($>$ 120% AMI)	2,200	36.1%	69,716	41.6%
Total	6,088	100%	167,351	100%

AMI = Area Median Income (established annually by the Department of Housing and Urban Development)¹
Source: SCAG 2020a

The City had 50,298 households as of January 2021.² As of 2020, 70.8 percent were single-family, which included 66.4 percent single-family detached units and 4.4 percent single-family attached units; multi-family dwelling units comprised 25.8 percent of the city's housing stock; and the remaining three percent were mobile homes (SCAG 2020b).

¹ The City has a RHNA allocation of 1,752 very low-income units (inclusive of extremely low-income units). Pursuant to State law (AB 2634), the City must project the number of extremely low-income housing needs based on Census income distribution or assume 50 percent of the very low-income units as extremely low. According to the Comprehensive Housing Affordability Strategy (CHAS) data developed by HUD, 17.6 percent of City households earned less than 50 percent of the AMI. Among these households, 49.5 percent earned incomes below 30 percent (extremely low). Therefore, the City's RHNA allocation of 1,752 very low-income units may be split into 867 extremely low and 885 very low-income units. However, for purposes of identifying adequate sites for the RHNA allocation, State law does not mandate the separate accounting for the extremely low-income category.

² California Department of Finance 2021: <https://dof.ca.gov/Forecasting/Demographics/Estimates/E-5/>

2.4 Changes in State Law

The following items represent substantive changes to State housing law since the City's last Housing Element was adopted and certified in 2013. The Housing Element update has incorporated and addressed all pertinent housing law changes.

- Affordable Housing Streamlined Approval Process: Senate Bill 35 (2017)
- Additional Housing Element Sites Analysis Requirements: Assembly Bill 879 (2017) and Assembly Bill 1397 (2017)
- Affirmatively Furthering Fair Housing: Assembly Bill 686 (2017)
- No-Net-Loss Zoning: Senate Bill 166 (2017)
- Safety Element to Address Adaptation and Resiliency: Senate Bill 1035 (2018)
- By Right Transitional and Permanent Supportive Housing: Assembly Bill 2162 (2018) and Assembly Bill 101 (2019)
- Accessory Dwelling Units: Assembly Bill 2299 (2016), Senate Bill 1069 (2016), Assembly Bill 494 (2017), Senate Bill 229 (2017), Assembly Bill 68 (2019), Assembly Bill 881 (2019), Assembly 587 (2019), Senate Bill 13 (2019), and Assembly Bill 671 (2019)
- Density Bonus: Assembly Bill 1763 (2019)
- Housing Crisis Act of 2019: Senate Bill 330
- Surplus Land Act Amendments: Assembly Bill 1486 and AB 1255 (2019)
- Housing Impact Fee Data: Assembly Bill 1483 (2019)
- Emergency and Transitional Housing Act of 2019: Assembly Bill 139 (2019)
- Standardization of Sites Inventory Analysis and Reporting: Senate Bill 6 (2019)
- Evacuation Routes: Senate Bill 99 and AB 747 (2019)

2.5 City of Corona General Plan

State law mandates that each city and county in California adopt "a comprehensive, long-term general plan," the purpose of which is to plan for important community issues such as new growth, housing needs, and environmental protection. Furthermore, the General Plan is used to project future demand for services such as sewer, water, roadways, parks, and emergency services.

The Corona General Plan, adopted in September 2019, is a long-term document with text and diagrams that express the goals, objectives, and policies necessary to guide the community toward achieving its vision over a 20-year period (2020 to 2040). A General Plan reflects the priorities and values of the community.

City decision-makers (e.g., City Council and Planning Commission), rely on the General Plan as the basis for making decisions on matters such as land use, and the provision of public facilities (e.g., roads, parks, fire stations). It is also a policy document that guides decisions related to protecting, enhancing, and providing open space, habitat conservation, arts and recreation programming, and community character.

State law requires that every General Plan, at a minimum, address certain subject categories (called "elements"), which include land use, circulation, housing, conservation of natural resources, environmental justice, open space, noise, and safety. A General Plan may also address other

subjects that are of importance to the community" future, such as sustainability, community design, and public art. Corona's General Plan includes the following elements:

- Land Use
- Housing
- Community Design
- Historic Resources
- Economic Development
- Parks, Recreation, Cultural Arts, and Education
- Circulation
- Infrastructure and Utilities
- Public Safety

- Noise
- Healthy Community
- Environmental Resources

2.6 Corona General Plan Technical Update EIR

The Corona General Plan Technical Update EIR (herein called the General Plan EIR) addressed the potential environmental effects of the planned buildout of the City of Corona through the year 2040 and concluded that implementation of the 2020-2040 General Plan would result levels of environmental impacts as detailed in Table 2. Mitigation measures were incorporated into the General Plan EIR to reduce potential impacts from project development under the General Plan.

Table 2 Summary of Areas of Potential Impact under the Corona General Plan Technical Update EIR

Issue Area	Level of Significance After Mitigation	Mitigation Proposed in the General Plan EIR
Aesthetics	Less than significant	None
Agriculture and Forestry Resources	Significant and Unavoidable	None
Air Quality	Significant and Unavoidable	AQ 1- AQ 4
Biological Resources	Less than significant	BIO 1- BIO 7
Cultural Resources	Significant and Unavoidable	CUL 1- CUL 5
Energy	Less than significant	None
Greenhouse Gas Emissions	Significant and Unavoidable	GHG 1
Geology and Soils	Less than significant	GEO 1- GEO 6
Hazards and Hazardous Materials	Less than significant	None
Tribal Cultural Resources	Less than significant	TCR 1- TCR 3
Hydrology and Flood/Water Quality	Less than significant	None
Land Use Planning	Less than significant	None
Noise	Significant and Unavoidable	N 1

Issue Area	Level of Significance After Mitigation	Mitigation Proposed in the General Plan EIR
Population and Housing	Less than significant	None
Public Facilities and Services	Less than significant	None
Public Utilities and Infrastructure	Less than significant	None
Transportation	Significant and Unavoidable	None
Wildfire	Less than significant	None

City of Corona General Plan Assumptions

The General Plan has a year 2040 planning horizon, but it does not specify or anticipate exactly when buildout will occur, as long-range demographic and economic trends are difficult to predict. The designation in the General Plan of a site for a certain use does not necessarily mean that the site will be developed or redeveloped with that use during the planning period, as most development depends on property owner initiative.

As detailed in General Plan EIR in Table ES-1, *Buildout Statistical Summary*, the General Plan Update would result in a potential buildout total of 70,939 housing units, 241,928 residents, 82,191,657 nonresidential square feet, and 106,474 jobs in the City and its sphere of influence (SOI). During the 20-year timeframe, the General Plan would result in an increase of 11,511 units, 39,298 residents, 26,476,352 nonresidential square feet, and 31,156 jobs in the City and SOI.

2.7 Housing Element Update

The 2021 Housing Element Update has the following major components:

- An **introduction** to review the requirements of the Housing Element, public participation process, and data sources (Section 10.1)
- A profile and analysis of the city's demographics, housing characteristics, and existing and future **housing needs** (Section 10.2)
- A review of **resources available** to facilitate and encourage the production and maintenance of housing, including land available for new construction, financial and administrative resources available for housing, and opportunities for energy conservation (Section 10.3)
- An analysis of **constraints** on housing production and maintenance, including market, governmental, and environmental limitations to meeting the city's identified needs (Section 10.4)
- A review of the city's **housing programs** and evaluation of accomplishments under the 2013-2021 Housing Element (Section 10.5)
- A statement of the **Housing Plan** to address the city's identified housing needs, including an assessment of past accomplishments, and a formulation of housing goals, policies, and programs (Sections 10.6 and 10.7)
- An identification of the **goals, policies, and programs** and the city's quantified objectives for the 2021-2029 planning period, by income group, based on growth estimates, past and anticipated development, and income data (Section 10.8)

A series of appendices provide additional documentation. Appendix A provides information on the public outreach program for the Housing Element update, Appendix B is the sites inventory, and Appendix C is the Affirmatively Furthering Fair Housing assessment.

Goals, Policies, and Programs

The primary objective of the Housing Element is to encourage the production of new housing units to meet the RHNA and housing for special needs populations. This is done by adopting a series of goal and policies that support housing programs related to housing production, special needs housing, neighborhood quality and fair housing. The 2021 Housing Element Update goals, policies, and programs are summarized below and referenced throughout this Addendum Evaluation as appropriate.

Housing Production

State law requires that the goals and policies of the housing element shall encourage and facilitate the production of a range in types of housing affordable to households of varied income levels. The City supports this goal by identifying adequate sites for residential development (infill sites, vacant sites, and underutilized sites) that are appropriately zoned for the type and density that can accommodate housing for certain income levels. The Housing Element also identifies programs the City will take to support and incentivize housing development and address the City's housing needs.

The sites identified for new housing adequately accommodate the City's RHNA as determined by the state Housing and Community Development Department (HCD) for the 2021-2029 planning period. HCD reviews the Housing Element for adequacy. The following goals and policies set forth the City's commitment to facilitate and encourage the production of housing commensurate with community needs.

Goal H-1	Promote and maintain a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.										
Policies	<table><tr><td>H-1.1</td><td>Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.</td></tr><tr><td>H-1.2</td><td>Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.</td></tr><tr><td>H-1.3</td><td>Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.</td></tr><tr><td>H-1.4</td><td>Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.</td></tr><tr><td>H-1.5</td><td>Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density</td></tr></table>	H-1.1	Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.	H-1.2	Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.	H-1.3	Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.	H-1.4	Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.	H-1.5	Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density
H-1.1	Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.										
H-1.2	Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.										
H-1.3	Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.										
H-1.4	Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.										
H-1.5	Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density										

residential development, mixed use residential/commercial development, and transit oriented residential development in appropriate areas of the City.

Programs	<p>Program 1: Residential Rehabilitation Program. Provide forgivable loans to address critical home improvement needs such as the remediation of code violations, heating and air conditioning, exterior or interior paint, water heater replacement, roofing, plumbing, electrical, kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 103 very low income and 152 low income during the 2021-2029 period with an annual average of 15 households. The City will continue to conduct community outreach regarding available loans and grants by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A of the Housing Element.</p> <p>Program 2: Housing Voucher Program. This program will continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.</p> <p>Program 3: Conservation of Existing and Future Affordable Units. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the public housing authority, and other affordable housing opportunities in the City by October 2022. The City will assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.</p> <p>Program 4: Mobile Home Park Program. The City will continue to implement the Residential Mobile Home Park zoning ordinance (Municipal</p>
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Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5. The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance is the State Mobile home Park Rehabilitation and Restoration Ownership Program (MPRROP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Program 7: Site Availability and Rezone Program. Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a Rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B). The City will continue to:

- Provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs;
- Amend the Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024;
- Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website;
- Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses;

- Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites;
- Monitor the consumption of residential acreage to ensure an adequate inventory is available;
- Create opportunity for at least 3,726 units for lower income households;
- By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements;
- Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive;
- Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households;
- Permit at least 16 units per site;
- Require a minimum density of 20 units per acre; and
- At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites:
 - Allow 100 percent residential use; and
 - Require that all residential use occupy 50 percent of the total floor area of a mixed use project.

Program 8: Residential Sites Monitoring Program. In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss”, was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City's available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target. Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure “no net loss” in capacity to accommodate the RHNA.

- Program 9: Sites Used in Previous Planning Periods Housing Elements. The City shall rezone or amend its Zoning Code by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units.
- Program 10: Lot Consolidation and Large Lot Development. To facilitate the development of affordable housing and provide for development phases of 50 to 150 units, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards. The City will continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers, and offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include reduced development fees, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance. The City will waive fees for lot consolidation for 100 percent affordable housing.
- Program 11: Multi-Family Acquisition and Rehabilitation. The City will utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. Furthermore, the City will pursue available funds for multi-family acquisition and rehabilitation.
- Program 12: Affordable Housing Development. The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources. This program will:
- Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives;

- Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 130 lower income units within the planning period;
- Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years;
- Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing;
- Annually seek additional funding sources and identify new partnerships to greater expand resources in the City;
- By October 2023, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need;
- Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates;
- Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households; and
- Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households by the 2025 Urban Water Management Plan and includes as updates to the Sewer Master Plan and/or Sanitary Sewer Management by 2025.

Program 13: Density Bonus Program. The City will continue to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements. In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with

disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Program 14: Zoning Ordinance Monitoring. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed-use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations. This program will:

- Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development;
- Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers;
- Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop;
- Amend Title 17 of the Municipal Code by October 2024 to comply with the Employee Housing Act;
- Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP;
- Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities;
- Amend the Zoning Ordinance by October 2024 to allow up to three stories by-right in multifamily residential zones.

Program 15: Flexibility in Development Standards. The City will monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing. The City will monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. By 2024, the City will develop standards for affordable and/or high-density housing development that allow greater flexibility, such as reduced setbacks, and/or reduction of required common open space. Building and Engineering staff will study ways to mitigate the cost of construction, for example by revising engineering standards and working with the local Fire District to allow for narrower street widths, rolled curbs and parking bays, and considering allowing use

of less expensive building materials, such as plastic for storm drainage pipes, provided applicable code requirements are satisfied.

- Program 16: Development Impact Fees. The City will continue to evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities and consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing for low-income households.

- Program 17: Expedited Project Review and Hearing Process. The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

- Program 27: Replacement Housing Program. Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

- Program 28: Lot Configuration and Large Lot Development. To facilitate the development of affordable housing and provide for development phases of 50 to 150 units, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Special Needs Housing

Corona, like many cities in California, have residents with special housing needs. These include seniors, large families with five or more members, people with disabilities, single parent households, unhoused people, and others in need of housing. The City proactively addresses each of

these groups by providing a range of special needs and affordable housing suited to the lifestyles and needs of each special need group.

Goal H-2	Promote and preserve suitable and affordable housing for persons with special needs, including large families, single parent households, persons with disabilities, and seniors and shelter for the unhoused.
Policies	<p>H-2.1 Encourage the development of rental units with three or more bedrooms to provide affordable housing for large families.</p> <p>H-2.2 Work with nonprofit agencies and private sector developers to encourage development of senior housing.</p> <p>H-2.3 Encourage the production of assisted living facilities (single-story houses and apartments) for the disabled and the elderly.</p> <p>H-2.4 Provide emergency shelter with transitional support for City residents, including disadvantaged groups.</p> <p>H-2.5 Encourage the upgrade and conversion of older motels to single-room occupancy housing.</p>
Programs	<p>Program 21: <i>Housing for Persons Experiencing Homelessness.</i> The City’s Homeless Prevention Programs was created as a result of the City’s Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The City will also update the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.</p> <p>Program 22: <i>Housing for Special Needs Populations.</i> The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.</p> <p>Program 25: <i>Community Outreach Program.</i> Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City’s housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities.</p> <p>Program 26: <i>Community Placemaking Pilot Program.</i> The Community Placemaking Pilot Program will implement small-scale placemaking</p>

projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds.

Neighborhood Quality

The City of Corona’s quality of life is contingent on neighborhood quality and the safety, public amenities, and quality of development found in each neighborhood. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with sidewalks and trees, adequate physical infrastructure, and public services. In other cases, some neighborhoods show signs of deterioration and could benefit from improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services.

Given the diversity of residential neighborhoods, the City of Corona supports a multifaceted approach to improving and preserving the quality and livability of residential neighborhoods. The particular strategies employed to achieve this goal depend on the location of the neighborhood, age and tenure of housing, type of housing, and other neighborhood characteristics. These strategies include, but are not limited to, the following: historic preservation, neighborhood traffic management, infrastructure maintenance, safety, code compliance, and housing rehabilitation. The following goal and policies set forth Corona’s commitment to neighborhood quality.

Goal H-3	Maintain high quality residential development standards to ensure the establishment of livable neighborhoods with lasting safety and aesthetic value, and to promote the maintenance and preservation of historic neighborhoods.	
Policies	H-3.1	Recognize the City’s inventory of existing historic structures and seek programs to enhance and preserve those neighborhoods.
	H-3.2	Encourage the revitalization of the existing dwelling units in the circle area through rehabilitation programs.
	H-3.3	Provide public services and improvements that enhance and create neighborhood stability.
	H-3.4	Continue to establish and enforce property maintenance regulations that promote the sound maintenance of property and enhance the livability and appearance of residential areas.
	H-3.5	Maintain design review for new residential developments to ensure the construction of livable and aesthetically pleasing neighborhoods.
Programs	Program 5:	<i>Neighborhood Improvements.</i> To foster community pride and increase incentives for private homeowner investment in their homes, the City will continue its Neighborhood Improvement Program. This program consists of public improvements such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program. Public improvements inspire property owners to stay in the neighborhood and invest in their property, thus preserving the housing stock The City continues to develop methods designed to increase the City’s collective sense of community pride.

Program 6: *Sustainable Building*. The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Fair Housing

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

Goal H-4 Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies

H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.

H-4.2 Promote and provide for nondiscrimination in all City programs.

Programs

Program 18: *Affirmatively Furthering Fair Housing*. To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data. The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Program 19: *Fair Housing Services*. The city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686

(2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Program 20: *Segregation in Housing Implementation*. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Program 23: *Safe and Healthy Communities*. Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Program 24: *Alternative Housing Program*. Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

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3 Overview of CEQA Guidelines §15164

California Environmental Quality Act (CEQA) Guidelines Sections 15162 and 15164 set forth the criteria for determining the appropriate additional environmental documentation, if any, to be completed when a project has a previously certified EIR.

CEQA Guidelines Section 15164 states that a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. CEQA Guidelines sections 15162(a) states that no Subsequent or Supplemental EIR shall be prepared for a project with a certified EIR unless the lead agency determines, based on substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project that will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, shows any of the following:
 - A. The project will have one or more significant effects not discussed in the previous EIR.
 - B. Significant effects previously examined will be substantially more severe than shown in the previous EIR.
 - C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.
 - D. Mitigation measures or alternatives that are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

The analysis pursuant to Section 15162 demonstrates whether the lead agency can approve the activity as being within the scope of the existing certified EIR, that an addendum to the existing EIR would be appropriate, and no new environmental document, such as a new EIR, would be required. The addendum need not be circulated for public review but can be included in or attached to the final EIR, and the decision-making body shall consider the addendum with the final EIR prior to deciding on the project.

The City has prepared this Addendum Evaluation, pursuant to CEQA Guidelines Sections 15162 and 15164, to evaluate whether the project's environmental impacts are covered by and within the scope of the Corona General Plan Technical Update EIR (September 2019, State Clearinghouse Number 2018081039). The following Addendum Evaluation details any changes in the project, changes in circumstances under which the project is undertaken, and/or "new information of substantial importance" that may cause one or more effects to environmental resources.

The responses herein substantiate and support the City's determination that the Housing Element update policies and programs are within the scope of the Corona General Plan Technical Update EIR, do not require subsequent action under CEQA Guidelines Section 15162 and, in conjunction with the EIR, adequately analyze potential environmental impacts.

4 Environmental Effects and Determination

Environmental Areas Determined to Have New or Substantially More Severe Significant Effects Compared to Those Identified in the Previous EIR

The subject areas checked below were determined to be new significant environmental effects or to be previously identified effects that have a substantial increase in severity either due to a change in project, change in circumstances, or new information of substantial importance, as indicated by the checklist and discussion on the following pages.

■ NONE

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology and Soils | <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards and Hazardous Materials |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities and Service Systems | <input type="checkbox"/> Wildfire | <input type="checkbox"/> Mandatory Findings of Significance |

Determination

Based on this analysis:

- ☐ Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or, there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, a SUBSEQUENT or SUPPLEMENTAL EIR is required.

- No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, the previously certified EIR is adequate and this evaluation serves as an ADDENDUM to the City of Corona, General Plan Technical Update Environmental Impact Report (General Plan EIR). State Clearinghouse Number 2018081039 dated December 2019.

Signature	Date
Joanne Coletta	Community Development Director
Printed Name	Title

5 Addendum Evaluation Methodology

5.1 General Plan Consistency

The Housing Element is a component of the City's General Plan and is periodically updated pursuant to state law. Therefore, the Housing Element update is consistent with the vision of the General Plan and is supported by goals and policies of the other General Plan Elements. The General Plan Elements and policies that correspond with the goals and policies of the Housing Element are summarized below:

- The **Land Use and Community Design Element** guides the type, location and quality of development in accordance with the Land Use Plan. The goals and policies within this element add to the value and desirability of living and working in the City. The Land Use Plan details the location and the density of development allowed throughout the city.
- The **Circulation Element** outlines the long-term plan for roadways and general operating conditions. It also provides guidance relating to the transit system, good movement system and nonmotorized travel, which includes bicycle and pedestrian travel.
- The **Parks, Recreation, Cultural Arts, Education and Environmental Resources Elements** establishes goals and policies to ensure the provision of sufficient parks, schools and library facilities are appropriate in the planning of residential and service population of the city; and addresses the preservation and conservation of open space lands for the protection of biotic resources and recreational purposes.
- The **Noise and Public Safety Elements** contain policies to protect residents from unacceptable noise levels and safety concerns by guiding future development away from significant noise sources and potential hazards and by enforcing mitigations when necessary.
- The **Economic Development Element** outlines the city's economic development objectives and guides development of future employment and commercial services, both of which are critical to supporting residents. The enhancement of well-paying jobs with the city helps with accessing housing resources and reducing transportation costs and impacts.
- The **Sustainability and Infrastructure and Utilities Elements** is an intrinsic component of all elements of the General Plan. The very same policies that further sustainable development also enhance quality-of-life and public health. The Sustainability Element affects housing through policies that encourage efficient development patterns, conservation, and sustainable energy sources such as solar. Policies recommend building design and outdoor spaces to take advantage of Corona's moderate climate and reduce the need for artificial cooling, heating, and lighting.
- The **Healthy Community Element** establishes goals and objectives to reduce pollution exposure; improve air quality; and promote public facilities, food access, safe and sanitary homes, and physical activity.
- The **Historic Resources Element** provides guidelines to preserve resources that represent the history and culture of Corona. Specifically, the element is intended to provide guidance in developing and implementing programs, in concert with community partners, that ensure the identification, designation, and protection of cultural and historical resources for future Corona generations.

Adoption of the Housing Element update will require the City to amend the General Plan's Land Use Element, specifically the Land Use Plan, to implement the housing sites inventory associated with the city's assigned RHNA allocation for planning period 2021-2029. This is required per California Government Code Section 65583(c)(1)(A).

Accommodation of the RHNA

Corona's RHNA for the current planning period is 6,088 units, including 2,792 very low and low-income housing units, 1,096 moderate housing units, and 2,200 above moderate housing units. The City must demonstrate the availability of sites with appropriate zoning and development standards that can facilitate and encourage the development of such units. The Housing Element update includes a housing plan that accommodates the RHNA plus a buffer of additional housing sites as recommended by HCD, which includes estimated 7,455 housing units. As shown in Table 3, the City anticipates the development of 80 ADUs during the eight-year planning period and 2,110 units would be accommodated from planned and approved (pipeline) projects, which can count towards the RHNA. Additionally, 1,153 units would be accommodated by vacant and nonvacant sites under the existing General Plan land uses. The remaining 3,652 units would be accommodated by a rezoning program, which includes an affordable housing overlay (AHO) zone.

Although the housing sites inventory has been identified for future planning purposes as part of the Housing Element update, the adoption of the Housing Element itself does not change the current zoning or General Plan designations of the properties. California Government Code Section 65583(c)(1)(A) states that cities have up to three years from the start of the Housing Element planning period to rezone sites, including adoption of minimum density and development standards. Therefore, the City's rezoning program, which is identified as Program 7 in Chapter 6 (Housing Plan) of the Housing Element update, would be a separate project and evaluated in accordance with CEQA at the time of its review. Prior to the approval of any changes in land use, the City would evaluate the potential environmental impacts from the rezoning or change in the General Plan Land Use Plan.

Table 3 Housing Unit Yield per Site Category

Site Category	Very Low/ Low	Moderate	Above Moderate	Total
Planned and Approved Units	0	92	2,110	2,202
Anticipated Accessory Dwelling Units	46	28	6	80
RHNA Remaining Need	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units Accommodated by Housing Plan	3,392	1,097	2,966	7,455
RHNA Required	2,792	1,096	2,200	6,088
Total Unit Surplus (Buffer)	600	1	766	1,367

Source: Adapted from Table 45 of the 2021-2029 Housing Element update

The City's General Plan proposes 5,494 additional residential units in the city limits by 2040. The 7,455 units that would be accommodated by the Housing Element update would exceed the 5,494 units by an additional 1,961 units. Therefore, additional environmental analysis would be required prior to the implementation of the rezoning program identified as Program 7 in the Housing Element.

A detailed discussion of the Housing Element update development assumptions and housing plan is provided below.

Housing Element Update Plan and Assumptions

The City used conservative assumptions to estimate the development capacity of each site. Specifically, the sites inventory assumed 75 percent of the maximum allowable density of most parcels, instead of the full development potential. This assumption is based on historical development patterns and is necessary to accommodate for a variety of site-specific factors that cannot be evaluated until a development proposal is brought to the City for review, such as previous development applications submitted for the site, conversations with landowners, development standards and requirements of the corresponding specific plan, and site-specific environmental constraints such as topography, seismic activity, flooding, and wildfire hazard zones. Many recently constructed projects or projects under construction realized densities of more than 75 percent of the maximum allowable density. For the smaller lots in the inventory, a minimum of one dwelling unit is assumed for each legal lot.

A total of 1,178 residential units can be accommodated on the vacant and nonvacant sites under existing land use policies and approved plans. Of these units, 214 qualify as feasible for facilitating the development of extremely low-, very low- and low-income units. In addition to vacant and nonvacant parcels, the City has identified a number of parcels to be part of a rezoning program to accommodate the City's lower and moderate income RHNA allocation. 368 units could be accommodated through the rezoning of low density residential and commercial parcels to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU). Of these rezoned parcels, 149 qualify as feasible for facilitating the development of very low- and low-income units. The City prioritizes rezoning in transit priority areas that are within 0.5-mile of public transit (i.e. high frequency bus route or trolley line) to improve walkability and reduce dependence on automobile use, consistent with the goals of the SCAG Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS).

The City has also identified nonvacant commercial and residential parcels that are specifically suitable for an AHO. AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing. Incentives may include:

- Increased density bonus;
- Reduced development standards ;
- Lower parking requirements;
- By-right zoning or administrative project approval;
- Streamlined permitting;
- Allowing housing in locations not zoned for residential uses; and
- Impact fee waivers.

The City would introduce an AHO as part of the housing plan for the Housing Element update. The AHO would support densities between 36-60 du/ac. Sites designated with the AHO would keep the underlying zoning but would have this affordable housing overlay if housing is to be considered on the site in the future. With the AHO, these sites could accommodate 3,652 units, and 2,983 units will qualify as feasible for facilitating the development of extremely low, very low-, and low-income units. A detailed sites inventory of the residential capacity of each site is located in Appendix B of the Housing Element update.

5.2 Preliminary Environmental Constraints

State housing law requires the city to review both governmental and non-governmental constraints to the maintenance and production of housing for all income levels. Since local governmental actions can restrict the development and increase the cost of housing, State law requires the Housing Element to “address and, where appropriate and legally possible, remove governmental constraints to the maintenance, improvement, and development of housing” (Government Code Section 65583(c)(3)).

Several factors can constrain residential development. These include market constraints, such as development costs and interest rates, and governmental constraints, which include land use controls, fees, processing times, and development standards, among others. In addition, environmental and infrastructure constraints can also impede residential development. For purposes of the Addendum Evaluation, only the potential environmental constraints, as they relate to CEQA, were evaluated.

Environmental constraints to residential development typically relate to the presence of sensitive habitat, flooding, topography, and other natural and physical characteristics that can limit the amount of development in an area or increase the cost of development. The Housing Element update, in and of itself, does not propose specific development projects, but rather puts forth goals, policies, and programs that support housing efforts in Corona. Each future housing development project and housing program adopted in the Housing Element would be subject to separate review to determine potential impacts on the environment related to each project.

6 Addendum Evaluation

1 Aesthetics

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Have a substantial adverse effect on a scenic vista?	Less than Significant	None	No	No	No	Yes	Yes
b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	Less than Significant	None	No	No	No	Yes	Yes
c. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	Less Than Significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Create a new source of substantial light or glare that would adversely affect daytime or nighttime views in the area?	Less than Significant	None	No	No	No	Yes	Yes

General Plan EIR Aesthetics Findings

The General Plan EIR determined that impacts to aesthetic resources would be less than significant for scenic vistas, scenic highways, visual quality, and light and glare. It further stated that individual development projects would be subject to project-specific development and planning review, including adherence to standards for community design and visual quality. As such, all projects proposed under General Plan implementation would be required to conform to zoning, design standards, and other regulations concerning aesthetic resources such as those that address architectural design, lighting, signage, landscaping, building setbacks, and hillside protection.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development the aesthetics on these properties would not create a significant impact from current conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to scenic vistas, scenic resources, or visual character, and will not create new sources of substantial light or glare which adversely affects views.

All future development aligning with the Housing Element update would undergo project-specific developmental review, including design review, to address potential impacts related to aesthetics. Development proposals would be subject to adopted development guidelines, including standards that govern visual quality and community design.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of aesthetics is required.

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2 Agriculture and Forestry Services

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	Significant and Unavoidable	AG-1 Retention of On-site Agricultural Uses. AG-2 Establishment of Conservation Easement or Preserves or Payment into an Agricultural Mitigation Bank. AG-3 Payment in Lieu or Transfer of Development Right.	No	No	No	Yes		Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
b. Conflict with existing zoning for agricultural use or a Williamson Act contract?	Significant and Unavoidable	AG-1 through AG-3	No	No	No	Yes	Yes
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)); timberland (as defined by Public Resources Code Section 4526); or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	Less Than Significant	None	No	No	No	Yes	Yes
d. Result in the loss of forest land or conversion of forest land to non-forest use?	Less Than Significant	None	No	No	No	Yes	Yes
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	Significant and Unavoidable	AG-1 through AG-3	No	No	No	Yes	Yes

General Plan EIR Agriculture and Forestry Resources Findings

The General Plan EIR identified that the Housing Element update would convert farmland in the City and SOI to nonagricultural use along with farmland in the SOI that is under the Williamson Act contract. Mitigation measures were identified to help reduce impacts; however, impacts would still be considered significant. General Plan policies and implementation programs are in place to minimize impacts to agricultural land conversion that apply to future development.

There are no current or planned fixed commercial timber operations subject to a Timber Harvesting Plan in southwest Riverside County and there are no timber production zones in the City of Corona or its SOI. Consequently, the General Plan EIR identified no impacts associated with forestry resources or timberland.

Addendum Analysis

The General Plan goals and policies support continued farming and restrict uses that would interfere with farming and open space uses in certain corridors. Mitigation measures identified in the General Plan EIR would be implemented to help reduce impacts to the greatest extent possible. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, agriculture and forestry uses would not be altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to farmland.

All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to farmland. Development proposals would be subject to adopted development guidelines.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of agriculture and forestry resources is required.

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3 Air Quality

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Conflict with or obstruct implementation of the applicable air quality plan?	Significant and Unavoidable	AQ-1 Construction-related emissions reduction, AQ-2 long-term emissions reduction	No	No	No	Yes	Yes
b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	Significant and Unavoidable	AQ-1	No	No	No	Yes	Yes
c. Expose sensitive receptors to substantial pollutant concentrations?	Significant and Unavoidable	AQ-2, AQ-3 Preparation of HRA	No	No	No	Yes	Yes
d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	Less than Significant	AQ-4 Odor Management Plan	No	No	No	Yes	Yes

General Plan EIR Air Quality Findings

The General Plan EIR determined that impacts to air quality would be significant and unavoidable regarding conflicting with applicable air quality plans, cumulatively considerable net increase of criteria pollutants for which the region is in non-attainment, exposure of sensitive receptors to pollutant concentrations. The General Plan EIR found that General Plan implementation would create a significant and unavoidable impact relative to existing or projected air quality. Mitigation AQ-4 would reduce potential impacts regarding odors to less than significant. The General Plan includes numerous goals and policies to reduce potential air quality impacts, and the City would enforce compliance with regional plans and programs that reduce air quality impacts.

Addendum Analysis

The General Plan goals and policies support reduction of air quality impacts. Mitigation measures identified in the General Plan EIR are implemented to help reduce impacts to the greatest extent possible. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, air quality would not be a significant change from current conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to air quality. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to air quality.

Potential air quality-related impacts cannot be assessed in a meaningful way until a project specific analysis is done covering the size of the development which includes construction air quality emissions, project operational emissions and potential vehicle miles traveled. Short-term air quality impacts resulting from construction of the sites, such as dust generated by clearing and grading activities, exhaust emissions from gas- and diesel-powered construction equipment, and vehicular emissions associated with the commuting of construction workers will be subject to South Coast Air Quality Management District rules and protocols. Similarly, operational impacts would be addressed by provisions in the General Plan, the Green Building Code, and other regulations and standards that govern air quality in Corona. Any impacts identified for an individual project would be addressed through the project approval process specific to concerns for that project.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information

that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of air quality is required.

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4 Biological Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Project is within the Scope of General Plan EIR?	
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures					
Would adoption of the 2021 Housing Element Update:							
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Less than significant	BIO-1 Biological Resources Survey, BIO-2 Construction Limitations, BIO-3 Contractor Training Program, BIO-4 Biological Monitoring	No	No	No	Yes	Yes
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Less than significant	BIO-1 through BIO-4	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Have a substantial adverse effect on state or federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	Less than significant	BIO-5 Jurisdictional Delineation	No	No	No	Yes	Yes
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	Less than significant	BIO-6 Corridor Evaluation, BIO-7 Nesting Bird Survey	No	No	No	Yes	Yes
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	Less than significant	None	No	No	No	Yes	Yes
f. Conflict with the provisions of an adopted habitat conservation plan, natural community conservation plan, or other approved local, regional, or State habitat conservation plan?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Biological Resources Findings

The General Plan EIR determined that impacts to biological resources would be less than significant with mitigation incorporated for effects to sensitive animal and plant species, sensitive natural communities, and wildlife movement. As such, all projects proposed under General Plan implementation would be required to conform to zoning, design standards, and other regulations concerning the protection of biological resources, including listed species, habitats, and all planning resources designed to protect and conserve these resources.

Addendum Analysis

The General Plan goals and policies support reduction of impacts to biological resources. Mitigation measures identified in the General Plan EIR are implemented to reduce impacts to less than significant. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, biological resources would not be altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

Furthermore, protection of many special status species and habitat is mandated by federal and State laws. Corona is a member agency in the Western Riverside County Multiple Species Habitat Conversation Plan (MSHCP) to preserve the diversity of habitat and protect sensitive biological resources with the City while allowing for additional development consistency with city planning documents (i.e., General Plan). All proposed development projects, including those under the Housing Element update, would be assessed for consistency with the MSHCP.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to biological resources and conservation or habitat management plans. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to biological resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of biological resources is required.

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5 Cultural Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures						
Would adoption of the 2021 Housing Element Update:								
a. Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?	Significant and Unavoidable	CUL-1 Historical Resources Assessment, CUL-2 Secretary of the Interior’s Standards for the Treatments of Historic Properties, CUL-3 Recordation, CUL-4 Flagged Construction Limits	No	No	No	Yes		Yes
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	Less than significant	CUL-5 Archaeological resources assessment	No	No	No	Yes		Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Disturb any human remains, including those interred outside of formal cemeteries?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Cultural Resources Findings

The General Plan EIR determined that impacts to historic resources would be significant and unavoidable. The General Plan EIR includes mitigation measures that would reduce potential impacts; however, impacts would still be considered significant and unavoidable. The General Plan established policies for future development to reduce impacts to the greatest extent feasible. Individual development projects would be subject to project-specific development and planning review. As such, all projects proposed under General Plan implementation are required to conform to zoning, design standards, and other regulations concerning the protection of cultural resources, including listed historic and archaeological resources.

Addendum Analysis

The General Plan goals and policies support reduction of impacts to cultural resources. Mitigation measures identified in the General Plan EIR are implemented to reduce impacts to the greatest possible extent. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, cultural resources would not be impacted. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to cultural resources. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to cultural resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of cultural resources is required.

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6 Energy

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	Less than significant	None	No	No	No	Yes	Yes
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Energy Findings

The General Plan EIR determined that impacts to energy would be less than significant regarding wasteful or unnecessary energy consumption and would not conflict with or obstruct State or local plans for renewable energy or energy efficiency.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, energy resources would not be significantly altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to energy resources or adopted plans for renewable or efficient energy use. Additionally, future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to energy resources and energy consumption for new residential construction, including consistency with Title 20, Energy Building Regulation, and Title 24, Energy Conservation Standards, of the California Code of Regulations (CCR).

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of energy is required.

7 Geology and Soils

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:			No	No	No	Yes	Yes
1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	Less than significant	None	No	No	No	Yes	Yes
2. Strong seismic ground shaking?	Less than significant	None	No	No	No	Yes	Yes
3. Seismic-related ground failure, including liquefaction?	Less than significant	None	No	No	No	Yes	Yes
4. Landslides?	No Impact	None	No	No	No	Yes	Yes
b. Result in substantial soil erosion or the loss of topsoil?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	Less than significant	None	No	No	No	Yes	Yes
d. Be located on expansive soil, as defined in Table 1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	Less than significant	None	No	No	No	Yes	Yes
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	Less than significant	None	No	No	No	Yes	Yes

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	Less than significant with mitigation incorporated	GEO-1 High and Low-to- High Sensitivity, GEO-2 High Sensitivity, GEO-3 Low-to- High Sensitivity, GEO-4 Low Sensitivity, GEO-5 Unknown Sensitivity, GEO-6 All Projects	No	No	No	Yes	Yes

General Plan EIR Geology and Soils Findings

The General Plan EIR determined that impacts to geology and soils would be less than significant for adverse effects related to rupture of a known fault, strong ground shaking, seismic-related ground failure, or landslides; soil erosion; landslide, lateral spreading, subsidence, liquefaction, or collapse; locating development on expansive soils; and installing septic tanks and alternative wastewater disposal systems in expansive soils. However, potentially significant impacts were found for paleontological resources and mitigation was incorporated to reduce impacts to less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impact to geology and soils resources would not be significant. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in geology and soils impacts. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to geology and soils, including adherence to State and City grading and building standards. Future development would be required to adhere to mitigation measure requirements related to paleontological resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of geology and soils is required.

8 Greenhouse Gas Emissions

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	Significant and unavoidable	GHG-1 CAP Update and Monitoring	No	No	No	Yes		Yes
b. Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	Less than significant	None	No	No	No	Yes		Yes

General Plan EIR Greenhouse Gas Emissions Findings

The General Plan EIR determined that impacts to greenhouse gas (GHG) emissions and GHG reduction targets would be significant with implementation of the General Plan. Mitigation measures set forth in the General Plan EIR would reduce potential impacts to GHG emissions but would still result in a significant and unavoidable impact. Impacts relating to conflicts with plans, policies, and regulations adopted to reduce GHGs would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, greenhouse gas emissions are not likely to significantly rise above existing conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing development efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with GHG emissions. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to GHG emissions, including adherence to State and City building standards and policies designed to reduce GHG emissions with new residential construction, such as CCR Title 20, Energy Building Regulation, and Title 24, Energy Conservation Standards.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of GHG emissions is required.

9 Hazards and Hazardous Materials

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	Less than significant	None	No	No	No	Yes	Yes
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	Less than significant	None	No	No	No	Yes	Yes
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within 0.25 mile of an existing or proposed school?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Be located on a site that is included on a list of hazardous material sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	Less than significant	None	No	No	No	Yes	Yes
e. Result in a safety hazard for people residing or working within an airport land use plan area, or where such a plan has not been adopted, within two miles of a public airport or public use airport?	Less than significant	None	No	No	No	Yes	Yes
f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	Less than significant	None	No	No	No	Yes	Yes
g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Hazards and Hazardous Materials Findings

The General Plan EIR determined that impacts for hazardous materials would be less than significant for impacts related to hazards and hazardous materials.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, exposure to hazardous conditions or materials are not likely. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with hazards and hazardous materials. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of hazards and hazardous materials is required.

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10 Hydrology and Water Quality

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
Would adoption of the 2021 Housing Element Update:							
a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?	Less than significant	None	No	No	No	Yes	Yes
b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	Less than significant	None	No	No	No	Yes	Yes
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or by increasing the rate or amount of surface runoff, in a manner that would result in substantial erosion, siltation, or flooding on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
floodings on or offsite; create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems impede or redirect floodflows?							
d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	Less than significant	None	No	No	No	Yes	Yes
e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Hydrology and Water Quality Findings

The General Plan EIR determined that impacts to hydrology and water quality would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, increases in hydrology and impacts to water quality are not likely. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not involve specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with hydrology and water quality. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to hydrology and would be required to prepare water quality management plans.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of hydrology and water quality is required.

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11 Land Use and Planning

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
Would adoption of the 2021 Housing Element Update:							
a. Physically divide an established community?	Less than significant	None	No	No	No	Yes	Yes
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Land Use Planning Findings

The General Plan EIR determined that impacts to land use would be less than significant as they pertain to conflicts with applicable land use plans. It found that General Plan implementation would not physically divide an established community and would, in fact, would beneficially increase connectivity locally and regionally.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, changes in land uses in already urbanized areas should not pose a significant change.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with land use. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to land use.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of land use is required.

12 Mineral Resources

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	Significant and Unavoidable	MIN-1 Mineral Resource Evaluation, MIN-2 Mineral Value Report	No	No	No	Yes	Yes
b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	Significant and Unavoidable	MIN-1 Mineral Resource Evaluation, MIN-2 Mineral Value Report	No	No	No	Yes	Yes

General Plan EIR Mineral Resources Findings

The General Plan EIR determined that impacts to mineral resources relating to a known and locally important mineral resource would be significant and unavoidable. Mitigation measures were identified in the General Plan EIR to reduce impacts to the greatest extent; however, impacts are still considered to be significant and unavoidable.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts on mineral resources is not likely. Additionally, areas designated mineral resources are not zoned for residential purposes.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with mineral resources. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce potential impacts to mineral resources and undergo project-specific developmental review to address potential impacts related to mineral resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of mineral resources is required.

13 Noise

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?				
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures					
Would adoption of the 2021 Housing Element Update:							
a. Generate a substantial temporary or permanent increase in ambient noise levels in the vicinity of a project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	Significant and unavoidable	N-1 Comprehensive Construction Mitigation	No	No	No	Yes	Yes
b. Generate excessive vibration of groundborne noise levels?	Less than significant with mitigation incorporated	N-2 Noise and Vibration Analysis	No	No	No	Yes	Yes
c. Result in a project that exposes people residing or working in the project area to excessive noise levels due to the project’s location within an airport land use plan area or within two miles of a public airport or public use airport?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Noise Findings

The General Plan EIR determined that implementation of the General Plan would result in temporary impacts to noise from construction that would be significant and unavoidable despite the implementation of mitigation. Operational noise impacts were found to be less than significant. Vibration and increase in noise near sensitive land uses were also found to have potentially significant impacts but would be reduced to less than significant levels with mitigation. The General Plan EIR found that the General Plan would not result in exposure of future residents or workers near an airport or airstrip.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts associated with long term operational noise is not likely.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with noise and vibration. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce potential noise and vibration impacts and undergo project-specific developmental review to address potential noise and vibration impacts.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of noise impacts is required.

14 Population and Housing

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?				
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	Less than significant	None	No	No	No	Yes	Yes
b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Population and Housing Findings

The General Plan EIR determined implementation of the General Plan would result in a less than significant impact relating to population growth and would not result in displacing people and/or housing.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could be rezoned to accommodate new or additional housing units. An increase in the population of Corona would occur but would not exceed the regional population growth anticipated by the SCAG RTP/SCS. The regional growth projections are used in the methodology for allocating the RHNA within the metropolitan planning organizations.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with population and housing.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to population and housing is required.

15 Public Services

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
Would adoption of the 2021 Housing Element Update:							
a. Result in substantial adverse physical impacts associated with the provision of new or physically altered fire protection facilities, or the need for new or physically altered fire protection facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	Less than significant	None	No	No	No	Yes	Yes
b. Result in substantial adverse physical impacts associated with the provision of new or physically altered police protection facilities, or the need for new or physically altered police protection facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
times or other performance objectives?								
c. Result in substantial adverse physical impacts associated with the provision of new or physically altered schools, or the need for new or physically altered schools, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios or other performance objectives?	Less than significant	None	No	No	No	Yes		Yes
d. Result in substantial adverse physical impacts associated with the provision of new or physically altered parks, or the need for new or physically altered parks, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios or other performance objectives?	Less than significant	None	No	No	No	Yes		Yes

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
e. Result in substantial adverse physical impacts associated with the provision of new or physically altered public facilities, or the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Public Services Findings

The General Plan EIR determined that implementation of the General Plan would not result in substantial adverse physical impacts associated with new or physically altered public services facilities, including those related to fire, police, schools, and libraries, and impacts would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, public services are not likely to be impacted. Most sites are urban infill sites where development already exists along with public services already being provided.

The Housing Element update, in and of itself, does not include specific projects that involve a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in substantial adverse physical impacts associated with new or physically altered public services facilities.

Future development aligning with the Housing Element update would be subject to the payment of the City's development impact fees (DIFs), which are used to build public infrastructure burdened by development.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to public services is required.

16 Recreation

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	Less than significant	None	No	No	No	Yes	Yes
b. Include recreational facilities or requires the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Recreation Findings

The General Plan EIR determined that impacts to existing park and recreational facilities and the necessity for new and/or expanded recreational facilities would be less than significant with implementation of the General Plan.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Although the Housing Element update, in and of itself, does not involve specific projects involving a new housing development it does put forth goals and policies that support housing efforts in Corona.

New development is subject to the payment of park improvement fees or Quimby fees, which is a pay in lieu of parkland dedication. Future development projects aligning with the Housing Element update would be subject to the same requirements.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to recreation is required.

17 Transportation/Traffic

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	Significant and unavoidable	None	No	No	No	Yes	Yes
b. Conflict or be inconsistent with CEQA Guidelines 15064.3, subdivision (b)?	Significant and unavoidable	T-1 VMT Reduction	No	No	No	Yes	Yes
c. Substantially increase hazards due to a geometric design feature or incompatible uses?	Less than significant	None	No	No	No	Yes	Yes
d. Result in inadequate emergency access?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Transportation Findings

The General Plan EIR determined that General Plan-related trip generation in combination with existing and proposed cumulative development would result in designated road and/or highways that would exceed the Congestion Management Agency service standards, and no feasible mitigation was identified. The General Plan EIR also found that General Plan-related trip generation in combination with existing and proposed cumulative development would exceed the City's vehicle miles traveled (VMT) threshold and would be inconsistent with CEQA Guidelines §15064.3, subdivision (b). The General Plan EIR identifies mitigation measures to reduce VMT; however, impacts would be significant and unavoidable. Other impacts were determined to be less than significant, including hazardous roadway design features, and emergency access.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, vehicle miles traveled already exist. Most sites are urban infill sites where development already exists.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to transportation and traffic. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce transportation and traffic impacts and undergo project-specific developmental review to address potential impacts, including an assessment of project-specific VMT. Additionally, the proposed housing sites would concentrate housing development in the City rather than in the SOI, which would reduce overall VMT.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to transportation and traffic is required.

18 Tribal Cultural Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074 that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k)?	Less than Significant with Mitigation Incorporated	TCR-1 Tribal Cultural Resources Monitoring, TCR-2 Treatment and Disposition of Cultural Resources, TCR-3 Archaeological Monitors	No	No	No	Yes	Yes	

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
b. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074 that is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1?	Less than Significant with Mitigation Incorporated	TCR-1 through TCR-3	No	No	No	Yes	Yes

General Plan EIR Tribal Cultural Resource Findings

The General Plan EIR determined that impacts to tribal cultural resources would be less than significant with mitigation incorporated.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts to tribal culture resources are likely non-existent. Most sites are urban infill sites where development already exists.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to tribal cultural resources. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce impacts to tribal cultural resources.

Additionally, all developments must comply with General Plan policies and programs that would minimize impacts on tribal cultural resources and must comply with Assembly Bill (AB) 52 and other federal and State regulations that help protect and conserve tribal cultural resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to tribal cultural resources is required.

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19 Utilities and Service Systems

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	Less than significant	None	No	No	No	Yes	Yes
b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	Less than significant	None	No	No	No	Yes	Yes
c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	Less than significant	None	No	No	No	Yes	Yes
e. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Utilities and Service Systems Findings

The General Plan EIR determined that impacts to utilities and service systems would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, utility and service systems already exist and service the properties.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to utilities and service systems. All future development accommodated under the Housing Element update would be required to adhere to the General Plan, adopted master plans and other regulatory requirements concerning water, wastewater, storm drains, solid waste, and other infrastructure; water supply; and wastewater treatment systems.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to utilities and service systems is required.

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20 Wildfire

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, substantially impair an adopted emergency response plan or emergency evacuation plan?	Less Than Significant	None	No	No	No	Yes	Yes
b. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, due to slope, prevailing winds, and other factors, exacerbate wildfire risks and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	Less than significant	None	No	No	No	Yes	Yes
c. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, require the installation or maintenance of	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?							
d. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, expose people or structures to significant risks, including downslopes or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Wildfire Findings

The General Plan EIR found that the Housing Element update would result less than significant impacts concerning wildfire risks, hazards, and conflicts with emergency response plans.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Most of these sites are urban infill sites close to services such as public transportation and commercial centers and not in areas prone to wildfires.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to wildfires. All future development aligning with the Housing Element update would be required to adhere to General Plan and other regulatory requirements concerning wildfire hazards and emergency response. Additionally, the Housing Element update would concentrate housing development in the City and not in the SOI, reducing the number of units that would be developed in areas with a high or very high fire hazard risk (refer to Figure 5.20-2 in the General Plan EIR).

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to wildfire is required.

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7 Summary of Findings

The Housing Element update is part of the City's General Plan, and like other elements within the General Plan, it includes goals and policies that the City should meet when it comes to the planning of housing. The Housing Element is also unique from the other elements within the General Plan because it is required to be periodically updated to align with the State's allocation of the RHNA. Also, the Housing Element includes Housing Programs that are required to be implemented within the planning period established for the Housing Element. These programs are not generally adopted at the same time as the Housing Element and are usually implemented over time as a separate project after the element is adopted.

The Housing Element update does not involve site-specific projects nor changes in the currently adopted General Plan land uses, therefore the adoption of the Housing Element would continue to fall within the General Plan Program EIR recently certified in April 2020. The General Plan Program EIR accompanied the City's update to the General Plan 2020-2040. Future development associated with the Housing Element's Housing Programs will be subject to applicable development standards and reviews established by City ordinances. Additionally, future developments or programs involving discretionary review are subject to the California Environmental Quality Act to determine if actions borne by the project would have a significant impact on the environment.

It has been determined through this analysis that the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR, nor does the Housing Element update present new information that shows impacts would be more significant than those described in the General Plan EIR. Therefore, the General Plan EIR applies to the Housing Element update and no additional environmental assessment is required.

The analysis pursuant to Section 15162 demonstrates whether the lead agency can approve the activity as being within the scope of the existing certified EIR, that an addendum to the existing EIR would be appropriate, and no new environmental document, such as a new EIR, would be required. The addendum need not be circulated for public review but can be included in or attached to the final EIR, and the decision-making body shall consider the addendum with the final EIR prior to deciding on the project.

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8 References

8.1 Bibliography

California Department of Housing and Community Development (HCD). 2021. Regional Housing Needs Allocation and Housing Elements. <https://www.hcd.ca.gov/community-development/housing-element/index.shtml> (accessed July 2021).

Corona, City of. 2019. General Plan Technical Update Environmental Impact Report. SCH #2018081039. Corona, CA. Dated December 2019.

Southern California Association of Governments (SCAG). 2020a. Final Sixth Cycle Regional Housing Needs Determination.

_____. 2020b. Local Housing Data. Retrieved from: http://scag.ca.gov/sites/main/files/file-attachments/corona_he_0920.pdf?1603256034 (Accessed July 2021).

8.2 List of Preparers

Rincon Consultants, Inc. prepared this EIR Addendum under contract to the City of Corona. Persons involved in data gathering analysis, project management, and quality control are listed below.

RINCON CONSULTANTS, INC.

Matthew Maddox, Principal
 Brenna Weatherby, Supervising Planner
 Emily Green, Environmental Planner
 Jenna Shaw, Environmental Planner
 Destiny Timms, Environmental Planner

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City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Minutes - Draft

Monday, October 11, 2021

Council Chambers - 6:00 p.m.



Craig Siqueland, Chair
Karen Alexander, Vice Chair
Diana Meza, Commissioner
Bridget Sherman, Commissioner
Matt Woody, Commissioner

ROLLCALL

- Present** 3 - Vice Chair Karen Alexander, Commissioner Diana Meza, and Commissioner Bridget Sherman
- Absent** 2 - Chair Craig Siqueland, and Commissioner Matt Woody

CALL TO ORDER

Vice Chair Alexander called the meeting to order.

PLEDGE OF ALLEGIANCE

Commissioner Meza led the Pledge of Allegiance.

COMMUNICATIONS FROM THE PUBLIC

None.

MEETING MINUTES

These minutes were approved.

1. [21-0908](#) Approval of minutes for the Planning and Housing Commission meeting of August 23, 2021.

Attachments: [08232021 - Planning and Housing Comm minutes - DRAFT](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that these Minutes be approved. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

CONSENT ITEMS

2. [21-0870](#) PPE2021-0002: Application requesting a 2-year extension of time for Precise Plan 2018-0005 (PP2018-0005) for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street. (Applicant: Greg Gill).

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2576](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Staff Report for PP2018-0005](#)[Exhibit 3.B - Site Plan, approved August 26, 2019](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Applicant's letter, dated July 29, 2021](#)

Vice Chair Alexander asked to pull consent item PPE2021-0002. She asked Staff if the original conditions of approval for the project would still stand once the extension gets approved. Staff confirmed that the time extension will not alter the conditions of approval that were originally approved for the project. She also asked about the timing of when the applicant filed his paperwork, and the need to toll the project deadline. Staff clarified that the City's practice is to toll the deadline as long as a complete application is submitted before the deadline occurs.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt Resolution No. 2576 granting a two-year extension of time for PP2018-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

3. [21-0901](#) PPE2021-0001: Application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street. (Applicant: Aaron Packard)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2579](#)[Exhibit 2 - Locational & Zoning Map](#)[Exhibit 3.A - Staff Report for PPM2019-0005](#)[Exhibit 3.B - Site Plan, Approved January 21, 2020](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Letter Submitted by KWC Engineers on behalf of the Applicant](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2579 granting a two-year extension of time for PPM2019-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

PUBLIC HEARINGS

4. [21-0897](#) GPA2021-0001: General Plan Housing Element Update for Planning

Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. (Applicant: City of Corona)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2578](#)

[Exhibit 2 - Housing Element Update Draft 2021-2029](#)

[Exhibit 3- Housing Programs Revised Redlined Version](#)

[Exhibit 4 - General Plan EIR Addendum](#)

Joanne Coletta, Director, reviewed her staff report and exhibits for GPA2021-0001. She indicated that there is no significant change in the Draft Housing Element from what was presented in June. Ms. Coletta discussed the RHNA obligation and proposed locations for housing, including revisions to meet HCD and State requirements, which required staff to change from two to one housing overlay, and revisions to densities. She clarified the timeline for Housing Element approval and rezoning of housing sites, and stressed the tight timeline mandated by the State. Discussion ensued with City staff and the Commissioners regarding the timeline to meet the Housing and Community Development criteria and the Affordable Housing Overlay Zone sites. Vice-Chairman Alexander expressed concern with having additional housing to meet a buffer requirement suggested by HCD, expressing that she thinks we should just meet the minimum mandate.

Speakers Juan Munoz and Julio Flores, members of the Southwest Regional Council of Carpenters, commented that the City should require locally skilled trade work force. Joe Morgan, resident, commented on mobile home parks.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environment Impact Report (SCH#2018081039) and approval of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029. Because Planning and Housing Commission Resolution No. 2578 was not adopted by an affirmative vote of at least a majority of the total membership of the Planning and Housing Commission, pursuant to the requirements of Government Code Section 65354 the written recommendation from the Planning and Housing Commission is not a recommendation for approval. The motion carried by the following vote:

Aye: 2 - Commissioner Meza, and Commissioner Sherman

Nay: 1 - Vice Chair Alexander

5. [21-0862](#) PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Haupt of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Locational and Zoning Map](#)[Exhibit 2.A - Parcel Map](#)[Exhibit 2.B - Conditions of Approval](#)[Exhibit 2.C - Site Plan](#)[Exhibit 2.D - Applicant's letter dated October 7, 2020](#)[Exhibit 3 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for PM 37221, as well as the subsequent agenda item, PP2020-0006. Discussion ensued between City staff, the Commissioners and Applicant Griffin Hauptert regarding the probability of the center having retail uses. Vice Chair Alexander and Commissioner Meza shared their support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission recommend adopting the Mitigated Negative Declaration and Mitigated Plan and approval of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

6. [21-0861](#) PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2575](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Site Plan](#)[Exhibit 3.B - Conditions of Approval](#)[Exhibit 3.C - Parcel Map](#)[Exhibit 3.D - Grading Plan](#)[Exhibit 3.E - Elevations for Building 1](#)[Exhibit 3.F - Elevations for Building 2](#)[Exhibit 3.G - Floor Plan](#)[Exhibit 3.H - Signage](#)[Exhibit 3.I - Conceptual Landscape Plan](#)[Exhibit 3.J - Applicant's letter dated October 7, 2021](#)[Exhibit 4 - Environmental Documentation](#)

A staff report and discussion of this item was provided with the preceding agenda item, PM 37221, which is related to the project and is being processed concurrently.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 approving PP2020-0006 based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

7. [21-0905](#) V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. (Applicant: Ralph Cervantes of Pettit Engineering)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2577](#)

[Exhibit 2- Locational & Zoning Map](#)

[Exhibit 3.A - Site Plan & Patio Details](#)

[Exhibit 3.B - Conditions of Approval](#)

[Exhibit 3.C - Photographs of the site and vicinity](#)

[Exhibit 3.D - Applicant's letter dated September 20, 2021](#)

[Exhibit 4 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for V2021-0001. Vice Chair Alexander shared her support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2577 granting V2021-0001, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

WRITTEN COMMUNICATIONS

None.

ADMINISTRATIVE REPORTS

None.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

ADJOURNMENT

Vice Chair Alexander adjourned the meeting at 7:16 p.m. to the Planning and Housing Commission meeting of Monday, October 25, 2021, commencing at 6:00 p.m. in the City Hall Council Chambers.



Housing Element Update 2021-2029



Joanne Coletta, Director

November 3, 2021

Housing Element Update

2021-2029 Timeline

(Since June 2021 Update)

- **July 1, 2021.** Submittal of Draft to Housing and Community Development (HCD).
- **August 26, 2021.** HCD review letter sent to City.
- **September 2021.** Prepared revisions to draft per HCD comments.
- **September 27, 2021.** Revised Draft Housing Element posted on City's website.
- **October 11, 2021.** Planning and Housing Commission Public Hearing.
- **November 3, 2021.** City Council Hearing.
- **Submittal to HCD.** HCD has 90 days to review the adopted housing element and report its findings back to the jurisdiction.



Public Information Outreach

- City Website:
www.CoronaCA.gov/GPUUpdate.
- City Facebook.
- Special Interest Contact List – 74 agencies and organizations.
- Mailed 100 letters to property owners having property identified on the housing sites inventory.
- Posted interactive mapping tool (Map Social) on Housing Element Update website.
- Email address:
CoronaHEUpdate@CoronaCA.gov.

What is Covered in the Housing Element?



Housing
Needs
Assessment
-
Existing and
Projected
Housing
Need For
All Income
Segments



Housing
Constraints
-
Market,
Governmental
Infrastructure
&
Environmental



Housing
Resources
-
Residential
Sites
Inventory
for Future
Housing
Needs



Review of Past
Accomplishments
-
Describe
Accomplishments
from Prior Housing
Element Programs



Housing
Plan
-
Housing
Programs,
Goals &
Policies for
the
Planned
Period

Housing Resources Chapter

Housing Sites Inventory

How Many Housing Units Does Corona Need to Plan For?

Corona's Regional Housing Needs Allocation

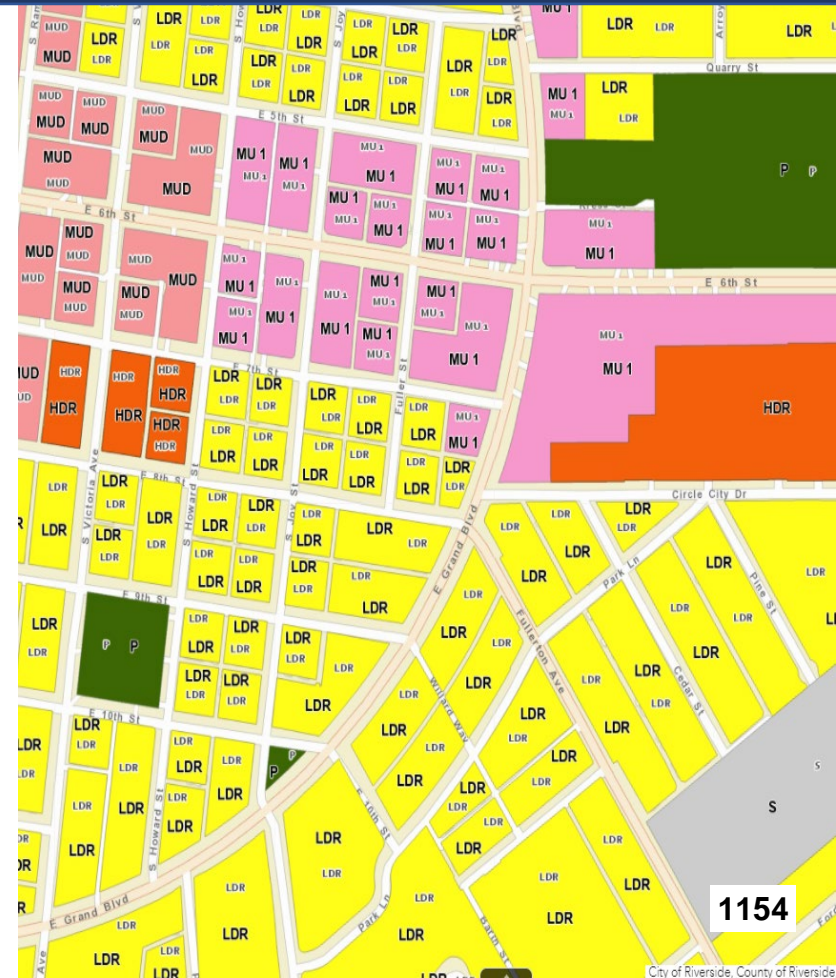
(Source: SCAG 2021)

Income Category based on Area Median Income (AMI)	Number of Housing Units to Accommodate	%
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81 and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%



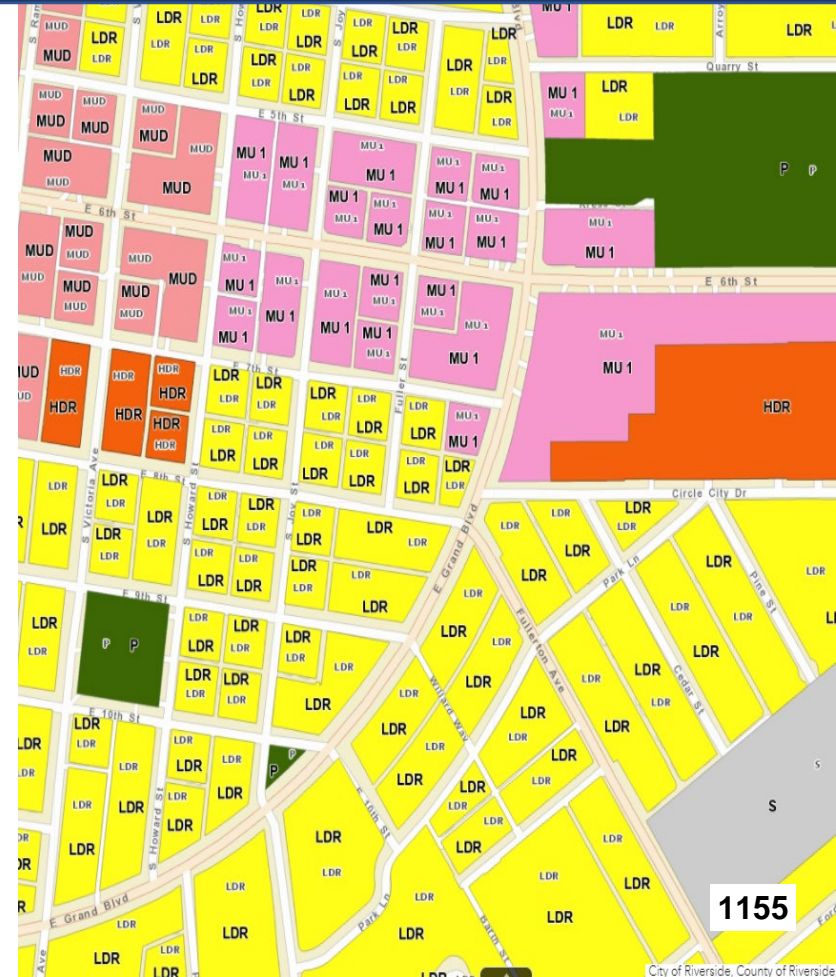
Criteria Used to Identify Housing Sites

- Counted existing residential projects approved but not yet built and residential projects proposed but not yet entitled.
- Used Existing Zoning and General Plan to identify sites for **Moderate and Above-Moderate Income** housing.
- Used HCD's **Housing Element Site Inventory Guidebook** – *Best Practices for Selecting Sites to Accommodate the **Low Income** RHNA.*
 - ✓ Allows at least 30 dwelling units to the acre
 - ✓ Proximity to public transportation
 - ✓ Available infrastructure and utilities
 - ✓ Access to:
 - high performing schools
 - jobs
 - parks, services, & grocery stores
 - health care facilities



Criteria Used to Identify Housing Sites

- Used **housing survey** results.
 - Asked where high density residential would be best located.
 - **75%** of the responses said in areas where public transportation is within walking distance.
- Selected non-vacant commercial sites that include one of the following:
 - <50% building coverage,
 - may be underutilized,
 - vacancies or high turnover.



Housing Sites Plan 2021-2029

	Lower Income Households	Moderate Income Households	Above Moderate- Income Households	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
Anticipated ADUs	46	28	6	80
Remaining RHNA to Plan	2,746	976	84	3,806
Vacant Units Already Zoned	132	56	595	783
Nonvacant Units Already Zoned	82	33	255	370
Potential Rezone	149	219	0	368
Potential Affordable Housing Overlay Zone	2,983	669	0	3,652
Total RHNA Units	3,346	1,097	2,966	7,455
Total Unit Surplus/Deficient	600	1	766	1,367

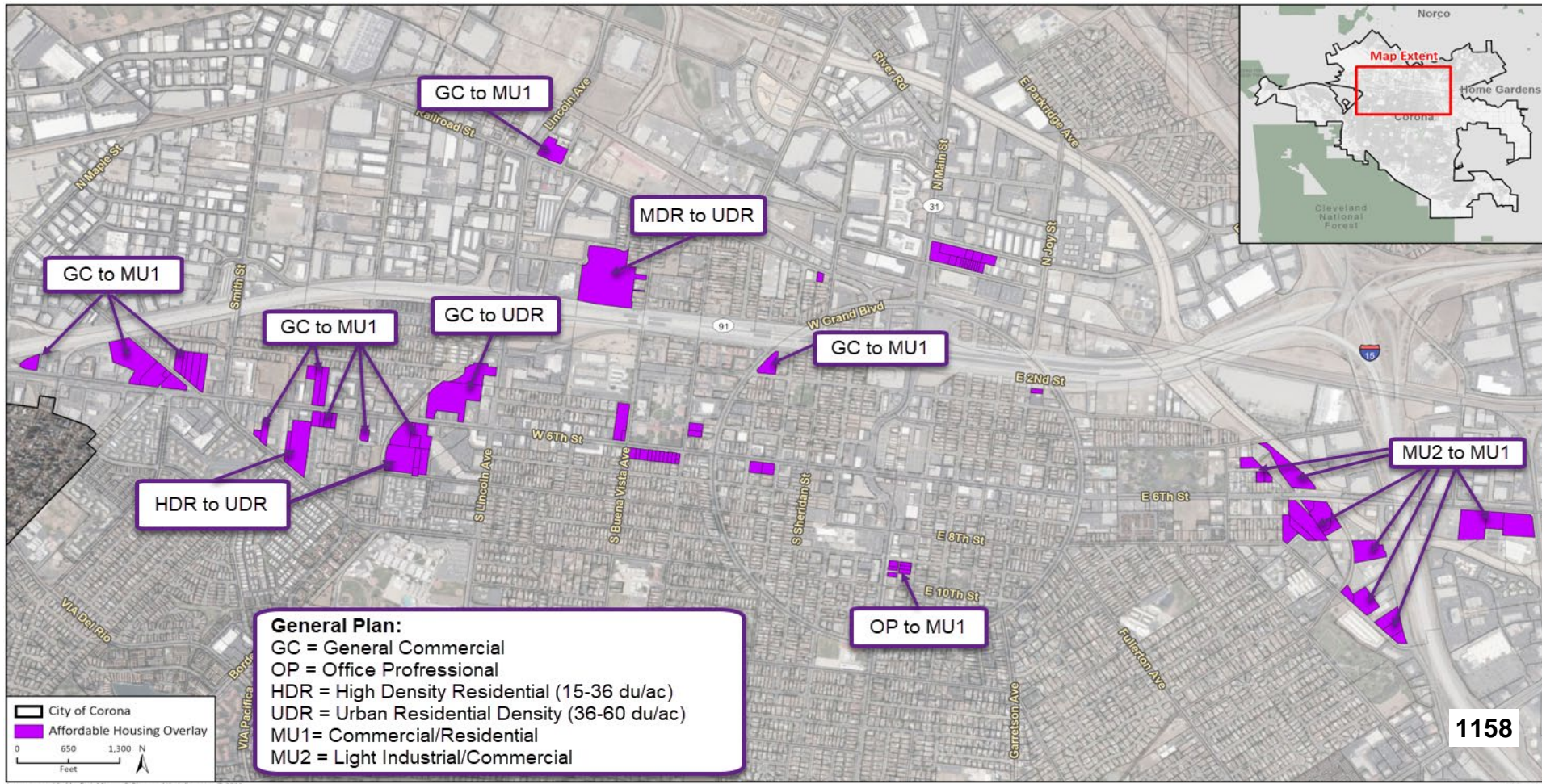
Rezone Program To Meet RHNA

- **3 years and 120 days** if the City has a State Compliant Housing Element certified by HCD within 120 days from the beginning of the Housing Element Planning Period (October 15, 2021).

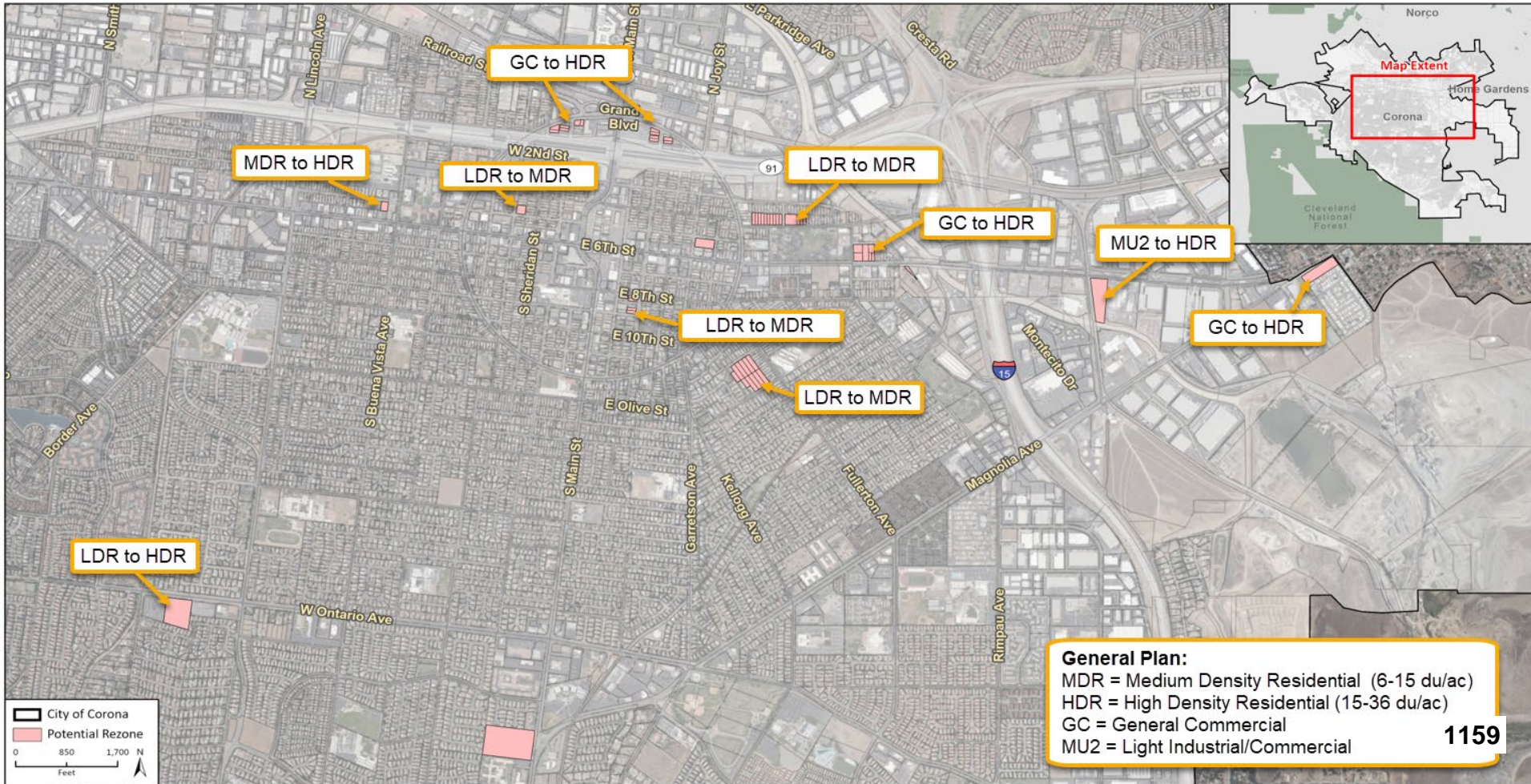
OR

- **One year** if the City is not able to obtain a State Compliant Housing Element certified from HCD within 120 days from the beginning of the Housing Element Planning Period (October 15, 2021) **(SB 1398)**.

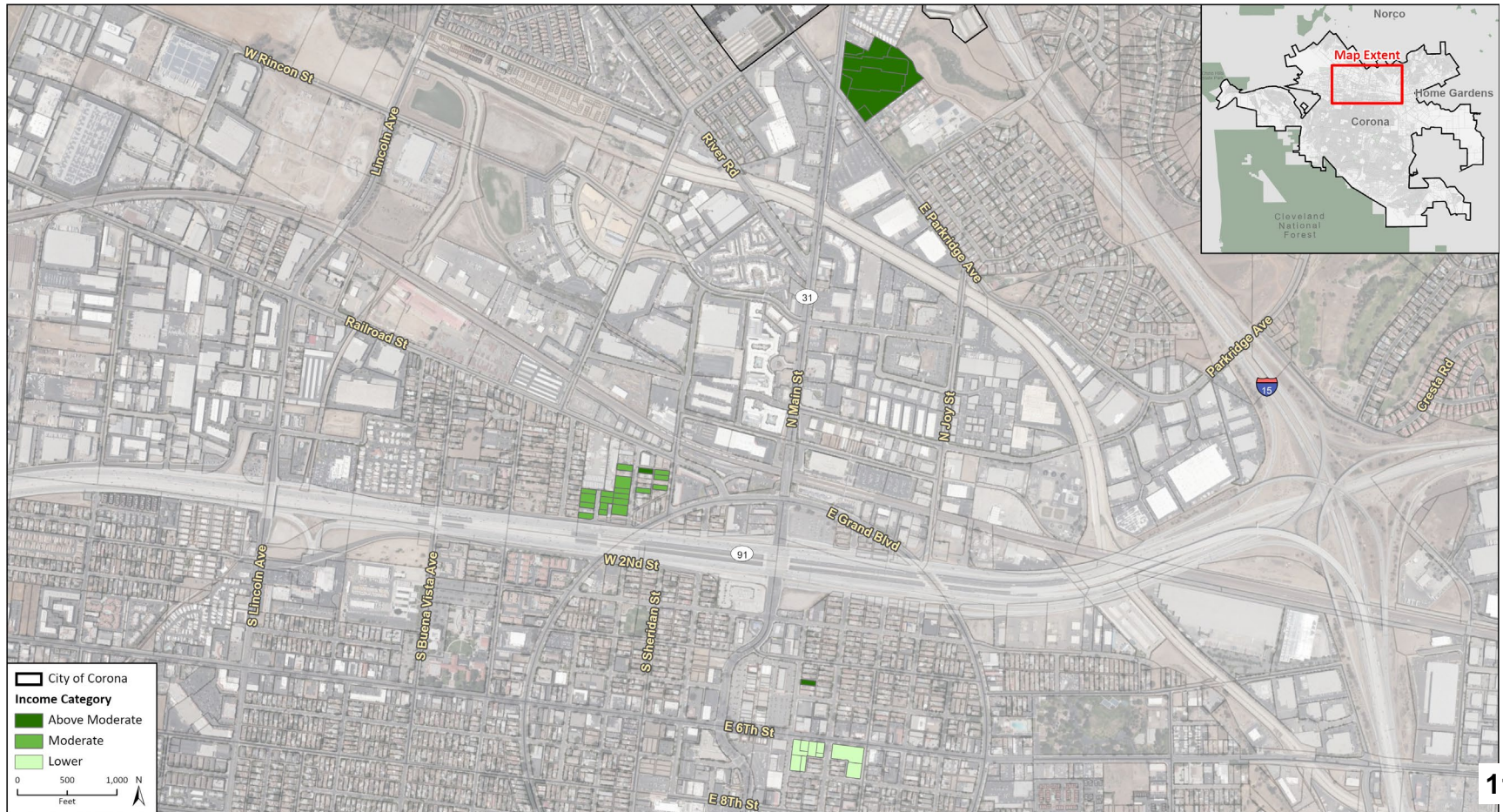
Affordable Housing Overlay Zone Sites To Meet RHNA Shortfall



Rezone Sites To Meet RHNA Shortfall



Nonvacant Already Zoned Sites To Meet RHNA Shortfall



Why is a City Adopted Housing Element and State Compliant Housing Element Required?

- State law mandates that a city's General Plan have a certified Housing Element.
- Prevents the Attorney General from seeking a court order against the city to bring its Housing Element into compliance with state law.
- Prevents the city from being exposed to lawsuits from housing advocates and persons of low income.
- Prevents the risk of the entire General Plan from being deemed inadequate, and therefore invalid.
- Prevents the city from having non-compliant General Plan consistency findings and from the potential of being sued when making land use decisions for all types of development.
- Allows the city to be eligible for several housing, community development and infrastructure funding programs from the State that require Housing Element compliance.

Recommendation:

- City Council adopt the resolution approving the Addendum to the General Plan EIR and the update to Housing Element covering Planning Period 2021-2029.

What Happens Next:

- An adopted Housing Element will be submitted to the State Housing and Community Development Department (HCD) for their review.
- HCD determines if the City's Housing Element is State Compliant.

QUESTIONS?



CoronaHEUpdate@CoronaCA.gov



www.CoronaCA.gov/GPUUpdate

Main HCD Comments and Revisions to Draft Housing Element

HCD Comment	Revisions to Draft
To support assumptions for ADUs in the planning period, the element should reconsider assumptions, reconcile trends with HCD records.	The number of ADUs assumed cut by 50%
More information on nonvacant sites needed to support redevelopment potential assumptions.	Detailed information on the existing uses of nonvacant sites was added to the sites inventory. Decreased assumptions of lower-income units on nonvacant sites.
More information needed to support realistic development assumptions for moderate and lower-income units.	Information added on recent residential projects, investments in downtown area, and market rents.
Adjustments needed to programs to remove constraints to housing development and to comply with State laws.	<p>Adjustments made to programs:</p> <ul style="list-style-type: none"> • Replacement housing requirements • More incentives/priority to affordable housing and high-density housing • Changes to zoning ordinance to allow more types of housing by-right, such as 7+ person residential care facilities and projects with 20% affordable housing • Develop a Streamlined Ministerial Approval Process pursuant to SB 35



Staff Report

File #: 21-0979

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Finance Department

SUBJECT:

Public Hearing and Election for Annexation Proceedings for Annexation No. 28 into Community Facilities District No. 2016-3 (Maintenance Services).

EXECUTIVE SUMMARY:

The property owner requests annexation into the City's Community Facilities District No. 2016-3 (Maintenance Services) to provide maintenance services for public facilities within and for the benefit of the proposed development.

RECOMMENDED ACTION:

That the City Council:

- a. Adopt Resolution No. 2021-122, calling a special election and submitting to the qualified electors of the territory proposed to be annexed to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona the question of levying special taxes within the territory proposed to be annexed (Annexation No. 28).
- b. Adopt Resolution No. 2021-123, declaring the results of the special election for Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona on the proposition of the annual levy of special taxes within the territory proposed to be annexed to said Community Facilities District to pay the costs of certain services to be provided by the Community Facilities District, determining that the territory proposed to be annexed is added to and part of said Community Facilities District with full legal effect (Annexation No. 28).

BACKGROUND & HISTORY:

On December 7, 2016, the City Council approved Resolution No. 2016-112 establishing Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona ("CFD No. 2016-3" or "District") for the purpose of levying special taxes on parcels of taxable property to provide certain

services which are necessary to meet increased demands placed upon the City.

On September 15, 2021, the City Council adopted Resolution No. 2021-110, a Resolution of Intention to annex territory to CFD No. 2016-3 and commence the annexation proceedings for the territory to be annexed, also shown as Annexation No. 28. A public hearing was set for November 3, 2021 to conduct an election for the landowners and to declare the results of that election.

As required by the Resolution of Intention, an annexation map was recorded on September 22, 2021, at 3:16 p.m. in Book 87 Page 68, Document No. 2021-0565136, and the potential annexation area boundary map was recorded on November 7, 2016, at 4:40 p.m. in Book 80 Page 23, Document No. 2016-0494013 of Maps of Assessment and Community Facilities Districts with the Riverside County Recorder.

ANALYSIS:

The Resolution of Intention was adopted by the City Council in response to the Petition filed by Rodolfo M. Franco and Maria Franco ("Owners"), property owners of APNs 120-300-001, 120-300-002, 120-300-003, and 120-300-004 within the City, who have requested that the City assist in annexing territory into CFD No. 2016-3 to cover the costs associated with the maintenance of public improvements. The improvements proposed to be maintained include items such as landscaping, street lighting, street maintenance, and drainage.

The area proposed within Annexation No. 28 will encompass a development comprised of 4.98 net acres of additional tennis courts and a clubhouse ("Property"). The Property proposed to be annexed into CFD No. 2016-3 will be included in Tax Zone 28. This tax rate includes a Maximum Special Tax A of \$1,465 per acre per year for maintenance services of public facilities. There are no services being funded by the levy of Special Tax B for contingent services. The Maximum Special Taxes are proposed to escalate each year at the greater of Consumer Price Index (CPI) or 2%.

The Petition, including the waiver and consent by the Owners, is on file in the City Clerk's office, and authorizes the City to: (1) hold the election and declare election results; (2) shorten election time requirements; (3) waive analysis and arguments; and (4) waive all noticing requirements relating to the conduct of the election immediately following the public hearing scheduled for November 3, 2021.

FINANCIAL IMPACT:

On March 1 of each year, every building for which a building permit has been issued will be subject to the special taxes in the ensuing Fiscal Year. If the anticipated costs of maintaining the facilities in any given Fiscal Year, prior to buildout of the project, exceeds the special tax revenues available from parcels for which building permits have been issued, then the special tax may also be on property with recorded final subdivision maps, as well as other undeveloped property.

The proposed total maximum assessment rate for Tax Zone 28 for Special Tax A is \$1,465 per acre per year. The assessment rate is proposed to escalate each year at the greater of Consumer Price Index (CPI) or 2%. This annexation will yield an estimate of \$7,293 annually in special assessment revenue for the District at build-out as planned.

The total annexation cost is being paid by the property owner.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the adoption of the resolutions may have a significant effect on the environment, the action is not subject to CEQA. This action merely annexes the Property to CFD No. 2016-3 and there is no possibility that adopting the above resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: LIEN-CHI CANTUBA, FINANCIAL ANALYST III

REVIEWED BY: KIM SITTON, FINANCE DIRECTOR

Attachments:

1. Exhibit 1 - CFD No. 2016-3 Annexation No. 28 Project Map
2. Exhibit 2 - CFD No. 2016-3 Annexation No. 28 Recorded Boundary Map
3. Exhibit 3 - Resolution No. 2021-122
4. Exhibit 4 - Resolution No. 2021-123

PROJECT MAP
CFD NO. 2016-3 (MAINTENANCE SERVICES)
ANNEXATION NO. 28



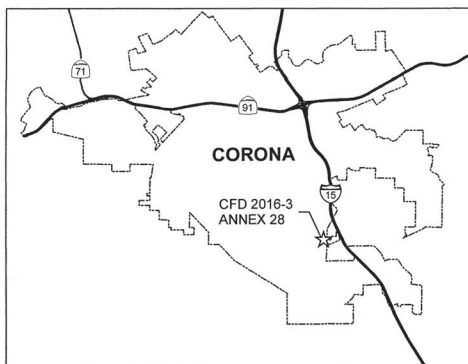
SPICER CONSULTING
GROUP



ANNEXATION MAP NO. 28**COMMUNITY FACILITIES DISTRICT NO. 2016-3
(MAINTENANCE SERVICES)****CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

THIS MAP SHOWS THE BOUNDARIES OF AREAS TO BE ANNEXED TO COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES), OF THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

THE BOUNDARIES OF WHICH COMMUNITY FACILITIES DISTRICT ARE SHOWN AND DESCRIBED ON THE MAP THEREOF WHICH WAS PREVIOUSLY RECORDED ON JANUARY 28, 2016 IN BOOK 79 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICT AT PAGE 26 AND AS INSTRUMENT NO. 2016-0034624 IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.



THIS ANNEXATION MAP CORRECTLY SHOWS THE LOT OR PARCEL OF LAND INCLUDED WITHIN THE BOUNDARIES OF THE COMMUNITY FACILITIES DISTRICT. FOR DETAILS CONCERNING THE LINES AND DIMENSIONS OF LOTS OR PARCEL REFER TO THE COUNTY ASSESSOR MAPS FOR FISCAL YEAR 2021-22.



I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING PROPOSED BOUNDARIES OF COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES), OF THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF CORONA AT A REGULAR MEETING THEREOF, HELD ON 15th DAY OF September 2021, BY ITS RESOLUTION NO. 2021-110

Sylvia Edwards
CITY CLERK
CITY OF CORONA

FILED IN THE OFFICE OF THE CITY CLERK, CITY OF CORONA, THIS 15 DAY OF September, 2021.

Sylvia Edwards
CITY CLERK
CITY OF CORONA

FILED THIS 22 DAY OF September, 2021 AT THE HOUR OF 3:16 O'CLOCK PM IN BOOK 87 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AT PAGE 68 IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

FEE: \$9⁰⁰ NO.: 2021-0565136
PETER ALDANA, ASSESSOR, COUNTY CLERK, RECORDER

BY: Maura V. Sube
DEPUTY

LEGEND

- CITY BOUNDARY
- ANNEXATION AREA BOUNDARY
- PARCEL BOUNDARY
- XXX-XXX-XXX ASSESSOR'S PARCEL NUMBER
- (28) TAX ZONE



RESOLUTION NO. 2021-122

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA CALLING SPECIAL ELECTION AND SUBMITTING TO THE QUALIFIED ELECTORS OF TERRITORY PROPOSED TO BE ANNEXED TO COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES) OF THE CITY OF CORONA THE QUESTION OF LEVYING SPECIAL TAXES WITHIN THE TERRITORY PROPOSED TO BE ANNEXED (ANNEXATION NO. 28)

WHEREAS, the City Council (the “City Council”) of City of Corona (the “City”) has heretofore conducted proceedings for the establishment of and has established Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California (the “Community Facilities District”), and the Community Facilities District has been authorized to annually levy special taxes to pay the costs of the maintenance of public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within the Community Facilities District and in the surrounding area and the costs associated with the determination of the amount of and levy and collection of special taxes which will be levied to provide the services and costs otherwise incurred in order to carry out the authorized purposes of the Community Facilities District.

WHEREAS, the City Council has been advised that the owner of approximately 4.98 net acres of land wish to have their land included within the boundaries of the Community Facilities District and have requested that such land be annexed thereto; and

WHEREAS, the City Council is authorized by Article 3.5 (commencing with Section 53339) of Chapter 2.5 of Part 1 of Division 2 of Title 5 of the California Government Code, commonly known as the “Mello-Roos Community Facilities Act of 1982,” to annex such land to the Community Facilities District; and

WHEREAS, on September 15, 2021 the City Council adopted Resolution No. 2021-110, a resolution of intention to annex the Property to the Community Facilities District pursuant to Section 53339.2 of the California Government Code, determining that the public convenience and necessity require that said Property be annexed to the Community Facilities District and containing all of the matters prescribed by Section 53339.3 of said Code, and fixing 6:30 p.m. on November 3, 2021 in the Council Chambers of the City Council, 400 South Vicentia, Corona, California, as the time and place for a hearing upon said resolution; and

WHEREAS, pursuant to said resolution, the City Clerk has published and mailed notice of the time and place of said hearing as required by Section 53339.4 of said Code; and

WHEREAS, on November 3, 2021, at the time and place of said hearing, the City Council afforded all interested persons for or against the annexation of the Property to the Community Facilities District an opportunity to present testimony and to protest against the proposed annexation of said Property to the Community Facilities District, and no protests, either oral or in writing, were received; and

WHEREAS, pursuant to Section 53339.7 of said Code, the City Council may now submit the question of levying a special tax within the area proposed to be annexed to the Community Facilities District to the qualified electors within said territory.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:

SECTION 1. Findings. The City Council finds that: (i) the foregoing recitals are correct; (ii) less than 12 persons have been registered to vote within the territory proposed to be annexed to the Community Facilities District during the 90 days preceding the close of the public hearing on November 3, 2021, and no persons are registered to vote therein; (iii) pursuant to Section 53326 of the California Government Code, as a result of the findings set forth in clause (ii) above, the vote in the special election called by this resolution shall be by the landowner of the territory proposed to be annexed to the Community Facilities District whose property would be subject to the special taxes if they were levied at the time of the election, and each landowner shall have one vote for each acre, or portion thereof, which he or she owns within said territory which would be subject to the proposed special taxes if they were levied at the time of the election; (iv) Rodolfo M. Franco and Maria Franco, the owners of all of the territory proposed to be annexed to the Community Facilities District, have by written consent (a) waived the time limits set forth in said Section 53326 for holding the election called by this resolution, (b) consented to the holding of said election on November 3, 2021, (c) waived notice and mailed notice of the time and date of said election, and (d) waived an impartial analysis by the City Attorney of the ballot proposition pursuant to Section 9280 of the California Elections Code, mailing of a statement pursuant to Section 9401 of said Code, and arguments and rebuttals pursuant to Sections 9281 to 9287, inclusive, and 9295 of said Code; and (vi) the City Clerk has consented to the holding of said election on November 3, 2021 or any other date that is acceptable to the City Clerk.

SECTION 2. Special Election. A special election is called for and shall be held on Wednesday, November 3, 2021, for the purpose of submitting to the qualified electors of the territory proposed to be annexed to the Community Facilities District the question of whether special taxes shall annually be levied within said territory to pay the costs of the maintenance of public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within the Community Facilities District and in the surrounding area, and the costs associated with the determination of the amount of and levy and collection of special taxes which will be levied to provide the services and costs otherwise incurred

in order to carry out the authorized purposes of the Community Facilities District pursuant to the Rates and Method of Apportionment of the Special Taxes, attached as Exhibit “B” to Resolution No. 2021-110.

SECTION 3. Ballot Proposition. The proposition to be submitted on November 3, 2021, to the qualified electors of the territory proposed to be annexed to the Community Facilities District shall be as follows:

Shall special taxes be levied annually on taxable property within the territory proposed to be annexed to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California (i) to pay the annual costs of maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within and in the area of the community facilities district, to pay expenses incidental thereto and (ii) to pay costs associated with the determination of the amount of and the levy and collection of the special taxes, at the special tax rates and pursuant to the method of apportioning such special taxes set forth in Exhibit "B" to Resolution No. 2021-110 adopted by the City Council of the City of Corona on September 15, 2021?

SECTION 4. Conduct of Election. Except as otherwise provided in Section 5 hereof, said election shall be conducted by the City Clerk (the “City Clerk”) pursuant to the provisions of the California Elections Code governing elections of cities, and the provisions of Division 4 (commencing with Section 4000) of said Code, insofar as they may be applicable.

SECTION 5. Election Procedures. The procedures to be followed in conducting said election shall be as follows:

(a) Pursuant to Section 53326 of the California Government Code, ballots for the election shall be distributed to the qualified electors by the City Clerk by mail with return postage prepaid.

(b) Pursuant to applicable sections of the aforementioned provisions of the California Elections Code governing the conduct of mail ballot elections, including in particular Division 4 (commencing with Section 4000) of said Code, the City Clerk shall mail to each qualified elector an official ballot in the form attached hereto as Exhibit “A,” and shall also mail to all such qualified electors a ballot pamphlet and instructions to voter, including a sample ballot identical in form to the official ballot but identified as a sample ballot, a return identification envelope with prepaid postage thereon addressed to the City Clerk for the return of voted official ballots, and copies of Resolution No. 2021-110.

(c) The official ballot to be mailed by the City Clerk to each landowner-voter shall have printed or typed thereon the name of the landowner-voter and the number of votes to be voted by the landowner-voter and shall have appended to it a certification to be signed by the person voting the official ballot which shall certify that the person signing the certification is the person who voted the official ballot, and if the landowner-voter is other than a natural person, that he or she is an officer of or other person affiliated with the landowner-voter entitled to vote such official ballot, that he or she has been authorized to vote such official ballot on behalf of the landowner-voter, that in voting such official ballot it was his or her intent, as well as the intent of the landowner-voter, to vote all votes to which the landowner-voter is entitled based on its land ownership on the proposition set forth in the official ballot as marked thereon in the voting square opposite such proposition, and further certifying as to the acreage of the landowner-voter's land ownership within the Community Facilities District.

(d) The return identification envelope delivered by the City Clerk to each landowner-voter shall have printed or typed thereon the following: the name of the landowner, the address of the landowner, a declaration under penalty of perjury stating that the voter is the landowner or the authorized representative of the landowner entitled to vote the enclosed ballot and is the person whose name appears on the identification envelope, the printed name and signature of the voter, the address of the voter, the date of signing and place of execution of said declaration, and a notice that the envelope contains an official ballot and is to be opened only by the City Clerk.

(e) The information-to-voter form to be mailed by the City Clerk to the landowner-voters shall inform them that the official ballots shall be returned to the City Clerk properly voted as provided thereon and with the certification appended thereto properly completed and signed in the sealed return identification envelope with the certification thereon completed and signed and all other information to be inserted thereon properly inserted by 5 o'clock p.m. on the date of the election.

(f) Upon receipt of the return identification envelopes which are returned prior to the voting deadline on the date of the election, the City Clerk shall canvass the votes cast in the election, and shall file a statement with the City Council at its next regular meeting as to the results of such canvass and the election on the proposition set forth in the official ballot.

PASSED, APPROVED AND ADOPTED this 3rd day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

EXHIBIT "A"

OFFICIAL BALLOT

**SPECIAL ELECTION FOR
COMMUNITY FACILITIES DISTRICT NO. 2016-3
(MAINTENANCE SERVICES)
OF THE CITY OF CORONA
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA
(ANNEXATION NO. 28)**

November 3, 2021

To vote, mark a cross (+) in the voting square after the word "YES" or after the word "NO". All marks otherwise made are forbidden. All distinguishing marks are forbidden and make the ballot void.

If you wrongly mark, tear, or deface this ballot, return it to the City Clerk of the City of Corona and obtain another.

PROPOSITION A: Shall special taxes be levied annually on taxable property within the territory proposed to be annexed to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California, (i) to pay the annual costs of maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within and in the area of the community facilities district, to pay expenses incidental thereto and (ii) to pay costs associated with the determination of the amount of and the levy and collection of the special taxes, at the special tax rates and pursuant to the method of apportioning such

special taxes set forth in Exhibit "B" to Resolution No. 2021-110 adopted by the City Council of the City of Corona on September 15, 2021?

YES	
NO	

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 3rd day of November, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November, 2021.

City Clerk of the City of Corona, California

(SEAL)

RESOLUTION NO. 2021-123

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA DECLARING THE RESULTS OF THE SPECIAL ELECTION FOR COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES) OF THE CITY OF CORONA ON THE PROPOSITION OF THE ANNUAL LEVY OF SPECIAL TAXES WITHIN THE TERRITORY PROPOSED TO BE ANNEXED TO SAID COMMUNITY FACILITIES DISTRICT TO PAY THE COSTS OF CERTAIN SERVICES TO BE PROVIDED BY THE COMMUNITY FACILITIES DISTRICT, DETERMINING THAT THE TERRITORY PROPOSED TO BE ANNEXED IS ADDED TO AND PART OF SAID COMMUNITY FACILITIES DISTRICT WITH FULL LEGAL EFFECT (ANNEXATION NO. 28)

WHEREAS, the City Council (the "City Council") of the City of Corona (the "City") has heretofore conducted proceedings for the annexation of approximately 5.04 gross acres and 4.98 net acres of land to Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California (the "Community Facilities District"), including conducting a public hearing pursuant to Section 53339.5 of the Government Code; and

WHEREAS, at the conclusion of said public hearing, the City Council adopted a resolution calling a special election for November 3, 2021 and submitting to the qualified electors of the territory to be annexed to the Community Facilities District the question of levying special taxes within that territory to pay the costs of the maintenance of public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drainage systems, and public street sweeping, within the Community Facilities District and in the surrounding area and the costs associated with the determination of the amount of and levy and collection of special taxes which will be levied to provide the services and costs otherwise incurred in order to carry out the authorized purposes of the Community Facilities District (the "Election Resolution"); and

WHEREAS, the City Council has received a statement from the City Clerk (the "City Clerk"), who, pursuant to the Election Resolution, was authorized to conduct such special election and act as the election official therefor, with respect to the canvass of the ballots returned in and the results of said special election, certifying that at least two-thirds of the votes cast upon the proposition submitted to the qualified electors in said special election were in favor of such proposition.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:

SECTION 1. Findings. The City Council finds that: (i) there were no registered voters residing within the territory proposed to be annexed to the Community Facilities District (the "Territory") at the time of the close of the public hearing on November 3, 2021, and pursuant to Section 53326 of the Government Code, the vote in said special election was, therefore, to be by the landowner owning land within the Territory, with each landowner having one vote for each acre or portion thereof of land that he or she owns within the Territory; (ii) pursuant to said Section 53326 and the Election Resolution, the City Clerk distributed the official ballot for the special election to Rodolfo M. Franco and Maria Franco, the owners of all of the land within the Territory, with return postage prepaid; (iii) said landowners waived the time limits for holding the special election and the election dates specified in said Section 53326, and consented to the calling and holding of said special election on November 3, 2021; (iv) said special election has been properly conducted in accordance with all statutory requirements and the provisions of the Election Resolution; (v) pursuant to said Section 53326, the owners of all of the land within the Territory, who own 4.98 net acres, were entitled to five votes; (vi) said landowners returned their ballots to the City Clerk prior to the time set by the City Clerk for the close of the election on November 3, 2021; (vii) the ballot returned to the City Clerk by said landowners voted all votes of said landowners in favor of the proposition set forth therein; (viii) at least two-thirds of the votes cast in such special election on said proposition were in favor thereof, and pursuant to Sections 53328 and 53329 of the Government Code, said proposition carried; (ix) pursuant to Section 53339.8 of the Government Code, the City Council is authorized to determine that the Territory to be annexed has been added to and become a part of the Community Facilities District with full legal effect; and (x) the City Council is also authorized, pursuant to said Section 53339.8, to annually levy special taxes within the Territory to pay the costs of the services to be provided by the Community Facilities District.

SECTION 2. Declaration of Results. All votes voted in the special election on the proposition of the annual levy of special taxes within the Territory to pay the costs of the services to be provided by the Community Facilities District were voted in favor thereof, and such proposition carried.

SECTION 3. Annexation. The Territory is annexed and added to and is a part of the Community Facilities District with full legal effect, and the City Council shall annually levy special taxes within the Territory, as specified in Resolution No. 2021-110 adopted by the City Council on September 15, 2021, to pay costs of certain services to be provided by the Community Facilities District. The boundaries of the Territory are shown on the map entitled, Annexation Map No. 28, Community Facilities District No. 2016-3 (Maintenance Services), City of Corona, County of Riverside, State of California, which was recorded on September 22, 2021 in the office of the County Recorder of the County of Riverside as Instrument No. 2021-0565136.

SECTION 4. Pursuant to Section 53339.8 of the Government Code and Section 3117.5 of the Streets and Highways Code, the City Clerk shall cause to be filed with the County Recorder of the County of Riverside an amendment of the notice of special tax lien and a map of the amended boundaries of the Community Facilities District including the Territory.

PASSED, APPROVED AND ADOPTED this 3rd day of November, 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 3rd day of November, 2021 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 3rd day of November, 2021.

City Clerk of the City of Corona, California

(SEAL)

City of Corona, CA

Quarterly Budget Update - Quarter 1, FY 2022

November 3, 2021

Quarter 1, Fiscal Year 2022

Overview

City management is pleased to present this quarterly update summarizing the City's overall budget activity through Quarter 1 (September 30, 2021) for Fiscal Year (FY) 2022. The City's fiscal year is July 1 through June 30. For audited information, or to find greater detail, please refer to the City's annual financial statement, which is released by December 31st following the end of the fiscal year.

Budget Adjustments and Revenue Estimates. The revenue projections and budget expenditures presented in this update include budget adjustments approved by the City Council, continuing appropriations, and prior year encumbrances.

Items to note. There are two important items to note about this update. (1) In October 2021, the City issued Pension Obligation Bonds. With that as a pending item when the fiscal year started, the City did not make the CalPERS prepayment on the unfunded liability in July 2021. That change has a significant impact when comparing FY 2022 to FY 2021. (2) In August 2021, the City implemented a reorganization of multiple departments. The funding details are still being finalized and are not captured in this update. Those changes will be incorporated at Mid-Year, with the Quarter 2 information.

General Fund

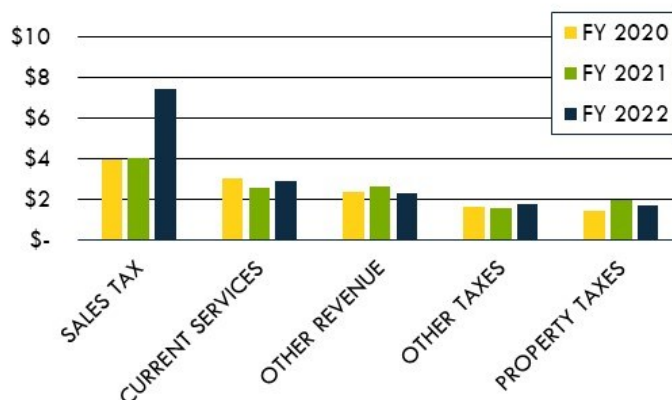
General Fund Financial Condition. The City's General Fund is the primary source of discretionary resources that funds many of the services provided to the citizens of the City of Corona.

The General Fund inflows (revenue and transfers in) for FY 2022 are currently estimated at \$177.7 million. This represents an increase of \$1.0 million over the adopted inflows amount of \$176.7 million.

The City has received or recorded 9.9% of the estimated General Fund inflows, through the end of Quarter 1 (at the time this information was prepared). Overall, inflows are up by 34.9% when compared to the same quarter of FY 2021.



General Fund Revenues
Top 5 Revenues Compared, Quarter 4
FY 2020 - FY 2021 - FY 2022



As of Quarter 1 of FY 2021, the General Fund has expended 19.7% of its cumulative budget. The current savings is primarily due to capital improvement projects which will take multiple years to complete.

Comparing Quarter 1 of FY 2022 to FY 2021, expenditures are 27.6% lower, or \$13.4 million. This is largely related to pension costs and the issuance of the pension obligation bonds.

General Fund Inflows

Top Five Revenues. The City's top five General Fund revenue categories account for approximately 92% of the total estimated General Fund inflows for

City of Corona, CA

Quarterly Budget Update - Quarter 1, FY 2022

November 3, 2021

Quarter 1, Fiscal Year 2022

General Fund Inflows - Revenues + Transfers In Quarter 1, FY 2021 to FY 2022

General Fund Revenue Category	Through Q1 FY 2021	Through Q1 FY 2022	% Change
Sales Tax	\$ 4,024,685	\$ 7,399,983	83.9%
Current Services	2,548,006	2,863,179	12.4%
Other Revenue	2,632,942	2,297,327	-12.7%
Other Taxes	1,579,389	1,721,249	9.0%
Property Tax	1,929,350	1,675,437	-13.2%
Payments in Lieu of Services	1,391,707	1,486,049	6.8%
Licenses, Fees & Permits	663,221	679,865	2.5%
Intergovernmental Revenues	989,108	189,111	-80.9%
Fines, Penalties & Forfeitures	92,230	143,885	56.0%
Special Assessments	-	-	NA
Investment Earnings	(3,046,877)	(1,070,387)	NA
Total Revenues	\$ 12,803,761	\$ 17,385,697	35.8%
Transfers In	192,004	145,252	-24.3%
Total Inflows	\$ 12,995,764	\$ 17,530,949	34.9%

FY 2022. Focusing on these sources can provide a useful understanding of the City's income position. Details of the categories will be described in the following paragraphs.

The bar graph, on page 1, illustrates the performance of the top five revenues as compared to the same quarter of the prior two fiscal years.

Sales Tax. At the end of Quarter 1, Sales Tax is the largest General Fund revenue category. This category includes the City's portion of sales tax, Measure X, Prop. 172 sales tax, and allowance for sales tax agreements. As of Quarter 1, the total received is \$7.4 million. At the time this information was prepared, the revenues are up by 83.9% as compared to the prior year. This is largely due to the payments the City has started to receive for Measure X. The City receives monthly advances with a quarterly clean-up/reconciliation. Details of the first quarter activity will be presented at the January 2022 Committee of the Whole meeting. If you are interested in additional details for Sales Tax, please watch the video of the October 13, 2021 Committee of the Whole. A quarterly presentation was provided by the City's sales tax consultant, HdL Companies.

Current Services. At the end of Quarter 1, a total of \$2.9 million has been received in the Current Services category. Items in this revenue group include plan check fees, engineering and inspection fees, recrea-

tion revenues, and the Emergency Medical Services Program. Current Services are up +12.4%, or \$315,172 as compared to Quarter 1 of FY 2021.

When comparing to the prior fiscal year, there are increases in recreation revenues, facility rentals, and passport revenues. These are all items experiencing an increase when compared to limited activity in the prior year due to the COVID-19 pandemic. There is an increase in engineering and inspection revenues and decreases in plan check related revenues.

Other Revenues. The Other Revenues category is the third largest category at the end of the Quarter 1. Activity in this revenue group includes Rental/Lease Income, Development Agreements, Telecommunication Site Rentals, and Billboard Revenues. At the end of Quarter 1, the total received is \$2.3 million. Overall, the Other Revenues category is down by -12.7%, or \$0.3 million, as compared to the same quarter in FY 2021. This is due to one-time development agreement revenue received in FY 2021.

Other Taxes. At the end of Quarter 1, a total of \$1.7 million has been received in the Other Taxes category. Items in this category include Franchise Fees, Transient Occupancy Taxes (TOT), and Business Licenses Taxes. Through the end of Quarter 1, revenues are up by +9.0%, or \$141,859, as compared to FY 2021.

When comparing to Quarter 1 of the prior year, Franchise Fees and TOT revenues are higher and Business License Taxes are lower.

Property Tax. The total in the property tax category at the end of Quarter 1 is \$1.7 million, which is an decrease of -13.2%, or \$0.3 million, as compared to last fiscal year. The decrease comes from secured/unsecured prior year property taxes. The majority of property tax revenues are recorded as revenue and booked as a receivable, once the annual report is received from the County of Riverside (generally November/December). Year-end adjustments 'true-up' the amounts to the actual cash received.

City of Corona, CA

Quarterly Budget Update - Quarter 1, FY 2022

November 3, 2021

Quarter 1, Fiscal Year 2022

Investment Earnings. This category is not one of the five largest as of Quarter 1, FY 2021. However, there is a significant difference when compared to the prior year that needs to be explained.

Interest on Investments and Other Interest Income are down by -\$0.3 million when compared to Quarter 1 of FY 2021. The biggest factor in this category's decrease is due to how the City must report the unrealized gains/losses from investments. These are book entries and not actual cash. At the end of Quarter 1, the Gain/Loss entries total (\$2.2 million) which is a positive change of \$2.2 million as compared to FY 2021.

General Fund Inflows - Revenues + Transfers In Budget to Actuals, Quarter 1, FY 2022

General Fund Revenue Category	Cumulative Budget FY 2022	Through Q1 FY 2022	% Received
Sales Tax	\$ 75,168,306	\$ 7,399,983	9.8%
Property Tax	53,697,100	1,675,437	3.1%
Other Revenue	11,534,124	2,297,327	19.9%
Other Taxes	11,097,000	1,721,249	15.5%
Current Services	10,634,004	2,863,179	26.9%
Payments in Lieu of Services	6,086,383	1,486,049	24.4%
Intergovernmental Revenues	2,798,980	189,111	6.8%
Investment Earnings	2,477,625	(1,070,387)	-43.2%
Licenses, Fees & Permits	1,928,475	679,865	35.3%
Fines, Penalties & Forfeitures	569,250	143,885	25.3%
Special Assessments	497,332	-	0.0%
Total Revenues	\$ 176,488,579	\$ 17,385,697	9.9%
Transfers In	1,200,000	145,252	12.1%
Total Inflows	\$ 177,688,579	\$ 17,530,949	9.9%

Through Quarter 1, the City has spent \$35.1 million, or 19.7% of the cumulative budget. At this point in the fiscal year, expenditures should be approximately 25% of budget. The largest expenditure category for the General Fund is Personnel Services.

Personnel Services. In the PERS unfunded liability line items, there is a decrease of \$15.5 million, or 79.6%, when compared to the prior year. This is due to two factors: (1) In FY 2021, the City made an additional contribution of \$4.0 million towards the unfunded liability and (2) In FY 2021, the City made the full annual unfunded liability contribution in July 2020. This action provided the City with cash savings of approximately 3%. The City did not exercise the prepayment option in FY 2022 as the City was preparing to issue pension obligation bonds. The bonds were issued in October 2021. For the rest of FY 2022 and the life of the bonds, the debt service payments will move from the personnel category to materials and supplies.

The Personnel Services (Other) is an increase of +\$1.7 million as compared to the same quarter last fiscal year. The changes are based on current MOU contract extensions that have been approved by the City Council. The contract extensions included base pay increases for Police and Fire and one-time payments for non-public safety personnel.

General Fund Outflows Expenditures + Transfers Out Quarter 1, FY 2021 to FY 2022

General Fund Expenditures By Category	Through Qtr 1 FY 2021	Through Q1 FY 2022	% Change
Contractual	1,576,239	1,597,330	1.3%
Materials and Supplies	5,288,342	4,693,706	-11.2%
Other Sources	-	526,625	N/A
Personnel Services (Other)	21,071,994	22,789,054	8.1%
PERS Unfunded Liability (UAL)	15,455,261	3,974,619	-74.3%
PERS Addl UAL Payment	4,000,000	-	-100.0%
Utilities	1,077,484	1,263,992	17.3%
Total Expenditures	\$ 48,469,320	\$ 34,845,327	-28.1%
Transfers Out	-	229,101	N/A
Total Outflows	\$ 48,469,320	\$ 35,074,428	-27.6%

General Fund Expenditures

The FY 2022 budget was adopted budget with \$161.7 million in General Fund expenditures. With continuing appropriations of \$11.4 million, encumbrances (committed purchase orders) of \$2.3 million, and transfers out of \$0.4 million, the beginning outflow budget was \$175.8 million. Through Council Actions and other authorized adjustments, the cumulative budget is \$178.1 million.

City of Corona, CA

Quarterly Budget Update - Quarter 1, FY 2022

November 3, 2021

Quarter 1, Fiscal Year 2022

Materials and Supplies. The Materials and Supplies category is down by \$0.6 million when compared to Quarter 1 of FY 2021. There are multiple increases and decreases in this category. The primary drivers are one-time expenditures in the prior year for licensed vehicle and land acquisition.

is still in progress and contracted operating costs will begin once the shelter is operational.

- **Public Works.** The Public Works Department currently has savings due to personnel vacancies and contractual services.

General Fund Outflows Expenditures + Transfers Out Budget to Actuals, Quarter 1, FY 2022

General Fund Expenditures By Department	Cumulative Budget FY 2022	Through Q1 FY 2022	% Spent
Capital Improvement Projects	\$ 22,264,272	\$ 218,605	1.0%
Community Development	5,781,713	974,077	16.8%
Community Services	12,523,121	2,360,452	18.8%
Debt Service	4,244,773	1,068,811	25.2%
Elected Officials	157,807	35,711	22.6%
Finance	4,638,051	910,624	19.6%
Fire	31,119,956	7,829,578	25.2%
General Government	23,846,777	5,528,037	23.2%
Human Resources	2,524,882	483,592	19.2%
Legal & Risk Management	1,761,317	456,743	25.9%
Maintenance Services	5,765,458	861,814	14.9%
Management Services	7,019,138	890,935	12.7%
Police	51,928,386	12,652,801	24.4%
Public Works	4,119,012	573,547	13.9%
Total Expenditures	\$ 177,694,664	\$ 34,845,327	19.6%
Transfers Out	441,557	229,101	51.9%
Total Outflows	\$ 178,136,221	\$ 35,074,428	19.7%

General Fund Reserves

The General Fund has multiple reserves in fund balance for various purposes. For the full list, please reference the City's financial statements, Note 15 (for Fiscal Year Ending June 30, 2020, pages 104-106). This quarterly update will highlight three of those reserves. Noted below are the unaudited FY 2021 amounts, which total \$80.1 million. This represents an increase of \$3.2 million over the FY 2020 noted reserves. The final amounts will be updated once the FY 2021 financial statements are issued.

Emergency Contingency	Budget Balancing	Pension Obligation	Total of Noted Reserves
\$ 36,522,368	\$ 43,614,486	\$ -	\$ 80,136,855

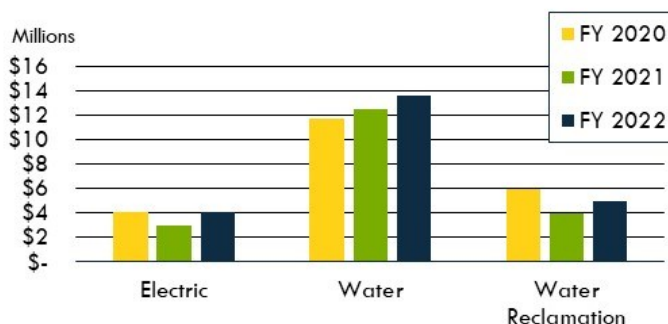
General Fund Expenditures by Department. Through September 30, 2021, approximately 25% of the fiscal year is complete. Departments with a variance of greater than 10% are explained in the following section.

- **Capital Improvement Projects.** This budget does not follow the normal trends as these are multi-year projects. Any unspent encumbrances (purchase orders) or remaining balance carries forward to the next fiscal year to continue the project activities.
- **Maintenance Services.** The Maintenance Services Department currently has a savings due to contractual service items and materials and supplies.
- **Management Services.** The Management Services Department currently has savings related to the contractual services budget. The contractual services are primarily related to the Homeless Program. The improvement project for the shelter

Enterprise Funds-Utilities

The City operates three utility services through the Department of Water and Power (DWP): electric, water, and water reclamation (sewer). Through the collection of fees and charges, these funds should collect revenues sufficient to finance the costs associated with administration, operations, capital improvement projects (CIP), and debt service.

Enterprise Funds-Utilities Revenues Revenues Compared, Quarter 1 FY 2020 - FY 2021 - FY 2022



City of Corona, CA

Quarterly Budget Update - Quarter 1, FY 2022

November 3, 2021

Quarter 1, Fiscal Year 2022

Enterprise Funds-Utilities Revenues

Through Quarter 1 FY 2022, revenues received have an increase of 16.2%, or \$3.2 million, as compared to the same quarter in Fiscal Year 2021.

Electric. Comparing Quarter 1 FY 2022 revenues to FY 2021, there is an increase of \$1.1 million, or 36.3%. There is currently an increase in Utility Service Charges, Investment Earnings, and Other Revenues. The change in the Investment Earnings category is due to how the City must report the unrealized gains/losses from investments. These are book entries and not actual cash. The book entries for the Electric Utility are \$0.4 million of the \$1.1 million difference.

Water. Through the first quarter of FY 2022, there is an increase of 8.6%, or \$1.1 million, as compared to FY 2021. The Utility Service Charges are increasing by \$0.7 million due to water sales. Investment Earnings has an increase of \$0.7 million, almost entirely due to the unrealized gains/losses from investments which are book entries. There is a decrease of \$0.3 million in the Licenses, Fees and Permits category related to one-time capacity fees received in FY 2021.

Water Reclamation. Through Quarter 1, there is an increase of 25.1%, or \$1.0 million, when compared to FY 2021. There is an increase of \$1.2 million in the Investment Earnings. There is a decrease of \$0.4 million for licenses, fees, and permits.

Enterprise Funds-Utilities Inflows - Revenues + Transfers In Quarter 1, FY 2021 to FY 2022

Enterprise Funds Fund Type	Through Q1 FY 2021	Through Q1 FY 2022	% Change
Electric	\$ 2,988,197	\$ 4,073,303	36.3%
Water	12,506,699	13,586,361	8.6%
Water Reclamation	3,961,742	4,957,017	25.1%
Total Revenues	\$ 19,456,637	\$ 22,616,680	16.2%
Transfers In - Electric	-	-	N/A
Transfers In - Water	-	-	N/A
Transfers In - Wtr Rclm	-	-	N/A
Total Inflows	\$ 19,456,637	\$ 22,616,680	16.2%

Enterprise Funds-Utilities Outflows

When comparing the total of utility outflows, Quarter 1 of FY 2022 to FY 2021, outflows are lower by 3.3%, or \$0.7 million.

Electric. Overall, the Electric utility expenditures through Quarter 1 are down by -6.2% when compared to last fiscal year. The primary decrease is related to the CalPERS unfunded liability. With the pending issuance of the Pension Obligation Bonds, the City did not make the annual prepayment in July 2021.

Enterprise Funds-Utilities Inflows - Revenues + Transfers In Budget to Actuals, Quarter 1, FY 2022

Enterprise Funds Fund Type	Cumulative Budget FY 2022	Through Q1 FY 2022	% Received
Electric	\$ 16,286,836	\$ 4,073,303	25.0%
Water	71,891,291	13,586,361	18.9%
Water Reclamation	35,447,416	4,957,017	14.0%
Total Revenues	\$ 123,625,543	\$ 22,616,680	18.3%
Transfers In - Electric	-	-	N/A
Transfers In - Water	6,483,224	-	N/A
Transfers In - Wtr Rclm	-	-	N/A
Total Inflows	\$ 130,108,767	\$ 22,616,680	17.4%

City of Corona, CA

Quarterly Budget Update - Quarter 1, FY 2022

November 3, 2021

Quarter 1, Fiscal Year 2022

Enterprise Funds-Utilities Outflows - Expenditures + Transfers Out Quarter 1, FY 2021 to FY 2022

Enterprise Funds Expenditures By Category	Through Qtr 1 FY 2021	Through Q1 FY 2022	% Change
Electric			
Contractual	\$ 39,530	\$ 79,665	101.5%
Materials and Supplies	474,949	503,714	6.1%
Personnel Services (Other)	303,369	378,482	24.8%
PERS Unfunded Liability (UAL)	388,648	89,771	-76.9%
Utilities	1,791,156	1,759,762	-1.8%
Electric Total	2,997,652	2,811,395	-6.2%
Water			
Contractual	\$ 1,453,564	\$ 2,087,881	43.6%
Materials and Supplies	5,705,231	7,214,144	26.4%
Personnel Services (Other)	1,705,133	1,777,535	4.2%
PERS Unfunded Liability (UAL)	1,930,211	401,089	-79.2%
Utilities	1,671,952	478,753	-71.4%
Water Total	12,466,091	11,959,402	-4.1%
Water Reclamation			
Contractual	\$ 466,747	\$ 1,240,804	165.8%
Materials and Supplies	2,716,326	2,735,458	0.7%
Personnel Services (Other)	1,062,237	1,133,415	6.7%
PERS Unfunded Liability (UAL)	1,110,525	225,167	-79.7%
Utilities	596,049	611,700	2.6%
Water Total	5,951,884	5,946,544	-0.1%
Transfers Out	-	-	N/A
Grand Total	\$ 21,415,627	\$ 20,717,341	-3.3%

Enterprise Funds-Utilities Outflows Expenditures + Transfers Out Budget to Actuals, Quarter 1, FY 2022

Enterprise Funds Expenditures By Department	Cumulative Budget FY 2022	Through Q1 FY 2022	% Spent
Electric			
Capital Improvement Projects	\$ 1,548,306	\$ 55,098	3.6%
Dept. of Water & Power	15,199,028	2,715,719	17.9%
Finance	2,002	518	25.9%
Public Works	184,060	40,060	21.8%
Electric Total	16,933,396	2,811,395	16.6%
Water			
Capital Improvement Projects	\$ 55,400,804	\$ 2,539,937	4.6%
Dept. of Water & Power	55,037,201	9,239,443	16.8%
Finance	-	1,553	N/A
Public Works	886,932	178,470	20.1%
Water Total	111,324,938	11,959,402	10.7%
Water Reclamation			
Capital Improvement Projects	\$ 28,405,220	\$ 1,227,792	4.3%
Dept. of Water & Power	27,788,062	4,592,338	16.5%
Finance	12,013	3,107	25.9%
Management Services	2,926	642	22.0%
Public Works	615,695	122,666	19.9%
Water Reclamation Total	56,823,916	5,946,544	10.5%
Transfers Out	4,701,340	-	N/A
Grand Total	\$ 189,783,590	\$ 20,717,341	10.9%

Enterprise Fund Reserves

This project is pending for Fiscal Year 2022 and is not ready for Quarter 1. Staff will work to complete this project, with an estimated completion by the end of Quarter 2.

Water. Overall, the Water utility expenditures are down by -4.1% or \$0.5 million, when compared to FY 2021. The primary driver is the unfunded pension liability as mentioned above. There is an increase in materials and supplies, largely offset with a reduction in utility costs.

Water Reclamation. The Water Reclamation utility expenditures are down by -0.1%, or \$5,340, when compared to Quarter 1 of FY 2021. There is a decrease of \$0.9 million for the unfunded pension liability mentioned in the previous sections. There is also an increase of \$0.8 million for expenditures related to capital improvement projects.

What do you think? We value your opinion.

Is there anything additional you'd like to see in future reports? This will be an evolving process to capture the areas that are of most interest to the City Council and the community. Please let us know. We appreciate the feedback! Please share your ideas at Budg-etPrep@CoronaCA.gov, Kim.Sitton@CoronaCA.gov, or contact Budget staff at (951) 279-3500.

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
09/30/2021

		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
110	GENERAL FUND						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41110	CONTRACTUAL OBLIGATION	0.00	110.25	110.25	0.00	(110.25)	0.00
41300	OVERTIME	0.00	2,008.05	2,235.86	0.00	(2,235.86)	0.00
41920	MEDICARE	0.00	62.30	69.02	0.00	(69.02)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	1.08	1.19	0.00	(1.19)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	2,181.68	2,416.32	0.00	(2,416.32)	0.00
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	20,743,077.65	0.00	0.00	0.00	20,743,077.65	0.00
42020	MINOR EQUIPMENT & FURNITURE	0.00	522.00	522.00	6,751.88	(7,273.88)	0.00
42033	CONSTRUCTION MATERIALS	0.00	409.45	409.45	0.00	(409.45)	0.00
42055	COMPUTER EQUIPMENT &	188,187.45	79.95	79.95	188,187.45	(79.95)	100.04
42200	ADVERTISING EXPENSE	0.00	292.98	416.34	0.00	(416.34)	0.00
42300	WIRELESS COMMUNICATION	0.00	0.00	94.25	0.00	(94.25)	0.00
42305	PBLC SFTY RADIO COMMUNICATION	26,160.00	20,900.00	21,483.43	333,753.65	(329,077.08)	1,357.93
42350	PROGRAM EXPENDITURES	0.00	0.00	145.00	0.00	(145.00)	0.00
42700	OTHER EQUIPMENT RENTAL	335.19	0.00	0.00	335.19	0.00	100.00
42800	EQUIPMENT MAINTENANCE	1,885.81	0.00	0.00	1,885.81	0.00	100.00
42813	MTCE & REPAIR - EQUIP & FAC	0.00	0.00	0.00	61,067.59	(61,067.59)	0.00
42900	PROF. & CONT. SVCS	598,017.41	7,910.00	126,748.69	620,852.09	(149,583.37)	125.01
43300	CONSTRUCTION CONTRACTS	191,767.42	30,560.57	30,560.57	450,817.51	(289,610.66)	251.02
43301	CAPITAL IMPROVEMENTS	2,350.00	0.00	2,350.00	438,289.38	(438,289.38)	18,750.61
43500	BOOKS	0.00	700.77	753.51	599.23	(1,352.74)	0.00
43501	CHILDREN'S BOOKS	0.00	0.00	0.00	1,300.00	(1,300.00)	0.00
43727	INSPECTION	2,424.43	0.00	0.00	32,306.43	(29,882.00)	1,332.53
TOTAL FOR SERVICES-SUPPLIES		21,754,205.36	61,375.72	183,563.19	2,136,146.21	19,434,495.96	10.66
	CAPITAL OUTLAY						
45100	LICENSED VEHICLES	0.00	32,625.00	32,625.00	1,591,470.61	(1,624,095.61)	0.00
45200	MACHINERY, EQUIPMENT, & FIXTUR	116,096.42	0.00	0.00	116,096.42	0.00	100.00
TOTAL FOR CAPITAL OUTLAY		116,096.42	32,625.00	32,625.00	1,707,567.03	(1,624,095.61)	1,498.91
TOTAL FOR NOT APPLICABLE		21,870,301.78	96,182.40	218,604.51	3,843,713.24	17,807,984.03	18.57
10	CITY COUNCIL						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	48,000.00	4,000.00	12,000.00	0.00	36,000.00	25.00
41510	PST DEFERRED COMPENSATION	124.80	10.40	31.20	0.00	93.60	25.00
41910	PERS-NORMAL	4,373.76	364.48	1,093.44	0.00	3,280.32	25.00
41912	PERS-UNFUNDED	14,771.00	1,273.23	3,819.69	0.00	10,951.31	25.85
41920	MEDICARE	2,104.18	166.93	500.80	0.00	1,603.38	23.80
41931	WORKERS COMP	960.00	80.00	240.00	0.00	720.00	25.00

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41940	HEALTH INSURANCE	34,811.04	2,846.51	8,539.53	0.00	26,271.51	24.53
41946	LIFE INSURANCE	330.00	27.60	82.80	0.00	247.20	25.09
TOTAL FOR SALARIES-BENEFITS		105,474.78	8,769.15	26,307.46	0.00	79,167.32	24.94
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	2,000.00	512.99	512.99	0.00	1,487.01	25.64
42220	PROMOTIONAL/PUBLIC OUTREACH	3,500.00	0.00	0.00	0.00	3,500.00	0.00
42300	WIRELESS COMMUNICATION	3,500.00	350.75	848.21	0.00	2,651.79	24.23
42320	POSTAGE & SHIPPING	100.00	15.95	21.77	0.00	78.23	21.77
42340	OFFICE SUPPLIES	850.00	0.00	28.26	0.00	821.74	3.32
42345	FIRST AID KIT SUPPLIES	50.00	0.00	0.00	0.00	50.00	0.00
42350	PROGRAM EXPENDITURES	7,000.00	387.90	3,446.56	0.00	3,553.44	49.23
42710	MILEAGE/VEHICLE EXP REIMB	500.00	0.00	0.00	0.00	500.00	0.00
42800	EQUIPMENT MAINTENANCE	500.00	0.00	0.00	0.00	500.00	0.00
42900	PROF. & CONT. SVCS	5,000.00	0.00	0.00	0.00	5,000.00	0.00
43100	MEMBERSHIP & DUES	1,650.00	0.00	0.00	0.00	1,650.00	0.00
43200	CONFERENCE, TRAINING & TRAVEL	12,000.00	25.00	737.96	0.00	11,262.04	6.14
TOTAL FOR SERVICES-SUPPLIES		36,650.00	1,292.59	5,595.75	0.00	31,054.25	15.26
TOTAL FOR CITY COUNCIL		142,124.78	10,061.74	31,903.21	0.00	110,221.57	22.44

11 CITY MANAGER'S OFFICE
SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	2,174,274.37	131,192.42	397,990.15	0.00	1,776,284.22	18.30
41141	SP COMP-BILINGUAL	19,350.00	1,488.50	4,571.82	0.00	14,778.18	23.62
41200	TEMPORARY EMPLOYEES	99,674.78	3,779.14	13,619.32	0.00	86,055.46	13.66
41300	OVERTIME	7,500.00	0.00	3,586.78	0.00	3,913.22	47.82
41410	AUTO ALLOWANCE	23,040.00	1,329.24	4,082.67	0.00	18,957.33	17.71
41500	DEFERRED COMPENSATION MATCH	13,300.00	1,800.00	1,800.00	0.00	11,500.00	13.53
41510	PST DEFERRED COMPENSATION	551.30	26.97	118.34	0.00	432.96	21.46
41520	TIERED EMP DEF COMPENSATION	4,200.00	1,200.00	1,200.00	0.00	3,000.00	28.57
41530	TIERED RHS BENEFIT	4,200.00	1,200.00	1,200.00	0.00	3,000.00	28.57
41600	LONGEVITY	9,200.00	9,200.00	9,200.00	0.00	0.00	100.00
41630	ONE TIME MOU PAYMENTS	0.00	0.00	33,466.20	0.00	(33,466.20)	0.00
41660	TUITION REIMBURSEMENT	5,000.00	800.90	800.90	0.00	4,199.10	16.01
41700	ANNUAL LEAVE BUYBACK	13,029.00	0.00	13,028.32	0.00	0.68	99.99
41710	ANNUAL LEAVE OVER MAX	9,045.00	0.00	0.00	0.00	9,045.00	0.00
41910	PERS-NORMAL	253,260.91	14,169.46	43,067.38	0.00	210,193.53	17.00
41912	PERS-UNFUNDED	409,092.00	35,263.91	105,791.73	0.00	303,300.27	25.86
41920	MEDICARE	69,267.06	4,350.96	13,894.98	0.00	55,372.08	20.06
41929	SHORT TERM DISABILITY	6,957.67	419.83	1,273.62	0.00	5,684.05	18.30
41930	LONG TERM DISABILITY	14,785.07	892.09	2,706.25	0.00	12,078.82	18.30

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41931	WORKERS COMP	45,865.98	2,627.92	8,018.47	0.00	37,847.51	17.48
41932	STATE UNEMPLOYMENT INSURANCE	1,188.03	73.30	239.35	0.00	948.68	20.14
41940	HEALTH INSURANCE	272,491.77	16,699.47	50,096.82	0.00	222,394.95	18.38
41945	OPT OUT HEALTH INSURANCE	30,000.00	2,500.00	7,500.00	0.00	22,500.00	25.00
41946	LIFE INSURANCE	18,046.48	1,088.88	3,303.27	0.00	14,743.21	18.30
41996	VACANCY FACTOR	(117,552.00)	0.00	0.00	0.00	(117,552.00)	0.00
TOTAL FOR SALARIES-BENEFITS		3,385,767.42	230,102.99	720,556.37	0.00	2,665,211.05	21.28
SERVICES-SUPPLIES							
42010	SUBSCRIPTIONS	76,073.78	0.00	1,878.63	0.00	74,195.15	2.46
42012	AUDIO VISUAL	500.00	0.00	0.00	0.00	500.00	0.00
42020	MINOR EQUIPMENT & FURNITURE	5,000.00	0.00	0.00	0.00	5,000.00	0.00
42055	COMPUTER EQUIPMENT &	32,500.00	0.00	1,976.29	0.00	30,523.71	6.08
42200	ADVERTISING EXPENSE	6,300.00	457.46	457.46	0.00	5,842.54	7.26
42220	PROMOTIONAL/PUBLIC OUTREACH	46,499.00	3,589.26	4,560.46	138.94	41,799.60	10.10
42300	WIRELESS COMMUNICATION	15,120.00	391.48	906.66	0.00	14,213.34	5.99
42320	POSTAGE & SHIPPING	2,900.00	85.11	447.62	0.00	2,452.38	15.43
42340	OFFICE SUPPLIES	10,816.00	496.07	572.40	0.00	10,243.60	5.29
42345	FIRST AID KIT SUPPLIES	450.00	0.00	25.41	0.00	424.59	5.64
42350	PROGRAM EXPENDITURES	24,110.00	2,947.44	8,138.99	11,545.00	4,426.01	81.64
42360	CLEANING/JANITORIAL SUPPLIES	100.00	0.00	0.00	0.00	100.00	0.00
42710	MILEAGE/VEHICLE EXP REIMB	1,850.00	0.00	0.00	0.00	1,850.00	0.00
42800	EQUIPMENT MAINTENANCE	5,400.00	50.80	101.60	0.00	5,298.40	1.88
42813	MTCE & REPAIR - EQUIP & FAC	0.00	474.00	2,458.00	22,542.00	(25,000.00)	0.00
42900	PROF. & CONT. SVCS	3,245,317.79	72,612.34	126,286.07	1,834,060.67	1,284,971.05	60.40
43100	MEMBERSHIP & DUES	106,944.00	0.00	22,569.43	0.00	84,374.57	21.10
43200	CONFERENCE, TRAINING & TRAVEL	53,490.00	0.00	0.00	0.00	53,490.00	0.00
TOTAL FOR SERVICES-SUPPLIES		3,633,370.57	81,103.96	170,379.02	1,868,286.61	1,594,704.94	56.10
TOTAL FOR CITY MANAGER'S OFFICE		7,019,137.99	311,206.95	890,935.39	1,868,286.61	4,259,915.99	39.30

12 TREASURER

SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	2,400.00	200.00	600.00	0.00	1,800.00	25.00
41500	DEFERRED COMPENSATION MATCH	1,900.00	359.60	359.60	0.00	1,540.40	18.92
41520	TIERED EMP DEF COMPENSATION	600.00	150.00	150.00	0.00	450.00	25.00
41910	PERS-NORMAL	273.36	22.78	68.34	0.00	205.02	25.00
41912	PERS-UNFUNDED	739.00	63.66	190.98	0.00	548.02	25.84
41920	MEDICARE	416.01	43.53	100.61	0.00	315.40	24.18
41931	WORKERS COMP	48.00	4.00	12.00	0.00	36.00	25.00
41940	HEALTH INSURANCE	9,240.00	770.00	2,310.00	0.00	6,930.00	25.00
41946	LIFE INSURANCE	66.00	5.50	16.50	0.00	49.50	25.00

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TOTAL FOR SALARIES-BENEFITS		15,682.37	1,619.07	3,808.03	0.00	11,874.34	24.28
TOTAL FOR TREASURER		15,682.37	1,619.07	3,808.03	0.00	11,874.34	24.28
13 DEBT SERVICE							
SERVICES-SUPPLIES							
42500	RENTS & LEASES	4,243,273.00	0.00	1,067,561.14	0.00	3,175,711.86	25.15
42900	PROF. & CONT. SVCS	1,500.00	0.00	1,250.00	0.00	250.00	83.33
TOTAL FOR SERVICES-SUPPLIES		4,244,773.00	0.00	1,068,811.14	0.00	3,175,961.86	25.17
TOTAL FOR DEBT SERVICE		4,244,773.00	0.00	1,068,811.14	0.00	3,175,961.86	25.17
15 ADMIN SERVICES-HUMAN							
SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	1,101,448.67	53,251.82	172,959.49	0.00	928,489.18	15.70
41110	CONTRACTUAL OBLIGATION	0.00	0.00	33.32	0.00	(33.32)	0.00
41140	FINAL LEAVE	0.00	0.00	15,320.82	0.00	(15,320.82)	0.00
41200	TEMPORARY EMPLOYEES	0.00	0.00	145.73	0.00	(145.73)	0.00
41300	OVERTIME	5,200.00	0.00	583.13	0.00	4,616.87	11.21
41500	DEFERRED COMPENSATION MATCH	9,500.00	1,061.52	1,061.52	0.00	8,438.48	11.17
41510	PST DEFERRED COMPENSATION	0.00	0.00	1.89	0.00	(1.89)	0.00
41520	TIERED EMP DEF COMPENSATION	3,000.00	600.00	600.00	0.00	2,400.00	20.00
41530	TIERED RHS BENEFIT	3,000.00	600.00	600.00	0.00	2,400.00	20.00
41600	LONGEVITY	6,000.00	6,200.00	6,200.00	0.00	(200.00)	103.33
41630	ONE TIME MOU PAYMENTS	0.00	0.00	15,370.71	0.00	(15,370.71)	0.00
41700	ANNUAL LEAVE BUYBACK	13,281.00	0.00	13,564.88	0.00	(283.88)	102.13
41710	ANNUAL LEAVE OVER MAX	11,897.00	0.00	0.00	0.00	11,897.00	0.00
41910	PERS-NORMAL	126,138.41	6,771.55	20,406.22	0.00	105,732.19	16.17
41912	PERS-UNFUNDED	236,578.00	20,393.15	61,179.45	0.00	175,398.55	25.86
41920	MEDICARE	34,596.60	1,822.88	6,720.79	0.00	27,875.81	19.42
41929	SHORT TERM DISABILITY	3,524.64	170.42	553.54	0.00	2,971.10	15.70
41930	LONG TERM DISABILITY	7,489.85	362.13	1,176.18	0.00	6,313.67	15.70
41931	WORKERS COMP	22,028.97	1,030.55	3,359.38	0.00	18,669.59	15.24
41932	STATE UNEMPLOYMENT INSURANCE	573.46	30.31	114.18	0.00	459.28	19.91
41940	HEALTH INSURANCE	194,222.83	8,360.46	23,437.61	0.00	170,785.22	12.06
41945	OPT OUT HEALTH INSURANCE	21,000.00	2,000.00	6,000.00	0.00	15,000.00	28.57
41946	LIFE INSURANCE	9,142.03	441.99	1,435.56	0.00	7,706.47	15.70
41996	VACANCY FACTOR	(82,141.00)	0.00	0.00	0.00	(82,141.00)	0.00
TOTAL FOR SALARIES-BENEFITS		1,726,480.46	103,096.78	350,824.40	0.00	1,375,656.06	20.32
SERVICES-SUPPLIES							
42010	SUBSCRIPTIONS	3,500.00	0.00	0.00	0.00	3,500.00	0.00
42034	SAFETY MATERIALS/CONSTRUCTION	3,920.00	0.00	0.00	0.00	3,920.00	0.00
42055	COMPUTER EQUIPMENT &	10,768.00	51.45	102.90	0.00	10,665.10	0.95

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42100	UNIFORM EXPENSE	0.00	0.00	12,705.21	32,294.79	(45,000.00)	0.00
42101	SAFETY SHOES - MOU ITEM	350.00	0.00	0.00	0.00	350.00	0.00
42200	ADVERTISING EXPENSE	3,100.00	218.45	250.93	0.00	2,849.07	8.09
42300	WIRELESS COMMUNICATION	1,320.00	0.00	0.00	0.00	1,320.00	0.00
42320	POSTAGE & SHIPPING	900.00	47.41	88.49	0.00	811.51	9.83
42340	OFFICE SUPPLIES	10,000.00	767.52	787.53	0.00	9,212.47	7.87
42345	FIRST AID KIT SUPPLIES	120.00	0.00	4.01	0.00	115.99	3.34
42350	PROGRAM EXPENDITURES	1,000.00	0.00	252.39	0.00	747.61	25.23
42800	EQUIPMENT MAINTENANCE	6,000.00	0.00	0.00	0.00	6,000.00	0.00
42900	PROF. & CONT. SVCS	300,608.00	8,949.99	15,084.82	108,672.51	176,850.67	41.16
43041	MANDATED SAFETY TRAINING	162,200.00	4,600.00	59,600.00	107,200.00	(4,600.00)	102.83
43100	MEMBERSHIP & DUES	5,680.00	0.00	99.99	0.00	5,580.01	1.76
43110	EMPLOYEE ENGAGEMENT	15,000.00	27.19	81.07	0.00	14,918.93	0.54
43200	CONFERENCE, TRAINING & TRAVEL	11,795.00	0.00	86.00	0.00	11,709.00	0.72
43400	LEGAL SERVICES-SPECIAL COUNSEL	262,141.00	24,510.00	43,624.00	200,000.00	18,517.00	92.93
TOTAL FOR SERVICES-SUPPLIES		798,402.00	39,172.01	132,767.34	448,167.30	217,467.36	72.76
TOTAL FOR ADMIN SERVICES-HUMAN		2,524,882.46	142,268.79	483,591.74	448,167.30	1,593,123.42	36.90
16 GENERAL GOVERNMENT							
SALARIES-BENEFITS							
41140	FINAL LEAVE	300,000.00	0.00	0.00	0.00	300,000.00	0.00
41910	PERS-NORMAL	450,000.00	(851.94)	(851.94)	0.00	450,851.94	(0.18)
41920	MEDICARE	200.00	4.69	24.39	0.00	175.61	12.19
41921	RETIREE MEDICARE REIMB	535,000.00	21,654.60	33,216.00	0.00	501,784.00	6.20
41932	STATE UNEMPLOYMENT INSURANCE	0.00	0.10	0.47	0.00	(0.47)	0.00
41941	RETIREE HEALTH INSURANCE/OPEB	6,659,340.00	524,708.35	1,580,478.84	0.00	5,078,861.16	23.73
41942	RETIREE LIFE INSURANCE	26,000.00	2,046.00	6,193.00	0.00	19,807.00	23.81
41944	RETIREE FLEX SPENDING PLAN	135,000.00	0.00	0.00	0.00	135,000.00	0.00
41947	RETIREE HRA	130,000.00	0.00	0.00	0.00	130,000.00	0.00
41997	BUDGETARY/PAYROLL	571,157.00	0.00	0.00	0.00	571,157.00	0.00
TOTAL FOR SALARIES-BENEFITS		8,806,697.00	547,561.80	1,619,060.76	0.00	7,187,636.24	18.38
SERVICES-SUPPLIES							
42310	PHONES, FAX, ISDN LINES	30,000.00	2,485.31	7,716.36	0.00	22,283.64	25.72
42330	PHONES,FAX-INDIRECT DEPT	5,060.00	376.79	1,067.15	0.00	3,992.85	21.08
42350	PROGRAM EXPENDITURES	10,000.00	68.42	(3,043.75)	0.00	13,043.75	(30.43)
42380	GEN BENEFIT_CITYWIDE EXPENSE	130,624.00	0.00	0.00	0.00	130,624.00	0.00
42410	ELECTRIC UTILITY	1,734,705.00	254,518.83	549,566.08	0.00	1,185,138.92	31.68
42420	NATURAL GAS UTILITY	86,000.00	3,119.32	16,946.57	0.00	69,053.43	19.70
42430	WATER UTILITY	728,000.00	71,633.08	305,226.66	0.00	422,773.34	41.92
42435	RECYCLED WATER UTILITY	886,200.00	102,380.78	304,246.29	0.00	581,953.71	34.33

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42600	MOTOR POOL RENTAL	17,116.00	0.00	0.00	0.00	17,116.00	0.00
42900	PROF. & CONT. SVCS	195,500.00	18,680.43	25,385.07	18,093.58	152,021.35	22.23
42902	CUST CREDIT CRD PROCESSING FEE	160,000.00	25,780.10	66,730.27	0.00	93,269.73	41.70
42960	INDIRECT SPEC DST COUNTY ADMIN	869,000.00	0.00	0.00	0.00	869,000.00	0.00
43010	INSURANCE PREMIUMS	1,740,636.00	0.00	0.00	0.00	1,740,636.00	0.00
43100	MEMBERSHIP & DUES	12,000.00	0.00	0.00	0.00	12,000.00	0.00
44200	BAD DEBTS EXPENSE	1,200.00	0.00	0.00	0.00	1,200.00	0.00
44613	INTERNAL SVC CHRG-WAREHOUSE	93,873.00	23,468.25	23,468.25	0.00	70,404.75	25.00
44614	INTERNAL SVC CHRG-INFO TECH	8,340,166.00	2,085,041.50	2,085,041.50	0.00	6,255,124.50	25.00
TOTAL FOR SERVICES-SUPPLIES		15,040,080.00	2,587,552.81	3,382,350.45	18,093.58	11,639,635.97	22.60
SERVICES-SUPPLIES							
43907	LOSS ON SA CITY ADMIN LOAN PYM	0.00	0.00	526,625.31	0.00	(526,625.31)	0.00
TOTAL FOR SERVICES-SUPPLIES		0.00	0.00	526,625.31	0.00	(526,625.31)	0.00
TOTAL FOR GENERAL GOVERNMENT		23,846,777.00	3,135,114.61	5,528,036.52	18,093.58	18,300,646.90	23.25
17 INFORMATION TECHNOLOGY							
SERVICES-SUPPLIES							
TOTAL FOR SERVICES-SUPPLIES		0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FOR INFORMATION TECHNOLOGY		0.00	0.00	0.00	0.00	0.00	0.00
18 ADMIN SERVICES-FINANCE							
SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	2,275,262.79	126,425.72	390,192.39	0.00	1,885,070.40	17.14
41110	CONTRACTUAL OBLIGATION	0.00	194.85	254.19	0.00	(254.19)	0.00
41141	SP COMP-BILINGUAL	10,694.88	822.70	2,526.87	0.00	8,168.01	23.62
41200	TEMPORARY EMPLOYEES	41,248.42	2,499.45	10,440.21	0.00	30,808.21	25.31
41300	OVERTIME	22,011.16	1,075.13	4,626.89	0.00	17,384.27	21.02
41500	DEFERRED COMPENSATION MATCH	22,500.00	1,890.00	1,890.00	0.00	20,610.00	8.40
41510	PST DEFERRED COMPENSATION	270.12	0.00	0.00	0.00	270.12	0.00
41520	TIERED EMP DEF COMPENSATION	8,400.00	1,950.00	1,950.00	0.00	6,450.00	23.21
41530	TIERED RHS BENEFIT	6,000.00	1,450.00	1,450.00	0.00	4,550.00	24.16
41600	LONGEVITY	33,230.28	20,264.82	21,898.18	0.00	11,332.10	65.89
41630	ONE TIME MOU PAYMENTS	0.00	2,052.75	34,206.07	0.00	(34,206.07)	0.00
41660	TUITION REIMBURSEMENT	2,500.00	1,471.56	2,351.56	0.00	148.44	94.06
41700	ANNUAL LEAVE BUYBACK	52,685.00	0.00	44,594.88	0.00	8,090.12	84.64
41710	ANNUAL LEAVE OVER MAX	13,328.00	0.00	0.00	0.00	13,328.00	0.00
41910	PERS-NORMAL	266,459.14	17,086.48	48,361.39	0.00	218,097.75	18.14
41912	PERS-UNFUNDED	608,953.00	51,974.40	155,923.20	0.00	453,029.80	25.60
41920	MEDICARE	75,584.81	4,783.02	15,488.75	0.00	60,096.06	20.49
41929	SHORT TERM DISABILITY	7,280.05	405.07	1,249.45	0.00	6,030.60	17.16
41930	LONG TERM DISABILITY	15,470.12	860.83	2,655.30	0.00	12,814.82	17.16

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41931	WORKERS COMP	46,769.84	2,515.09	7,822.24	0.00	38,947.60	16.72
41932	STATE UNEMPLOYMENT INSURANCE	1,266.43	80.17	264.73	0.00	1,001.70	20.90
41940	HEALTH INSURANCE	366,723.85	17,845.36	54,137.93	0.00	312,585.92	14.76
41945	OPT OUT HEALTH INSURANCE	90,000.00	9,110.00	26,580.00	0.00	63,420.00	29.53
41946	LIFE INSURANCE	18,882.64	1,050.75	3,241.09	0.00	15,641.55	17.16
41996	VACANCY FACTOR	(89,975.00)	0.00	0.00	0.00	(89,975.00)	0.00
TOTAL FOR SALARIES-BENEFITS		3,895,545.53	265,808.15	832,105.32	0.00	3,063,440.21	21.36
SERVICES-SUPPLIES							
42010	SUBSCRIPTIONS	300.00	0.00	0.00	0.00	300.00	0.00
42020	MINOR EQUIPMENT & FURNITURE	1,000.00	0.00	0.00	0.00	1,000.00	0.00
42055	COMPUTER EQUIPMENT &	5,000.00	559.64	1,678.92	1,679.27	1,641.81	67.16
42200	ADVERTISING EXPENSE	300.00	0.00	0.00	0.00	300.00	0.00
42220	PROMOTIONAL/PUBLIC OUTREACH	150.00	0.00	0.00	0.00	150.00	0.00
42300	WIRELESS COMMUNICATION	350.00	0.00	0.00	0.00	350.00	0.00
42320	POSTAGE & SHIPPING	3,800.00	280.55	833.10	0.00	2,966.90	21.92
42340	OFFICE SUPPLIES	3,200.00	505.03	1,078.86	0.00	2,121.14	33.71
42345	FIRST AID KIT SUPPLIES	50.00	0.00	8.18	0.00	41.82	16.36
42350	PROGRAM EXPENDITURES	5,250.00	0.00	88.58	0.00	5,161.42	1.68
42710	MILEAGE/VEHICLE EXP REIMB	200.00	0.00	0.00	0.00	200.00	0.00
42800	EQUIPMENT MAINTENANCE	5,000.00	0.00	0.00	0.00	5,000.00	0.00
42900	PROF. & CONT. SVCS	663,995.00	14,478.28	43,795.58	475,082.72	145,116.70	78.14
43100	MEMBERSHIP & DUES	4,685.00	0.00	1,440.00	0.00	3,245.00	30.73
43200	CONFERENCE, TRAINING & TRAVEL	10,500.00	545.00	545.00	0.00	9,955.00	5.19
43500	BOOKS	450.00	0.00	0.00	0.00	450.00	0.00
43724	OUTSIDE SERVICES - LABOR	38,275.00	29,050.00	29,050.00	152,375.00	(143,150.00)	474.00
TOTAL FOR SERVICES-SUPPLIES		742,505.00	45,418.50	78,518.22	629,136.99	34,849.79	95.30
TOTAL FOR ADMIN SERVICES-FINANCE		4,638,050.53	311,226.65	910,623.54	629,136.99	3,098,290.00	33.19

20 LEGAL AND RISK MANAGEMENT
SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	924,907.77	70,751.22	217,307.40	0.00	707,600.37	23.49
41141	SP COMP-BILINGUAL	3,870.00	297.70	914.36	0.00	2,955.64	23.62
41200	TEMPORARY EMPLOYEES	25,982.95	1,577.58	5,054.91	0.00	20,928.04	19.45
41410	AUTO ALLOWANCE	17,280.00	1,329.24	4,082.67	0.00	13,197.33	23.62
41500	DEFERRED COMPENSATION MATCH	9,500.00	450.00	450.00	0.00	9,050.00	4.73
41510	PST DEFERRED COMPENSATION	337.77	20.51	65.71	0.00	272.06	19.45
41520	TIERED EMP DEF COMPENSATION	3,000.00	750.00	750.00	0.00	2,250.00	25.00
41530	TIERED RHS BENEFIT	3,000.00	750.00	750.00	0.00	2,250.00	25.00
41600	LONGEVITY	7,000.00	7,000.00	7,000.00	0.00	0.00	100.00
41630	ONE TIME MOU PAYMENTS	0.00	0.00	18,395.33	0.00	(18,395.33)	0.00

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41700	ANNUAL LEAVE BUYBACK	52,603.00	0.00	52,601.68	0.00	1.32	99.99
41710	ANNUAL LEAVE OVER MAX	17,299.00	0.00	0.00	0.00	17,299.00	0.00
41910	PERS-NORMAL	106,585.09	8,889.76	25,652.72	0.00	80,932.37	24.06
41912	PERS-UNFUNDED	282,890.00	24,385.31	73,155.93	0.00	209,734.07	25.86
41920	MEDICARE	31,496.10	2,676.65	9,435.44	0.00	22,060.66	29.95
41929	SHORT TERM DISABILITY	2,959.71	226.40	695.37	0.00	2,264.34	23.49
41930	LONG TERM DISABILITY	6,289.37	481.10	1,477.67	0.00	4,811.70	23.49
41931	WORKERS COMP	17,063.93	1,413.35	4,342.87	0.00	12,721.06	25.45
41932	STATE UNEMPLOYMENT INSURANCE	527.82	41.20	154.94	0.00	372.88	29.35
41940	HEALTH INSURANCE	71,021.73	5,027.57	15,641.55	0.00	55,380.18	22.02
41945	OPT OUT HEALTH INSURANCE	24,000.00	2,000.00	6,000.00	0.00	18,000.00	25.00
41946	LIFE INSURANCE	7,676.74	587.22	1,803.60	0.00	5,873.14	23.49
TOTAL FOR SALARIES-BENEFITS		1,615,290.98	128,654.81	445,732.15	0.00	1,169,558.83	27.59
SERVICES-SUPPLIES							
42055	COMPUTER EQUIPMENT &	4,180.00	0.00	0.00	0.00	4,180.00	0.00
42300	WIRELESS COMMUNICATION	1,400.00	114.23	370.51	0.00	1,029.49	26.46
42320	POSTAGE & SHIPPING	500.00	49.09	59.95	0.00	440.05	11.99
42340	OFFICE SUPPLIES	5,600.00	156.92	219.40	0.00	5,380.60	3.91
42345	FIRST AID KIT SUPPLIES	120.00	7.83	7.83	0.00	112.17	6.52
42710	MILEAGE/VEHICLE EXP REIMB	100.00	0.00	0.00	0.00	100.00	0.00
42900	PROF. & CONT. SVCS	0.00	54.00	54.00	0.00	(54.00)	0.00
43100	MEMBERSHIP & DUES	2,706.00	0.00	0.00	0.00	2,706.00	0.00
43200	CONFERENCE, TRAINING & TRAVEL	5,036.00	0.00	(597.00)	0.00	5,633.00	(11.85)
43400	LEGAL SERVICES-SPECIAL COUNSEL	93,900.00	0.00	6,813.93	0.00	87,086.07	7.25
43410	LEGAL RESEARCH	10,484.00	2,496.00	2,992.51	7,789.00	(297.51)	102.83
43430	LITIGATION EXPENSE	22,000.00	1,063.02	1,090.02	68,403.80	(47,493.82)	315.88
TOTAL FOR SERVICES-SUPPLIES		146,026.00	3,941.09	11,011.15	76,192.80	58,822.05	59.71
TOTAL FOR LEGAL AND RISK MANAGEMENT		1,761,316.98	132,595.90	456,743.30	76,192.80	1,228,380.88	30.25

21 COMMUNITY DEVELOPMENT
SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	2,552,066.32	116,187.76	366,580.95	0.00	2,185,485.37	14.36
41110	CONTRACTUAL OBLIGATION	0.00	0.00	90.25	0.00	(90.25)	0.00
41140	FINAL LEAVE	0.00	2,537.44	4,595.93	0.00	(4,595.93)	0.00
41141	SP COMP-BILINGUAL	26,096.71	1,443.74	4,257.47	0.00	21,839.24	16.31
41200	TEMPORARY EMPLOYEES	0.00	0.00	44.23	0.00	(44.23)	0.00
41300	OVERTIME	9,610.05	1,352.60	2,309.22	0.00	7,300.83	24.02
41410	AUTO ALLOWANCE	5,068.80	389.92	1,197.61	0.00	3,871.19	23.62
41500	DEFERRED COMPENSATION MATCH	11,562.00	1,328.48	1,328.48	0.00	10,233.52	11.49
41520	TIERED EMP DEF COMPENSATION	4,800.00	1,230.00	1,230.00	0.00	3,570.00	25.62

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41530	TIERED RHS BENEFIT	2,760.00	700.00	700.00	0.00	2,060.00	25.36
41600	LONGEVITY	20,812.81	12,489.47	14,556.82	0.00	6,255.99	69.94
41630	ONE TIME MOU PAYMENTS	0.00	13,717.09	33,181.21	0.00	(33,181.21)	0.00
41700	ANNUAL LEAVE BUYBACK	48,985.68	0.00	46,034.27	0.00	2,951.41	93.97
41710	ANNUAL LEAVE OVER MAX	15,950.00	0.00	0.00	0.00	15,950.00	0.00
41910	PERS-NORMAL	295,700.04	14,820.82	43,825.29	0.00	251,874.75	14.82
41912	PERS-UNFUNDED	485,644.00	41,862.81	125,588.43	0.00	360,055.57	25.86
41920	MEDICARE	81,823.66	4,606.74	14,599.80	0.00	67,223.86	17.84
41929	SHORT TERM DISABILITY	8,166.62	391.39	1,235.93	0.00	6,930.69	15.13
41930	LONG TERM DISABILITY	17,354.05	831.72	2,626.30	0.00	14,727.75	15.13
41931	WORKERS COMP	51,688.41	2,306.62	7,285.52	0.00	44,402.89	14.09
41932	STATE UNEMPLOYMENT INSURANCE	1,371.82	77.33	248.06	0.00	1,123.76	18.08
41940	HEALTH INSURANCE	394,823.19	14,390.33	40,500.55	0.00	354,322.64	10.25
41945	OPT OUT HEALTH INSURANCE	84,300.00	7,316.54	24,702.36	0.00	59,597.64	29.30
41946	LIFE INSURANCE	21,182.14	1,015.24	3,205.89	0.00	17,976.25	15.13
41996	VACANCY FACTOR	(213,786.00)	0.00	0.00	0.00	(213,786.00)	0.00
41997	BUDGETARY/PAYROLL	(530.00)	0.00	0.00	0.00	(530.00)	0.00
TOTAL FOR SALARIES-BENEFITS		3,925,450.30	238,996.04	739,924.57	0.00	3,185,525.73	18.84
SERVICES-SUPPLIES							
42001	APPOINTED OFFICIAL STIPEND	5,750.00	500.00	750.00	0.00	5,000.00	13.04
42010	SUBSCRIPTIONS	634.00	0.00	0.00	0.00	634.00	0.00
42011	SCAN/MICROFIL/MAPPING SVCS	25,000.00	0.00	0.00	0.00	25,000.00	0.00
42014	ELECTRONIC INFO RESOURCES	1,800.00	0.00	0.00	0.00	1,800.00	0.00
42020	MINOR EQUIPMENT & FURNITURE	5,720.00	215.30	1,412.86	0.00	4,307.14	24.70
42034	SAFETY MATERIALS/CONSTRUCTION	150.00	0.00	0.00	0.00	150.00	0.00
42055	COMPUTER EQUIPMENT &	16,270.00	2,606.95	3,481.06	0.00	12,788.94	21.39
42100	UNIFORM EXPENSE	3,750.00	0.00	0.00	0.00	3,750.00	0.00
42101	SAFETY SHOES - MOU ITEM	3,202.50	168.12	168.12	0.00	3,034.38	5.24
42200	ADVERTISING EXPENSE	3,400.00	264.71	480.59	0.00	2,919.41	14.13
42300	WIRELESS COMMUNICATION	17,486.00	929.59	1,807.73	0.00	15,678.27	10.33
42310	PHONES, FAX, ISDN LINES	1,200.00	225.94	338.91	0.00	861.09	28.24
42320	POSTAGE & SHIPPING	12,050.00	385.58	992.58	0.00	11,057.42	8.23
42340	OFFICE SUPPLIES	10,000.00	338.67	639.55	0.00	9,360.45	6.39
42345	FIRST AID KIT SUPPLIES	150.00	0.00	14.43	0.00	135.57	9.62
42350	PROGRAM EXPENDITURES	15,025.00	1,212.11	1,439.21	0.00	13,585.79	9.57
42360	CLEANING/JANITORIAL SUPPLIES	124.20	0.00	0.00	0.00	124.20	0.00
42410	ELECTRIC UTILITY	1,200.00	110.73	222.57	0.00	977.43	18.54
42420	NATURAL GAS UTILITY	2,400.00	104.97	221.37	0.00	2,178.63	9.22
42430	WATER UTILITY	10,000.00	789.62	2,407.43	0.00	7,592.57	24.07
42600	MOTOR POOL RENTAL	83,551.00	0.00	0.00	0.00	83,551.00	0.00

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42710	MILEAGE/VEHICLE EXP REIMB	720.00	0.00	0.00	0.00	720.00	0.00
42800	EQUIPMENT MAINTENANCE	14,300.00	0.00	0.00	0.00	14,300.00	0.00
42811	MAINTENANCE & OPERATING	17,500.00	1,303.70	1,378.70	22,121.30	(6,000.00)	134.28
42900	PROF. & CONT. SVCS	1,554,196.88	183,317.41	184,892.41	153,882.25	1,215,422.22	21.79
42906	OTHER GOVT AGENCY FEES	30,000.00	0.00	32,335.16	0.00	(2,335.16)	107.78
43100	MEMBERSHIP & DUES	7,933.00	44.58	194.58	0.00	7,738.42	2.45
43200	CONFERENCE, TRAINING & TRAVEL	12,100.00	254.00	679.00	0.00	11,421.00	5.61
43500	BOOKS	650.00	100.34	296.09	0.00	353.91	45.55
TOTAL FOR SERVICES-SUPPLIES		1,856,262.58	192,872.32	234,152.35	176,003.55	1,446,106.68	22.09
TOTAL FOR COMMUNITY DEVELOPMENT DEPT		5,781,712.88	431,868.36	974,076.92	176,003.55	4,631,632.41	19.89

30 FIRE

SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	10,209,549.20	785,912.52	2,368,901.22	0.00	7,840,647.98	23.20
41101	SPECIAL ASSIGNMENT PAY	0.00	(632.16)	813.94	0.00	(813.94)	0.00
41140	FINAL LEAVE	0.00	0.00	5,289.84	0.00	(5,289.84)	0.00
41141	SP COMP-BILINGUAL	76,274.92	4,240.32	13,023.84	0.00	63,251.08	17.07
41149	SP COMP-PARAMEDIC CQI COORD	5,979.96	460.00	1,412.86	0.00	4,567.10	23.62
41150	SP COMP-HAZRDIOUS PAY	96,883.56	5,698.94	17,441.27	0.00	79,442.29	18.00
41151	SP COMP-SECONDARY MEDIC	140,530.01	10,533.31	29,717.11	0.00	110,812.90	21.14
41153	SP COMP-ACTING FIRE ENG	0.00	60.48	742.64	0.00	(742.64)	0.00
41154	SP COMP-ACTING FIRE CAPT	0.00	24.70	49.37	0.00	(49.37)	0.00
41155	SP COMP-ACTING BATTALION CHIEF	0.00	0.00	482.08	0.00	(482.08)	0.00
41200	TEMPORARY EMPLOYEES	182,569.88	4,546.88	12,770.05	0.00	169,799.83	6.99
41300	OVERTIME	973,157.00	203,951.30	677,742.83	0.00	295,414.17	69.64
41310	OVERTIME - FLSA	170,810.53	93,161.79	326,952.32	0.00	(156,141.79)	191.41
41330	CONSTANT STAFF LEVELS-OT FIRE	4,950,000.00	470,005.99	1,525,889.86	0.00	3,424,110.14	30.82
41350	OVERTIME - TRAINING	534,300.00	2,702.50	32,739.22	0.00	501,560.78	6.12
41400	SPECIAL DUTY PAY	22,000.00	1,209.56	4,030.38	0.00	17,969.62	18.31
41420	FIRE HOLIDAY PAY	338,742.49	25,004.91	60,053.34	0.00	278,689.15	17.72
41500	DEFERRED COMPENSATION MATCH	4,800.00	150.00	150.00	0.00	4,650.00	3.12
41510	PST DEFERRED COMPENSATION	2,178.42	35.09	102.24	0.00	2,076.18	4.69
41520	TIERED EMP DEF COMPENSATION	2,400.00	600.00	600.00	0.00	1,800.00	25.00
41530	TIERED RHS BENEFIT	396,600.00	97,275.00	97,542.86	0.00	299,057.14	24.59
41600	LONGEVITY	304,563.96	26,404.76	74,931.44	0.00	229,632.52	24.60
41630	ONE TIME MOU PAYMENTS	0.00	1,848.62	11,220.80	0.00	(11,220.80)	0.00
41660	TUITION REIMBURSEMENT	115,523.00	4,110.00	6,845.00	0.00	108,678.00	5.92
41700	ANNUAL LEAVE BUYBACK	24,670.00	0.00	36,990.15	0.00	(12,320.15)	149.93
41710	ANNUAL LEAVE OVER MAX	67,906.00	0.00	0.00	0.00	67,906.00	0.00
41800	UNIFORM ALLOWANCE	4,040.00	1,010.00	1,010.00	0.00	3,030.00	25.00
41910	PERS-NORMAL	2,385,548.72	182,067.25	546,885.11	0.00	1,838,663.61	22.92

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
41912	PERS-UNFUNDED	4,185,499.00	360,792.80	1,082,378.40	0.00	3,103,120.60	25.86
41920	MEDICARE	375,155.64	26,252.92	83,671.61	0.00	291,484.03	22.30
41929	SHORT TERM DISABILITY	32,671.15	2,514.88	7,607.45	0.00	25,063.70	23.28
41930	LONG TERM DISABILITY	69,426.22	5,343.71	16,164.55	0.00	53,261.67	23.28
41931	WORKERS COMP	597,932.67	44,987.04	133,903.85	0.00	464,028.82	22.39
41932	STATE UNEMPLOYMENT INSURANCE	8,911.47	816.76	2,595.16	0.00	6,316.31	29.12
41940	HEALTH INSURANCE	1,343,964.09	113,720.12	327,291.94	0.00	1,016,672.15	24.35
41945	OPT OUT HEALTH INSURANCE	266,400.00	14,800.00	51,550.00	0.00	214,850.00	19.35
41946	LIFE INSURANCE	84,740.84	6,522.97	19,731.46	0.00	65,009.38	23.28
41950	MEDICAL DIFFERENCE	0.00	0.00	5,064.88	0.00	(5,064.88)	0.00
41951	HEALTH ALLOWANCE CREDIT	0.00	1,334.66	2,669.32	0.00	(2,669.32)	0.00
41996	VACANCY FACTOR	(173,127.00)	0.00	0.00	0.00	(173,127.00)	0.00
41997	BUDGETARY/PAYROLL	(21,960.00)	0.00	0.00	0.00	(21,960.00)	0.00
TOTAL FOR SALARIES-BENEFITS		27,778,641.73	2,497,467.62	7,586,958.39	0.00	20,191,683.34	27.31
SERVICES-SUPPLIES							
42010	SUBSCRIPTIONS	2,300.00	0.00	0.00	0.00	2,300.00	0.00
42020	MINOR EQUIPMENT & FURNITURE	321,003.29	13,334.50	20,960.30	4,064.83	295,978.16	7.79
42025	HOSE AND APPLIANCE	25,000.00	0.00	314.92	12,473.67	12,211.41	51.15
42026	HAZMAT EQUIPMENT	15,000.00	0.00	0.00	0.00	15,000.00	0.00
42027	TECHNICAL RESCUE EQUIPMENT	20,000.00	233.27	401.52	0.00	19,598.48	2.00
42028	SCBA BREATHING APPARATUS	25,000.00	0.00	0.00	20,000.00	5,000.00	80.00
42034	SAFETY MATERIALS/CONSTRUCTION	5,000.00	0.00	0.00	0.00	5,000.00	0.00
42055	COMPUTER EQUIPMENT &	10,500.00	1,909.51	5,814.08	0.00	4,685.92	55.37
42100	UNIFORM EXPENSE	35,300.00	614.53	614.53	24,949.78	9,735.69	72.42
42101	SAFETY SHOES - MOU ITEM	1,400.00	0.00	0.00	0.00	1,400.00	0.00
42105	PROTECTIVE CLOTHING	280,780.00	982.21	1,484.10	24,855.50	254,440.40	9.38
42110	EMS SUPPLIES	208,000.00	9,856.50	24,606.90	42,249.31	141,143.79	32.14
42300	WIRELESS COMMUNICATION	54,500.00	4,503.86	9,723.23	0.00	44,776.77	17.84
42305	PBLC SFTY RADIO COMMUNICATION	6,900.00	81.24	818.37	0.00	6,081.63	11.86
42310	PHONES, FAX, ISDN LINES	10,000.00	457.25	1,467.19	0.00	8,532.81	14.67
42320	POSTAGE & SHIPPING	2,000.00	53.68	169.24	0.00	1,830.76	8.46
42340	OFFICE SUPPLIES	9,200.00	300.51	1,218.51	0.00	7,981.49	13.24
42350	PROGRAM EXPENDITURES	88,349.00	3,311.57	8,243.05	0.00	80,105.95	9.33
42360	CLEANING/JANITORIAL SUPPLIES	26,600.00	2,326.16	4,202.55	0.00	22,397.45	15.79
42441	UNLEADED FUEL	0.00	5.22	108.90	0.00	(108.90)	0.00
42600	MOTOR POOL RENTAL	1,451,825.00	0.00	0.00	0.00	1,451,825.00	0.00
42605	RETAINED VEHICLE EXPENSE	4,937.00	0.00	0.00	0.00	4,937.00	0.00
42610	DIRECT VEHICLE EXPENSE	13,200.00	79.99	592.56	0.00	12,607.44	4.48
42640	MDC RENTAL RATES	56,240.00	0.00	0.00	0.00	56,240.00	0.00
42700	OTHER EQUIPMENT RENTAL	2,000.00	481.95	481.95	0.00	1,518.05	24.09

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		<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance (Over)/Under</u>	<u>% Used</u>
42710	MILEAGE/VEHICLE EXP REIMB	200.00	0.00	531.10	0.00	(331.10)	265.55
42800	EQUIPMENT MAINTENANCE	8,500.00	84.90	413.89	1,000.00	7,086.11	16.63
42810	BUILDING MAINTENANCE	65,676.86	25,950.00	40,575.00	27,844.60	(2,742.74)	104.17
42900	PROF. & CONT. SVCS	376,506.32	18,534.63	35,229.88	99,401.61	241,874.83	35.75
42907	EMS ADMIN	60,000.00	0.00	0.00	0.00	60,000.00	0.00
43100	MEMBERSHIP & DUES	4,650.00	812.10	868.05	0.00	3,781.95	18.66
43200	CONFERENCE, TRAINING & TRAVEL	74,400.00	8,066.27	14,957.21	12,200.00	47,242.79	36.50
43500	BOOKS	1,500.00	0.00	0.00	0.00	1,500.00	0.00
43600	DISASTER PREPAREDNESS	4,000.00	0.00	0.00	0.00	4,000.00	0.00
43716	JOB REQ CERTIFICATES & LICENSE	2,750.00	0.00	94.00	0.00	2,656.00	3.41
TOTAL FOR SERVICES-SUPPLIES		3,273,217.47	91,979.85	173,891.03	269,039.30	2,830,287.14	13.53
CAPITAL OUTLAY							
45200	MACHINERY, EQUIPMENT, & FIXTUR	68,097.00	68,728.90	68,728.90	0.00	(631.90)	100.92
TOTAL FOR CAPITAL OUTLAY		68,097.00	68,728.90	68,728.90	0.00	(631.90)	100.92
TOTAL FOR FIRE		31,119,956.20	2,658,176.37	7,829,578.32	269,039.30	23,021,338.58	26.02

32 POLICE

SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	21,578,261.80	1,438,898.61	4,381,978.46	0.00	17,196,283.34	20.30
41101	SPECIAL ASSIGNMENT PAY	0.00	287.55	574.22	0.00	(574.22)	0.00
41102	SHIFT DIFFERENTIAL	132,912.00	11,033.22	32,380.29	0.00	100,531.71	24.36
41105	INCENTIVE PAY PROGRAM	0.00	12,500.00	15,000.00	0.00	(15,000.00)	0.00
41110	CONTRACTUAL OBLIGATION	0.00	1,450.20	3,227.69	0.00	(3,227.69)	0.00
41140	FINAL LEAVE	0.00	11,185.10	61,380.04	0.00	(61,380.04)	0.00
41141	SP COMP-BILINGUAL	193,771.48	13,612.37	45,625.43	0.00	148,146.05	23.54
41142	SP COMP-EMD PAY	78,969.12	4,279.79	13,622.73	0.00	65,346.39	17.25
41143	SP COMP-CGEA TRAINING OFFICER	2,899.92	337.39	798.59	0.00	2,101.33	27.53
41144	SP COMP-LEAD ANIMAL CTRL	2,630.04	202.32	621.41	0.00	2,008.63	23.62
41145	SP COMP-LEAD RECORDS TECH	8,659.92	666.16	2,046.06	0.00	6,613.86	23.62
41157	SP COMP-ACCIDENT INVESTIGATION	4,906.59	388.17	1,019.23	0.00	3,887.36	20.77
41158	SP COMP-MOTOR OFFICER	34,346.10	2,321.76	8,130.90	0.00	26,215.20	23.67
41159	SP COMP-INTERMEDIATE POST	429,114.48	29,845.07	102,786.75	0.00	326,327.73	23.95
41160	SP COMP-ADVANCED POST	622,489.22	43,685.54	150,432.67	0.00	472,056.55	24.16
41161	SP COMP-SUPERVISOR POST	16,748.64	1,715.60	5,451.13	0.00	11,297.51	32.54
41162	SP COMP-MGMT POST	27,914.41	1,849.66	4,912.08	0.00	23,002.33	17.59
41164	SP COMP-CANINE PAY	15,351.83	1,932.54	6,430.17	0.00	8,921.66	41.88
41165	SP COMP-SCHOOL RESOURCE OFFCR	14,560.61	1,547.84	4,725.08	0.00	9,835.53	32.45
41166	SP COMP-INVESTIGATIVE UNIT	37,363.84	3,310.68	10,958.30	0.00	26,405.54	29.32
41167	SP COMP-TRAFFIC CPL/SGT	11,808.85	524.56	1,945.42	0.00	9,863.43	16.47
41168	SP COMP-RELIEF WATCH CMND	12,927.77	1,508.60	4,899.33	0.00	8,028.44	37.89

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		Budget	Expenditures	YTD	Encumbrances	Balance	%
			Month to			(Over)/Under	Used
41169	SP COMP-SPEC ENFORC TEAM	15,100.91	0.00	881.97	0.00	14,218.94	5.84
41171	SP COMP-SR DETECTIVE	47,589.68	2,574.94	9,364.96	0.00	38,224.72	19.67
41172	SP COMP-COMMERCIAL	4,906.59	373.45	923.86	0.00	3,982.73	18.82
41173	SP COMP-PACT TEAM	5,157.51	756.98	2,683.20	0.00	2,474.31	52.02
41174	SP COMP-PERSONNEL OFFICER	5,157.51	1,180.68	3,807.53	0.00	1,349.98	73.82
41176	SP COMP-DETECTIVE SGT	20,870.95	1,545.68	5,722.31	0.00	15,148.64	27.41
41177	SP COMP-PROFESSIONAL STND UNIT	6,173.81	460.76	1,662.40	0.00	4,511.41	26.92
41178	SP COMP-PERSONNEL & TRAINING	6,651.34	524.56	2,108.95	0.00	4,542.39	31.70
41179	SP COMP-TRAINING OFFICER	4,906.59	1,846.01	7,201.86	0.00	(2,295.27)	146.77
41180	SP COMP-YOUTH DIVERSION	18,590.42	877.78	2,509.32	0.00	16,081.10	13.49
41181	SP COMP-POLICE SUPPORT SVCS	14,573.73	0.00	0.00	0.00	14,573.73	0.00
41182	SP COMP-TACTICAL FLIGHT OFFCR	4,906.59	0.00	28.01	0.00	4,878.58	0.57
41183	SP COMP-HOPE-HMLS OUTRCH &	19,566.67	1,540.11	5,432.70	0.00	14,133.97	27.76
41184	SP COMP-FLEX TEAM OFFICER/CORP	16,462.93	1,705.24	5,426.94	0.00	11,035.99	32.96
41200	TEMPORARY EMPLOYEES	621,934.53	17,883.26	56,154.31	0.00	565,780.22	9.02
41300	OVERTIME	2,152,936.57	272,919.97	784,413.99	0.00	1,368,522.58	36.43
41320	COMP TIME	475,815.00	75,780.84	187,354.12	0.00	288,460.88	39.37
41400	SPECIAL DUTY PAY	100,520.00	7,590.66	22,951.38	0.00	77,568.62	22.83
41500	DEFERRED COMPENSATION MATCH	35,000.00	2,325.00	2,325.00	0.00	32,675.00	6.64
41510	PST DEFERRED COMPENSATION	5,864.77	136.62	491.52	0.00	5,373.25	8.38
41520	TIERED EMP DEF COMPENSATION	21,000.00	4,950.00	4,950.00	0.00	16,050.00	23.57
41530	TIERED RHS BENEFIT	667,750.00	150,687.50	150,866.07	0.00	516,883.93	22.59
41600	LONGEVITY	607,923.56	604,778.21	607,873.13	0.00	50.43	99.99
41601	MARKSMANSHIP	68,145.00	15,303.75	15,303.75	0.00	52,841.25	22.45
41630	ONE TIME MOU PAYMENTS	0.00	11,478.01	86,129.85	0.00	(86,129.85)	0.00
41660	TUITION REIMBURSEMENT	44,134.00	834.81	8,520.96	0.00	35,613.04	19.30
41700	ANNUAL LEAVE BUYBACK	439,206.00	0.00	433,813.31	0.00	5,392.69	98.77
41710	ANNUAL LEAVE OVER MAX	89,718.00	0.00	0.00	0.00	89,718.00	0.00
41800	UNIFORM ALLOWANCE	576,900.00	131,755.00	131,755.00	0.00	445,145.00	22.83
41910	PERS-NORMAL	5,113,091.54	500,197.10	1,207,673.54	0.00	3,905,418.00	23.61
41912	PERS-UNFUNDED	7,770,253.00	669,800.82	2,009,402.46	0.00	5,760,850.54	25.86
41920	MEDICARE	849,706.63	80,576.32	213,566.15	0.00	636,140.48	25.13
41929	SHORT TERM DISABILITY	69,060.61	4,825.21	14,591.49	0.00	54,469.12	21.12
41930	LONG TERM DISABILITY	146,753.26	5,778.70	17,461.51	0.00	129,291.75	11.89
41931	WORKERS COMP	1,227,004.74	83,448.22	253,605.89	0.00	973,398.85	20.66
41932	STATE UNEMPLOYMENT INSURANCE	14,493.82	1,381.72	3,672.69	0.00	10,821.13	25.33
41940	HEALTH INSURANCE	2,805,361.28	185,155.80	547,094.31	0.00	2,258,266.97	19.50
41945	OPT OUT HEALTH INSURANCE	687,570.00	55,097.50	167,667.50	0.00	519,902.50	24.38
41946	LIFE INSURANCE	179,125.05	12,515.73	37,846.14	0.00	141,278.91	21.12
41950	MEDICAL DIFFERENCE	0.00	556.38	1,669.14	0.00	(1,669.14)	0.00

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
41996	VACANCY FACTOR	(566,495.00)	0.00	0.00	0.00	(566,495.00)	0.00
41997	BUDGETARY/PAYROLL	(21,866.43)	0.00	0.00	0.00	(21,866.43)	0.00
41999	PAYROLL SUSPENSE	0.00	33,482.18	102,279.39	0.00	(102,279.39)	0.00
TOTAL FOR SALARIES-BENEFITS		47,597,157.78	4,525,708.23	11,976,132.59	0.00	35,621,025.19	25.16
SERVICES-SUPPLIES							
42010	SUBSCRIPTIONS	1,157.00	0.00	0.00	0.00	1,157.00	0.00
42020	MINOR EQUIPMENT & FURNITURE	149,320.73	11,081.96	23,082.79	3,194.88	123,043.06	17.59
42033	CONSTRUCTION MATERIALS	0.00	25.52	233.22	0.00	(233.22)	0.00
42034	SAFETY MATERIALS/CONSTRUCTION	250.00	0.00	139.96	0.00	110.04	55.98
42055	COMPUTER EQUIPMENT &	16,990.00	2,636.70	3,364.21	0.00	13,625.79	19.80
42100	UNIFORM EXPENSE	47,800.00	4,980.12	6,165.86	24,311.94	17,322.20	63.76
42101	SAFETY SHOES - MOU ITEM	11,200.00	0.00	0.00	0.00	11,200.00	0.00
42105	PROTECTIVE CLOTHING	37,202.50	0.00	2,296.03	0.00	34,906.47	6.17
42300	WIRELESS COMMUNICATION	63,400.00	11,975.41	17,680.69	0.00	45,719.31	27.88
42305	PBLC SFTY RADIO COMMUNICATION	163,563.00	0.00	0.00	0.00	163,563.00	0.00
42310	PHONES, FAX, ISDN LINES	37,290.00	2,777.50	8,215.19	0.00	29,074.81	22.03
42320	POSTAGE & SHIPPING	27,295.00	1,162.95	3,416.53	0.00	23,878.47	12.51
42340	OFFICE SUPPLIES	53,850.00	1,898.04	5,238.23	0.00	48,611.77	9.72
42345	FIRST AID KIT SUPPLIES	0.00	0.00	29.18	0.00	(29.18)	0.00
42350	PROGRAM EXPENDITURES	265,881.10	6,570.81	41,593.20	19,565.63	204,722.27	23.00
42360	CLEANING/JANITORIAL SUPPLIES	15,500.00	168.54	711.05	0.00	14,788.95	4.58
42410	ELECTRIC UTILITY	5,000.00	1,776.30	0.00	0.00	5,000.00	0.00
42441	UNLEADED FUEL	0.00	5.30	23.72	0.00	(23.72)	0.00
42442	DIESEL FUEL	0.00	0.00	20.60	0.00	(20.60)	0.00
42500	RENTS & LEASES	1.00	0.00	0.00	0.00	1.00	0.00
42600	MOTOR POOL RENTAL	1,654,480.00	0.00	0.00	0.00	1,654,480.00	0.00
42605	RETAINED VEHICLE EXPENSE	42,471.00	0.00	0.00	0.00	42,471.00	0.00
42610	DIRECT VEHICLE EXPENSE	7,249.00	0.00	0.00	0.00	7,249.00	0.00
42640	MDC RENTAL RATES	139,580.00	0.00	0.00	0.00	139,580.00	0.00
42800	EQUIPMENT MAINTENANCE	117,390.43	0.00	69,657.78	144.75	47,587.90	59.46
42810	BUILDING MAINTENANCE	24,700.00	1,550.00	3,100.00	0.00	21,600.00	12.55
42900	PROF. & CONT. SVCS	1,214,414.81	198,860.11	452,471.25	495,098.30	266,845.26	78.02
42905	SPECIAL INVESTIGATIONS	9,070.00	1,229.80	1,379.80	0.00	7,690.20	15.21
43100	MEMBERSHIP & DUES	12,424.00	0.00	2,465.00	0.00	9,959.00	19.84
43200	CONFERENCE, TRAINING & TRAVEL	65,480.00	1,202.71	13,664.82	0.00	51,815.18	20.86
43220	P.O.S.T. CONFERENCE & TRAINING	69,494.00	5,584.45	21,719.73	0.00	47,774.27	31.25
43500	BOOKS	1,070.00	0.00	0.00	0.00	1,070.00	0.00
43715	REGULATORY PERMIT & USE FEES	705.00	0.00	0.00	0.00	705.00	0.00
TOTAL FOR SERVICES-SUPPLIES		4,254,228.57	253,486.22	676,668.84	542,315.50	3,035,244.23	28.65
CAPITAL OUTLAY							

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
45100	LICENSED VEHICLES	77,000.00	0.00	0.00	0.00	77,000.00	0.00
TOTAL FOR CAPITAL OUTLAY		77,000.00	0.00	0.00	0.00	77,000.00	0.00
TOTAL FOR POLICE		51,928,386.35	4,779,194.45	12,652,801.43	542,315.50	38,733,269.42	25.41
39 PUBLIC WORKS							
SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	1,510,312.58	83,300.01	234,656.67	0.00	1,275,655.91	15.53
41103	OUT OF CLASS PAY	0.00	255.60	785.06	0.00	(785.06)	0.00
41110	CONTRACTUAL OBLIGATION	0.00	564.97	1,063.03	0.00	(1,063.03)	0.00
41140	FINAL LEAVE	0.00	25,191.78	25,191.78	0.00	(25,191.78)	0.00
41141	SP COMP-BILINGUAL	7,006.88	267.39	815.48	0.00	6,191.40	11.63
41200	TEMPORARY EMPLOYEES	111,700.65	1,073.54	3,631.26	0.00	108,069.39	3.25
41300	OVERTIME	47,600.00	2,880.30	9,276.27	0.00	38,323.73	19.48
41400	SPECIAL DUTY PAY	21,910.00	1,891.80	5,814.40	0.00	16,095.60	26.53
41410	AUTO ALLOWANCE	2,534.40	194.95	605.72	0.00	1,928.68	23.89
41500	DEFERRED COMPENSATION MATCH	8,058.00	1,092.91	1,092.91	0.00	6,965.09	13.56
41510	PST DEFERRED COMPENSATION	702.84	9.32	42.57	0.00	660.27	6.05
41520	TIERED EMP DEF COMPENSATION	3,858.00	967.89	967.89	0.00	2,890.11	25.08
41530	TIERED RHS BENEFIT	2,466.00	617.63	617.63	0.00	1,848.37	25.04
41600	LONGEVITY	7,789.41	6,041.91	6,299.24	0.00	1,490.17	80.86
41630	ONE TIME MOU PAYMENTS	0.00	7,200.51	19,076.73	0.00	(19,076.73)	0.00
41700	ANNUAL LEAVE BUYBACK	10,124.35	0.00	10,123.65	0.00	0.70	99.99
41710	ANNUAL LEAVE OVER MAX	1,404.00	0.00	0.00	0.00	1,404.00	0.00
41910	PERS-NORMAL	173,709.94	10,249.34	27,652.17	0.00	146,057.77	15.91
41912	PERS-UNFUNDED	376,140.00	32,423.49	97,270.47	0.00	278,869.53	25.86
41920	MEDICARE	50,523.71	3,887.87	9,519.27	0.00	41,004.44	18.84
41929	SHORT TERM DISABILITY	4,833.00	273.19	776.32	0.00	4,056.68	16.06
41930	LONG TERM DISABILITY	10,270.12	580.73	1,650.58	0.00	8,619.54	16.07
41931	WORKERS COMP	32,604.30	1,659.13	4,684.18	0.00	27,920.12	14.36
41932	STATE UNEMPLOYMENT INSURANCE	874.61	65.98	163.14	0.00	711.47	18.65
41940	HEALTH INSURANCE	274,201.88	12,666.51	32,590.06	0.00	241,611.82	11.88
41945	OPT OUT HEALTH INSURANCE	30,900.00	3,625.00	11,505.08	0.00	19,394.92	37.23
41946	LIFE INSURANCE	12,535.60	708.79	2,014.78	0.00	10,520.82	16.07
41996	VACANCY FACTOR	(141,951.00)	0.00	0.00	0.00	(141,951.00)	0.00
41997	BUDGETARY/PAYROLL	(71,054.00)	0.00	0.00	0.00	(71,054.00)	0.00
TOTAL FOR SALARIES-BENEFITS		2,489,055.27	197,690.54	507,886.34	0.00	1,981,168.93	20.40
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	3,800.00	60.62	60.62	0.00	3,739.38	1.59
42033	CONSTRUCTION MATERIALS	0.00	9.31	9.31	0.00	(9.31)	0.00
42034	SAFETY MATERIALS/CONSTRUCTION	450.00	29.67	29.67	0.00	420.33	6.59

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42055	COMPUTER EQUIPMENT &	9,550.00	0.00	0.00	0.00	9,550.00	0.00
42100	UNIFORM EXPENSE	300.00	0.00	0.00	0.00	300.00	0.00
42101	SAFETY SHOES - MOU ITEM	4,580.75	0.00	0.00	0.00	4,580.75	0.00
42300	WIRELESS COMMUNICATION	7,350.00	829.11	1,658.22	0.00	5,691.78	22.56
42320	POSTAGE & SHIPPING	600.00	123.98	276.41	0.00	323.59	46.06
42340	OFFICE SUPPLIES	7,900.00	38.60	137.38	0.00	7,762.62	1.73
42345	FIRST AID KIT SUPPLIES	200.00	0.00	8.20	0.00	191.80	4.10
42350	PROGRAM EXPENDITURES	6,200.00	120.71	220.12	0.00	5,979.88	3.55
42435	RECYCLED WATER UTILITY	0.00	0.00	10.85	0.00	(10.85)	0.00
42600	MOTOR POOL RENTAL	48,083.25	0.00	0.00	0.00	48,083.25	0.00
42710	MILEAGE/VEHICLE EXP REIMB	1,650.00	0.00	6.32	0.00	1,643.68	0.38
42800	EQUIPMENT MAINTENANCE	13,800.00	0.00	0.00	0.00	13,800.00	0.00
42900	PROF. & CONT. SVCS	319,863.71	2,260.25	4,245.34	121,017.77	194,600.60	39.16
43100	MEMBERSHIP & DUES	1,400.00	194.13	402.39	0.00	997.61	28.74
43200	CONFERENCE, TRAINING & TRAVEL	6,900.00	140.00	1,165.00	0.00	5,735.00	16.88
43724	OUTSIDE SERVICES - LABOR	536,218.00	34,900.00	52,050.00	147,090.00	337,078.00	37.13
43727	INSPECTION	661,111.25	5,380.49	5,380.49	184,797.25	470,933.51	28.76
TOTAL FOR SERVICES-SUPPLIES		1,629,956.96	44,086.87	65,660.32	452,905.02	1,111,391.62	31.81
TOTAL FOR PUBLIC WORKS		4,119,012.23	241,777.41	573,546.66	452,905.02	3,092,560.55	24.91

41 MAINTENANCE SERVICES
SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	1,249,840.86	79,568.66	247,357.72	0.00	1,002,483.14	19.79
41110	CONTRACTUAL OBLIGATION	0.00	610.77	1,668.92	0.00	(1,668.92)	0.00
41140	FINAL LEAVE	0.00	1,586.46	2,791.11	0.00	(2,791.11)	0.00
41141	SP COMP-BILINGUAL	3,981.63	306.28	940.72	0.00	3,040.91	23.62
41200	TEMPORARY EMPLOYEES	18,276.96	618.63	762.39	0.00	17,514.57	4.17
41300	OVERTIME	155,959.00	10,651.19	27,357.66	0.00	128,601.34	17.54
41320	COMP TIME	0.00	44.04	1,022.26	0.00	(1,022.26)	0.00
41400	SPECIAL DUTY PAY	34,498.00	4,815.69	10,463.75	0.00	24,034.25	30.33
41410	AUTO ALLOWANCE	1,210.80	57.60	176.91	0.00	1,033.89	14.61
41500	DEFERRED COMPENSATION MATCH	8,009.00	509.16	509.16	0.00	7,499.84	6.35
41510	PST DEFERRED COMPENSATION	0.00	8.04	9.91	0.00	(9.91)	0.00
41520	TIERED EMP DEF COMPENSATION	5,736.00	1,434.00	1,434.00	0.00	4,302.00	25.00
41530	TIERED RHS BENEFIT	2,424.00	606.00	606.00	0.00	1,818.00	25.00
41600	LONGEVITY	13,086.96	10,053.24	10,645.95	0.00	2,441.01	81.34
41630	ONE TIME MOU PAYMENTS	0.00	2,806.69	23,737.89	0.00	(23,737.89)	0.00
41700	ANNUAL LEAVE BUYBACK	21,659.37	0.00	21,673.34	0.00	(13.97)	100.06
41710	ANNUAL LEAVE OVER MAX	6,534.00	0.00	0.00	0.00	6,534.00	0.00
41910	PERS-NORMAL	146,771.50	10,299.89	29,561.65	0.00	117,209.85	20.14
41912	PERS-UNFUNDED	355,246.00	30,622.44	91,867.32	0.00	263,378.68	25.86

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41920	MEDICARE	46,194.99	3,393.17	10,493.21	0.00	35,701.78	22.71
41929	SHORT TERM DISABILITY	3,999.49	254.62	792.91	0.00	3,206.58	19.82
41930	LONG TERM DISABILITY	8,498.92	541.14	1,683.46	0.00	6,815.46	19.80
41931	WORKERS COMP	26,417.55	1,605.62	4,974.74	0.00	21,442.81	18.83
41932	STATE UNEMPLOYMENT INSURANCE	776.72	57.22	178.82	0.00	597.90	23.02
41940	HEALTH INSURANCE	273,317.77	15,678.97	48,307.64	0.00	225,010.13	17.67
41945	OPT OUT HEALTH INSURANCE	54,912.00	5,245.97	15,737.92	0.00	39,174.08	28.66
41946	LIFE INSURANCE	10,373.67	660.45	2,054.59	0.00	8,319.08	19.80
41996	VACANCY FACTOR	(57,676.00)	0.00	0.00	0.00	(57,676.00)	0.00
TOTAL FOR SALARIES-BENEFITS		2,390,049.19	182,035.94	556,809.95	0.00	1,833,239.24	23.29
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	13,000.00	1,524.97	2,285.93	2,500.00	8,214.07	36.81
42033	CONSTRUCTION MATERIALS	166,650.00	22,490.72	39,830.36	72,606.22	54,213.42	67.46
42034	SAFETY MATERIALS/CONSTRUCTION	8,500.00	1,408.37	1,965.69	1,000.00	5,534.31	34.89
42055	COMPUTER EQUIPMENT &	3,365.00	74.27	412.88	0.00	2,952.12	12.26
42100	UNIFORM EXPENSE	9,694.00	0.00	0.00	0.00	9,694.00	0.00
42101	SAFETY SHOES - MOU ITEM	3,101.00	0.00	0.00	0.00	3,101.00	0.00
42200	ADVERTISING EXPENSE	1,200.00	0.00	514.00	2,155.25	(1,469.25)	222.43
42300	WIRELESS COMMUNICATION	13,125.00	1,123.57	2,249.48	0.00	10,875.52	17.13
42310	PHONES, FAX, ISDN LINES	5,298.00	387.38	1,162.16	0.00	4,135.84	21.93
42320	POSTAGE & SHIPPING	151.00	0.00	0.00	0.00	151.00	0.00
42340	OFFICE SUPPLIES	200.00	38.25	52.27	0.00	147.73	26.13
42345	FIRST AID KIT SUPPLIES	547.00	0.00	100.04	0.00	446.96	18.28
42350	PROGRAM EXPENDITURES	13,389.00	1,554.16	2,121.40	0.00	11,267.60	15.84
42360	CLEANING/JANITORIAL SUPPLIES	500.00	0.00	0.00	0.00	500.00	0.00
42440	GASOLINE	1,479.00	0.00	0.00	0.00	1,479.00	0.00
42441	UNLEADED FUEL	1,500.00	220.60	648.07	0.00	851.93	43.20
42442	DIESEL FUEL	500.00	23.73	70.08	0.00	429.92	14.01
42600	MOTOR POOL RENTAL	406,103.50	0.00	0.00	0.00	406,103.50	0.00
42605	RETAINED VEHICLE EXPENSE	11,100.00	0.00	0.00	0.00	11,100.00	0.00
42610	DIRECT VEHICLE EXPENSE	1,798.00	0.00	0.00	0.00	1,798.00	0.00
42700	OTHER EQUIPMENT RENTAL	5,745.72	736.79	746.18	4,126.54	873.00	84.80
42710	MILEAGE/VEHICLE EXP REIMB	3,126.00	0.00	0.00	0.00	3,126.00	0.00
42810	BUILDING MAINTENANCE	0.00	6,537.90	6,537.90	0.00	(6,537.90)	0.00
42813	MTCE & REPAIR - EQUIP & FAC	508,189.50	24,365.32	41,688.23	160,692.83	305,808.44	39.82
42816	MOWING/LANDSCAPE CONTRACTS	79,896.00	8,800.00	8,800.00	15,150.50	55,945.50	29.97
42822	VANDALISM	13,000.00	1,958.00	1,958.00	13,000.00	(1,958.00)	115.06
42900	PROF. & CONT. SVCS	1,511,639.00	44,349.74	159,643.12	682,858.24	669,137.64	55.73
42960	INDIRECT SPEC DST COUNTY ADMIN	149,134.00	0.00	0.00	0.00	149,134.00	0.00
43200	CONFERENCE, TRAINING & TRAVEL	5,000.00	0.00	0.00	0.00	5,000.00	0.00

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43715	REGULATORY PERMIT & USE FEES	11,919.00	0.00	1,659.97	1,000.00	9,259.03	22.31
43716	JOB REQ CERTIFICATES & LICENSE	5,058.00	0.00	0.00	0.00	5,058.00	0.00
43722	PREVENTION & MAINTENANCE	252,562.67	3,394.88	5,485.88	117,801.98	129,274.81	48.81
TOTAL FOR SERVICES-SUPPLIES		3,206,470.39	118,988.65	277,931.64	1,072,891.56	1,855,647.19	42.12
CAPITAL OUTLAY							
45200	MACHINERY, EQUIPMENT, & FIXTUR	8,657.00	0.00	0.00	7,930.40	726.60	91.60
TOTAL FOR CAPITAL OUTLAY		8,657.00	0.00	0.00	7,930.40	726.60	91.60
TOTAL FOR MAINTENANCE SERVICES		5,605,176.58	301,024.59	834,741.59	1,080,821.96	3,689,613.03	34.17

47 COMMUNITY SERVICES

SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	2,069,673.69	112,867.81	326,792.61	0.00	1,742,881.08	15.78
41141	SP COMP-BILINGUAL	11,374.80	875.00	2,125.00	0.00	9,249.80	18.68
41200	TEMPORARY EMPLOYEES	1,891,812.91	110,224.56	376,772.47	0.00	1,515,040.44	19.91
41300	OVERTIME	1,800.00	0.00	960.83	0.00	839.17	53.37
41400	SPECIAL DUTY PAY	1,460.00	290.69	755.49	0.00	704.51	51.74
41410	AUTO ALLOWANCE	4,896.00	376.62	1,156.76	0.00	3,739.24	23.62
41500	DEFERRED COMPENSATION MATCH	8,362.96	1,110.00	1,110.00	0.00	7,252.96	13.27
41510	PST DEFERRED COMPENSATION	20,302.56	1,194.37	4,115.81	0.00	16,186.75	20.27
41520	TIERED EMP DEF COMPENSATION	4,948.67	1,350.00	1,350.00	0.00	3,598.67	27.28
41530	TIERED RHS BENEFIT	3,351.20	850.00	850.00	0.00	2,501.20	25.36
41600	LONGEVITY	9,000.00	9,000.00	9,000.00	0.00	0.00	100.00
41630	ONE TIME MOU PAYMENTS	0.00	6,120.40	30,028.65	0.00	(30,028.65)	0.00
41660	TUITION REIMBURSEMENT	2,500.00	0.00	0.00	0.00	2,500.00	0.00
41700	ANNUAL LEAVE BUYBACK	27,801.00	0.00	19,206.71	0.00	8,594.29	69.08
41710	ANNUAL LEAVE OVER MAX	11,321.00	0.00	0.00	0.00	11,321.00	0.00
41910	PERS-NORMAL	290,627.20	16,104.02	45,459.00	0.00	245,168.20	15.64
41912	PERS-UNFUNDED	454,279.00	39,159.10	117,477.30	0.00	336,801.70	25.86
41920	MEDICARE	92,392.15	5,576.70	17,240.47	0.00	75,151.68	18.66
41929	SHORT TERM DISABILITY	6,664.13	361.88	1,047.51	0.00	5,616.62	15.71
41930	LONG TERM DISABILITY	10,785.83	768.96	2,225.91	0.00	8,559.92	20.63
41931	WORKERS COMP	78,813.20	4,422.24	13,960.43	0.00	64,852.77	17.71
41932	STATE UNEMPLOYMENT INSURANCE	2,024.17	121.58	387.47	0.00	1,636.70	19.14
41940	HEALTH INSURANCE	332,281.03	13,788.64	41,365.13	0.00	290,915.90	12.44
41945	OPT OUT HEALTH INSURANCE	61,650.00	4,387.50	11,162.50	0.00	50,487.50	18.10
41946	LIFE INSURANCE	17,304.87	938.58	2,716.93	0.00	14,587.94	15.70
41996	VACANCY FACTOR	(193,885.00)	0.00	0.00	0.00	(193,885.00)	0.00
41997	BUDGETARY/PAYROLL	(475.00)	0.00	0.00	0.00	(475.00)	0.00
TOTAL FOR SALARIES-BENEFITS		5,221,066.37	329,888.65	1,027,266.98	0.00	4,193,799.39	19.67

SERVICES-SUPPLIES

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42001	APPOINTED OFFICIAL STIPEND	5,400.00	0.00	700.00	0.00	4,700.00	12.96
42010	SUBSCRIPTIONS	6,587.00	152.75	1,094.18	0.00	5,492.82	16.61
42012	AUDIO VISUAL	6,000.00	0.00	0.00	0.00	6,000.00	0.00
42014	ELECTRONIC INFO RESOURCES	11,850.00	861.68	861.68	10,000.00	988.32	91.65
42020	MINOR EQUIPMENT & FURNITURE	21,150.10	3,452.65	3,636.46	14,637.10	2,876.54	86.39
42034	SAFETY MATERIALS/CONSTRUCTION	0.00	498.10	498.10	0.00	(498.10)	0.00
42055	COMPUTER EQUIPMENT &	6,200.00	208.90	2,269.50	0.00	3,930.50	36.60
42100	UNIFORM EXPENSE	9,750.00	0.00	1,745.89	0.00	8,004.11	17.90
42220	PROMOTIONAL/PUBLIC OUTREACH	7,000.00	991.93	1,417.19	0.00	5,582.81	20.24
42300	WIRELESS COMMUNICATION	12,424.00	1,273.78	2,932.42	0.00	9,491.58	23.60
42310	PHONES, FAX, ISDN LINES	2,500.00	170.98	512.94	0.00	1,987.06	20.51
42320	POSTAGE & SHIPPING	26,800.00	5.27	8,166.47	0.00	18,633.53	30.47
42340	OFFICE SUPPLIES	11,330.00	346.15	2,122.06	0.00	9,207.94	18.72
42345	FIRST AID KIT SUPPLIES	1,855.00	0.00	10.43	0.00	1,844.57	0.56
42350	PROGRAM EXPENDITURES	194,775.39	8,583.75	26,407.41	0.00	168,367.98	13.55
42441	UNLEADED FUEL	1,825.00	0.00	96.00	0.00	1,729.00	5.26
42630	PARTS/LABOR ON CITY VEHICLES	700.00	0.00	0.00	0.00	700.00	0.00
42700	OTHER EQUIPMENT RENTAL	8,200.00	0.00	3,567.80	0.00	4,632.20	43.50
42710	MILEAGE/VEHICLE EXP REIMB	0.00	52.98	52.98	0.00	(52.98)	0.00
42800	EQUIPMENT MAINTENANCE	22,956.00	0.00	0.00	12,656.00	10,300.00	55.13
42810	BUILDING MAINTENANCE	2,500.00	0.00	0.00	0.00	2,500.00	0.00
42813	MTCE & REPAIR - EQUIP & FAC	13,000.00	0.00	1,585.96	0.00	11,414.04	12.19
42900	PROF. & CONT. SVCS	494,139.56	25,754.57	167,061.13	151,347.53	175,730.90	64.43
43000	INSURANCE & SURETY BONDS	8,500.00	0.00	6,555.00	0.00	1,945.00	77.11
43100	MEMBERSHIP & DUES	8,989.00	0.00	2,151.00	0.00	6,838.00	23.92
43200	CONFERENCE, TRAINING & TRAVEL	19,755.00	4,124.01	4,162.40	14,000.00	1,592.60	91.93
43500	BOOKS	20,000.00	0.00	0.00	15,000.00	5,000.00	75.00
43501	CHILDREN'S BOOKS	30,000.00	218.35	218.35	21,781.65	8,000.00	73.33
43505	PASSPORT EXPENSES	31,675.00	(362.21)	654.41	400.00	30,620.59	3.32
TOTAL FOR SERVICES-SUPPLIES		985,861.05	46,333.64	238,479.76	239,822.28	507,559.01	48.51
CAPITAL OUTLAY							
45100	LICENSED VEHICLES	0.00	0.00	1,500.00	0.00	(1,500.00)	0.00
TOTAL FOR CAPITAL OUTLAY		0.00	0.00	1,500.00	0.00	(1,500.00)	0.00
TOTAL FOR COMMUNITY SERVICES		6,206,927.42	376,222.29	1,267,246.74	239,822.28	4,699,858.40	24.28
65 PARK MAINTENANCE/LMD							
SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	932,548.56	49,393.70	151,882.21	0.00	780,666.35	16.28
41110	CONTRACTUAL OBLIGATION	0.00	1,279.28	3,739.04	0.00	(3,739.04)	0.00
41141	SP COMP-BILINGUAL	13,649.96	175.00	537.50	0.00	13,112.46	3.93

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41200	TEMPORARY EMPLOYEES	210,056.86	4,663.15	10,306.59	0.00	199,750.27	4.90
41300	OVERTIME	125,868.00	7,447.79	35,404.97	0.00	90,463.03	28.12
41320	COMP TIME	0.00	465.90	1,118.16	0.00	(1,118.16)	0.00
41400	SPECIAL DUTY PAY	4,956.00	2,828.85	8,637.56	0.00	(3,681.56)	174.28
41410	AUTO ALLOWANCE	864.00	66.46	204.13	0.00	659.87	23.62
41500	DEFERRED COMPENSATION MATCH	5,637.04	600.00	600.00	0.00	5,037.04	10.64
41510	PST DEFERRED COMPENSATION	1,369.44	60.61	133.98	0.00	1,235.46	9.78
41520	TIERED EMP DEF COMPENSATION	3,451.33	750.00	750.00	0.00	2,701.33	21.73
41530	TIERED RHS BENEFIT	1,448.80	350.00	350.00	0.00	1,098.80	24.15
41600	LONGEVITY	3,300.00	3,100.00	3,100.00	0.00	200.00	93.93
41630	ONE TIME MOU PAYMENTS	0.00	1,982.32	14,036.32	0.00	(14,036.32)	0.00
41700	ANNUAL LEAVE BUYBACK	17,825.00	0.00	15,498.70	0.00	2,326.30	86.94
41710	ANNUAL LEAVE OVER MAX	2,584.00	0.00	0.00	0.00	2,584.00	0.00
41910	PERS-NORMAL	118,661.35	6,062.74	18,015.63	0.00	100,645.72	15.18
41912	PERS-UNFUNDED	195,567.00	16,857.98	50,573.94	0.00	144,993.06	25.86
41920	MEDICARE	37,959.58	2,129.77	7,265.12	0.00	30,694.46	19.13
41929	SHORT TERM DISABILITY	3,140.74	158.05	485.98	0.00	2,654.76	15.47
41930	LONG TERM DISABILITY	10,049.53	335.86	1,032.74	0.00	9,016.79	10.27
41931	WORKERS COMP	23,664.00	1,089.52	3,273.51	0.00	20,390.49	13.83
41932	STATE UNEMPLOYMENT INSURANCE	670.40	36.99	126.52	0.00	543.88	18.87
41940	HEALTH INSURANCE	180,453.41	9,441.82	27,963.10	0.00	152,490.31	15.49
41945	OPT OUT HEALTH INSURANCE	46,350.00	3,862.50	11,587.50	0.00	34,762.50	25.00
41946	LIFE INSURANCE	8,126.53	410.00	1,260.70	0.00	6,865.83	15.51
41996	VACANCY FACTOR	(124,269.00)	0.00	0.00	0.00	(124,269.00)	0.00
41997	BUDGETARY/PAYROLL	(13,250.00)	0.00	0.00	0.00	(13,250.00)	0.00
TOTAL FOR SALARIES-BENEFITS		1,810,682.53	113,548.29	367,883.90	0.00	1,442,798.63	20.31
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	17,435.70	2,974.25	5,363.71	12,435.70	(363.71)	102.08
42033	CONSTRUCTION MATERIALS	205,240.00	33,328.00	74,667.23	145,173.72	(14,600.95)	107.11
42034	SAFETY MATERIALS/CONSTRUCTION	1,000.00	1,480.53	2,100.12	0.00	(1,100.12)	210.01
42055	COMPUTER EQUIPMENT &	147.00	369.72	1,798.64	0.00	(1,651.64)	1,223.56
42100	UNIFORM EXPENSE	5,764.00	0.00	0.00	0.00	5,764.00	0.00
42101	SAFETY SHOES - MOU ITEM	2,975.00	0.00	0.00	0.00	2,975.00	0.00
42200	ADVERTISING EXPENSE	300.00	547.41	547.41	0.00	(247.41)	182.47
42300	WIRELESS COMMUNICATION	4,275.00	1,079.26	2,010.63	0.00	2,264.37	47.03
42310	PHONES, FAX, ISDN LINES	2,699.00	3,366.46	4,545.14	0.00	(1,846.14)	168.40
42320	POSTAGE & SHIPPING	50.00	0.00	0.00	0.00	50.00	0.00
42340	OFFICE SUPPLIES	1,000.00	12.51	52.11	0.00	947.89	5.21
42350	PROGRAM EXPENDITURES	46,305.00	399.54	7,708.79	40,717.10	(2,120.89)	104.58
42430	WATER UTILITY	0.00	433.70	767.63	0.00	(767.63)	0.00

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
42435	RECYCLED WATER UTILITY	0.00	65.02	184.30	0.00	(184.30)	0.00
42441	UNLEADED FUEL	2,244.00	189.35	871.05	0.00	1,372.95	38.81
42500	RENTS & LEASES	3,800.00	0.00	0.00	0.00	3,800.00	0.00
42600	MOTOR POOL RENTAL	98,841.00	0.00	0.00	0.00	98,841.00	0.00
42605	RETAINED VEHICLE EXPENSE	11,765.00	0.00	0.00	0.00	11,765.00	0.00
42610	DIRECT VEHICLE EXPENSE	2,900.00	0.00	0.00	0.00	2,900.00	0.00
42700	OTHER EQUIPMENT RENTAL	24,500.00	4,405.12	4,405.12	594.88	19,500.00	20.40
42811	MAINTENANCE & OPERATING	300,000.00	1,335.21	4,186.96	0.00	295,813.04	1.39
42813	MTCE & REPAIR - EQUIP & FAC	362,154.55	56,262.73	67,382.46	335,337.29	(40,565.20)	111.20
42815	SCADA MAINTENANCE	4,000.00	0.00	0.00	0.00	4,000.00	0.00
42816	MOWING/LANDSCAPE CONTRACTS	1,613,763.93	195,845.30	279,077.92	1,038,890.70	295,795.31	81.67
42819	GRAFFITI REMOVAL	10,135.00	16,223.15	34,440.65	115,667.50	(139,973.15)	1,481.08
42821	TREE MAINTENANCE	995,621.65	150,364.25	150,364.25	679,240.40	166,017.00	83.32
42900	PROF. & CONT. SVCS	526,092.71	21,358.05	60,918.98	53,257.41	411,916.32	21.70
42910	REFUSE DISPOSAL	0.00	966.58	966.58	0.00	(966.58)	0.00
43200	CONFERENCE, TRAINING & TRAVEL	2,500.00	0.00	0.00	0.00	2,500.00	0.00
43715	REGULATORY PERMIT & USE FEES	1,856.00	0.00	1,218.00	0.00	638.00	65.62
43716	JOB REQ CERTIFICATES & LICENSE	1,200.00	0.00	0.00	0.00	1,200.00	0.00
43722	PREVENTION & MAINTENANCE	231,171.27	21,743.61	21,743.61	177,516.08	31,911.58	86.19
TOTAL FOR SERVICES-SUPPLIES		4,479,735.81	512,749.75	725,321.29	2,598,830.78	1,155,583.74	74.20
CAPITAL OUTLAY							
45100	LICENSED VEHICLES	25,775.00	0.00	0.00	0.00	25,775.00	0.00
TOTAL FOR CAPITAL OUTLAY		25,775.00	0.00	0.00	0.00	25,775.00	0.00
TOTAL FOR PARK MAINTENANCE/LMD		6,316,193.34	626,298.04	1,093,205.19	2,598,830.78	2,624,157.37	58.45
FUN 110		177,140,411.89	13,554,837.62	34,818,254.23	12,243,328.91	130,078,828.75	26.56

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		<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance (Over)/Under</u>	<u>% Used</u>
232	CIVIC CENTER						
00	NOT APPLICABLE						
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	352,730.63	0.00	0.00	0.00	352,730.63	0.00
43301	CAPITAL IMPROVEMENTS	41,240.00	0.00	0.00	41,240.00	0.00	100.00
TOTAL FOR SERVICES-SUPPLIES		393,970.63	0.00	0.00	41,240.00	352,730.63	10.46
TOTAL FOR NOT APPLICABLE		393,970.63	0.00	0.00	41,240.00	352,730.63	10.46
41	MAINTENANCE SERVICES						
	SERVICES-SUPPLIES						
42033	CONSTRUCTION MATERIALS	3,900.00	0.00	176.16	2,406.00	1,317.84	66.20
42410	ELECTRIC UTILITY	60,000.00	7,083.98	11,624.03	0.00	48,375.97	19.37
42420	NATURAL GAS UTILITY	1,040.00	15.86	48.99	0.00	991.01	4.71
42430	WATER UTILITY	22,680.00	1,401.86	5,373.58	0.00	17,306.42	23.69
42813	MTCE & REPAIR - EQUIP & FAC	22,487.99	3,240.00	3,240.00	14,862.99	4,385.00	80.50
42822	VANDALISM	1,000.00	0.00	0.00	1,000.00	0.00	100.00
42900	PROF. & CONT. SVCS	35,752.00	2,683.09	5,421.28	1,734.00	28,596.72	20.01
43715	REGULATORY PERMIT & USE FEES	230.00	0.00	164.83	0.00	65.17	71.66
43722	PREVENTION & MAINTENANCE	13,191.70	1,023.79	1,023.79	5,127.96	7,039.95	46.63
TOTAL FOR SERVICES-SUPPLIES		160,281.69	15,448.58	27,072.66	25,130.95	108,078.08	32.56
TOTAL FOR MAINTENANCE SERVICES		160,281.69	15,448.58	27,072.66	25,130.95	108,078.08	32.56
FUN 232		554,252.32	15,448.58	27,072.66	66,370.95	460,808.71	16.85

Ledger: GL
Level: OB

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
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Fiscal Year: 2022
Fiscal Period: 03

	Expenditures				Balance	%
	<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>(Over)/Under</u>	<u>Used</u>
GRAND TOTAL	177,694,664.21	13,570,286.20	34,845,326.89	12,309,699.86	130,539,637.46	26.53

		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
578	ELECTRIC UTILITY FUND						
00	NOT APPLICABLE						
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	1,374,423.95	0.00	0.00	0.00	1,374,423.95	0.00
42033	CONSTRUCTION MATERIALS	0.00	0.00	919.84	0.00	(919.84)	0.00
42200	ADVERTISING EXPENSE	0.00	18.19	650.41	0.00	(650.41)	0.00
42900	PROF. & CONT. SVCS	173,881.95	20,398.70	23,203.65	170,678.30	(20,000.00)	111.50
43301	CAPITAL IMPROVEMENTS	0.00	0.00	0.00	50,000.00	(50,000.00)	0.00
TOTAL FOR SERVICES-SUPPLIES		1,548,305.90	20,416.89	24,773.90	220,678.30	1,302,853.70	15.85
	CAPITAL OUTLAY						
45100	LICENSED VEHICLES	0.00	0.00	30,324.52	0.00	(30,324.52)	0.00
TOTAL FOR CAPITAL OUTLAY		0.00	0.00	30,324.52	0.00	(30,324.52)	0.00
TOTAL FOR NOT APPLICABLE		1,548,305.90	20,416.89	55,098.42	220,678.30	1,272,529.18	17.81
18	ADMIN SERVICES-FINANCE						
	SALARIES-BENEFITS						
41912	PERS-UNFUNDED	2,002.00	172.58	517.74	0.00	1,484.26	25.86
TOTAL FOR SALARIES-BENEFITS		2,002.00	172.58	517.74	0.00	1,484.26	25.86
TOTAL FOR ADMIN SERVICES-FINANCE		2,002.00	172.58	517.74	0.00	1,484.26	25.86
39	PUBLIC WORKS						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	106,730.23	5,038.37	14,846.36	0.00	91,883.87	13.91
41141	SP COMP-BILINGUAL	273.00	11.78	22.28	0.00	250.72	8.16
41200	TEMPORARY EMPLOYEES	2,247.28	157.68	488.47	0.00	1,758.81	21.73
41300	OVERTIME	100.00	0.00	0.00	0.00	100.00	0.00
41400	SPECIAL DUTY PAY	2,390.00	183.60	563.91	0.00	1,826.09	23.59
41500	DEFERRED COMPENSATION MATCH	665.00	0.00	0.00	0.00	665.00	0.00
41510	PST DEFERRED COMPENSATION	29.21	2.05	6.35	0.00	22.86	21.73
41520	TIERED EMP DEF COMPENSATION	210.00	52.50	52.50	0.00	157.50	25.00
41530	TIERED RHS BENEFIT	210.00	52.50	52.50	0.00	157.50	25.00
41600	LONGEVITY	560.00	560.00	560.00	0.00	0.00	100.00
41630	ONE TIME MOU PAYMENTS	0.00	954.70	1,740.40	0.00	(1,740.40)	0.00
41700	ANNUAL LEAVE BUYBACK	5,274.21	0.00	5,371.80	0.00	(97.59)	101.85
41710	ANNUAL LEAVE OVER MAX	634.00	0.00	0.00	0.00	634.00	0.00
41910	PERS-NORMAL	12,251.45	638.99	1,757.31	0.00	10,494.14	14.34
41912	PERS-UNFUNDED	32,738.00	2,822.05	8,466.15	0.00	24,271.85	25.86
41920	MEDICARE	3,515.44	193.94	663.18	0.00	2,852.26	18.86
41929	SHORT TERM DISABILITY	341.53	25.78	78.99	0.00	262.54	23.12
41930	LONG TERM DISABILITY	725.76	54.80	167.90	0.00	557.86	23.13
41931	WORKERS COMP	2,185.01	99.86	294.52	0.00	1,890.49	13.47

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
41932	STATE UNEMPLOYMENT INSURANCE	58.79	3.30	11.36	0.00	47.43	19.32
41940	HEALTH INSURANCE	16,856.79	1,570.36	4,710.95	0.00	12,145.84	27.94
41946	LIFE INSURANCE	885.87	66.90	204.97	0.00	680.90	23.13
41996	VACANCY FACTOR	(5,165.00)	0.00	0.00	0.00	(5,165.00)	0.00
TOTAL FOR SALARIES-BENEFITS		183,716.57	12,489.16	40,059.90	0.00	143,656.67	21.80
SERVICES-SUPPLIES							
42101	SAFETY SHOES - MOU ITEM	343.25	0.00	0.00	0.00	343.25	0.00
TOTAL FOR SERVICES-SUPPLIES		343.25	0.00	0.00	0.00	343.25	0.00
TOTAL FOR PUBLIC WORKS		184,059.82	12,489.16	40,059.90	0.00	143,999.92	21.76

52 ELECTRIC UTILITY
SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	1,039,572.03	64,076.19	209,740.40	0.00	829,831.63	20.17
41110	CONTRACTUAL OBLIGATION	0.00	8.39	72.93	0.00	(72.93)	0.00
41140	FINAL LEAVE	0.00	1,087.97	1,490.50	0.00	(1,490.50)	0.00
41141	SP COMP-BILINGUAL	1,342.23	73.49	287.35	0.00	1,054.88	21.40
41147	SP COMP-GRADE 4 CERT PAY	2,040.00	156.90	481.94	0.00	1,558.06	23.62
41148	SP COMP-GRADE 5 CERT PAY	2,142.00	164.66	505.83	0.00	1,636.17	23.61
41200	TEMPORARY EMPLOYEES	2,150.47	79.27	259.16	0.00	1,891.31	12.05
41300	OVERTIME	18,158.00	918.83	1,148.78	0.00	17,009.22	6.32
41320	COMP TIME	0.00	0.00	60.49	0.00	(60.49)	0.00
41400	SPECIAL DUTY PAY	5,253.00	157.88	620.92	0.00	4,632.08	11.82
41410	AUTO ALLOWANCE	4,030.80	190.52	585.17	0.00	3,445.63	14.51
41500	DEFERRED COMPENSATION MATCH	7,854.00	331.27	331.27	0.00	7,522.73	4.21
41510	PST DEFERRED COMPENSATION	12.48	0.00	0.00	0.00	12.48	0.00
41520	TIERED EMP DEF COMPENSATION	2,478.00	619.50	619.50	0.00	1,858.50	25.00
41530	TIERED RHS BENEFIT	1,758.00	439.50	439.50	0.00	1,318.50	25.00
41600	LONGEVITY	13,704.10	7,132.62	8,807.40	0.00	4,896.70	64.26
41630	ONE TIME MOU PAYMENTS	0.00	3,047.29	18,905.15	0.00	(18,905.15)	0.00
41700	ANNUAL LEAVE BUYBACK	23,747.80	0.00	23,200.22	0.00	547.58	97.69
41710	ANNUAL LEAVE OVER MAX	6,783.00	0.00	0.00	0.00	6,783.00	0.00
41910	PERS-NORMAL	120,816.53	8,175.17	25,025.36	0.00	95,791.17	20.71
41912	PERS-UNFUNDED	312,400.00	26,929.10	80,787.30	0.00	231,612.70	25.86
41920	MEDICARE	34,101.13	2,341.22	7,950.30	0.00	26,150.83	23.31
41929	SHORT TERM DISABILITY	3,326.63	207.55	674.92	0.00	2,651.71	20.28
41930	LONG TERM DISABILITY	7,069.09	441.08	1,435.06	0.00	5,634.03	20.30
41931	WORKERS COMP	21,452.02	1,287.14	4,209.84	0.00	17,242.18	19.62
41932	STATE UNEMPLOYMENT INSURANCE	570.44	39.27	135.36	0.00	435.08	23.72
41940	HEALTH INSURANCE	146,565.80	10,526.50	31,264.04	0.00	115,301.76	21.33
41941	RETIREEES HEALTH INSURANCE/OPEB	166,068.00	0.00	0.00	0.00	166,068.00	0.00

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
41945	OPT OUT HEALTH INSURANCE	28,740.00	2,295.03	6,885.09	0.00	21,854.91	23.95
41946	LIFE INSURANCE	8,628.45	538.39	1,751.72	0.00	6,876.73	20.30
41996	VACANCY FACTOR	(116,695.00)	0.00	0.00	0.00	(116,695.00)	0.00
TOTAL FOR SALARIES-BENEFITS		1,864,069.00	131,264.73	427,675.50	0.00	1,436,393.50	22.94
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	500.00	0.00	0.00	0.00	500.00	0.00
42033	CONSTRUCTION MATERIALS	180,000.00	68.62	68.62	173,100.00	6,831.38	96.20
42034	SAFETY MATERIALS/CONSTRUCTION	23.20	0.00	0.00	0.00	23.20	0.00
42055	COMPUTER EQUIPMENT &	846.53	43.46	136.30	156.90	553.33	34.63
42101	SAFETY SHOES - MOU ITEM	962.50	0.00	0.00	0.00	962.50	0.00
42200	ADVERTISING EXPENSE	510.00	349.52	349.52	0.00	160.48	68.53
42220	PROMOTIONAL/PUBLIC OUTREACH	274.18	0.00	0.00	137.09	137.09	50.00
42300	WIRELESS COMMUNICATION	5,333.96	418.80	852.08	0.00	4,481.88	15.97
42310	PHONES, FAX, ISDN LINES	3,743.00	257.58	777.10	0.00	2,965.90	20.76
42320	POSTAGE & SHIPPING	8,270.73	612.57	1,200.32	2,578.78	4,491.63	45.69
42340	OFFICE SUPPLIES	957.15	58.26	114.63	0.00	842.52	11.97
42350	PROGRAM EXPENDITURES	1,220.11	38.59	152.04	200.00	868.07	28.85
42360	CLEANING/JANITORIAL SUPPLIES	0.00	0.00	25.39	0.00	(25.39)	0.00
42410	ELECTRIC UTILITY	25,274.00	1,237.43	4,065.91	0.00	21,208.09	16.08
42415	WHOLESALE ENERGY	9,562,581.00	1,153,832.48	1,754,067.27	33,030.00	7,775,483.73	18.68
42500	RENTS & LEASES	148,367.00	37,091.75	37,091.75	0.00	111,275.25	25.00
42600	MOTOR POOL RENTAL	13,520.78	0.00	0.00	0.00	13,520.78	0.00
42605	RETAINED VEHICLE EXPENSE	2,096.64	0.00	0.00	0.00	2,096.64	0.00
42700	OTHER EQUIPMENT RENTAL	500.00	0.00	0.00	250.00	250.00	50.00
42710	MILEAGE/VEHICLE EXP REIMB	20.00	0.00	0.00	0.00	20.00	0.00
42813	MTCE & REPAIR - EQUIP & FAC	139,368.04	28,785.69	28,785.69	102,361.60	8,220.75	94.10
42815	SCADA MAINTENANCE	16,360.00	0.00	656.00	15,704.00	0.00	100.00
42900	PROF. & CONT. SVCS	855,381.47	24,327.89	54,551.58	557,046.16	243,783.73	71.49
42902	CUST CREDIT CRD PROCESSING FEE	13,571.21	64.54	1,254.05	349.47	11,967.69	11.81
43000	INSURANCE & SURETY BONDS	7,352.00	0.00	0.00	0.00	7,352.00	0.00
43100	MEMBERSHIP & DUES	19,732.00	0.00	12,099.00	0.00	7,633.00	61.31
43200	CONFERENCE, TRAINING & TRAVEL	6,790.00	14.00	14.00	0.00	6,776.00	0.20
43400	LEGAL SERVICES-SPECIAL COUNSEL	109,172.00	0.00	0.00	100,000.00	9,172.00	91.59
43715	REGULATORY PERMIT & USE FEES	4,026.00	870.08	870.08	0.00	3,155.92	21.61
43722	PREVENTION & MAINTENANCE	189,365.84	0.00	0.00	169,215.84	20,150.00	89.35
44100	INTEREST EXPENSE	194,589.00	19,415.61	20,236.79	0.00	174,352.21	10.39
44200	BAD DEBTS EXPENSE	225,319.00	0.00	0.00	0.00	225,319.00	0.00
44610	ADMINISTRATIVE SERVICES CHARGE	888,131.00	222,032.75	222,032.75	0.00	666,098.25	25.00
44613	INTERNAL SVC CHRG-WAREHOUSE	5,837.00	1,459.25	1,459.25	0.00	4,377.75	25.00
44614	INTERNAL SVC CHRG-INFO TECH	404,024.00	101,006.00	101,006.00	0.00	303,018.00	25.00

Ledger: GL
Level: OB

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
09/30/2021

Fiscal Year: 2022
Fiscal Period: 03

	<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
44630 FRANCHISE IN LIEU CHARGE	300,940.00	46,177.06	46,177.06	0.00	254,762.94	15.34
TOTAL FOR SERVICES-SUPPLIES	13,334,959.34	1,638,161.93	2,288,043.18	1,154,129.84	9,892,786.32	25.81
TOTAL FOR ELECTRIC UTILITY	15,199,028.34	1,769,426.66	2,715,718.68	1,154,129.84	11,329,179.82	25.46
FUN 578	16,933,396.06	1,802,505.29	2,811,394.74	1,374,808.14	12,747,193.18	24.72

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
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	<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
579 ELECTRIC UTILITY GRANT/AGRMT						
52 ELECTRIC UTILITY						
SALARIES-BENEFITS						
TOTAL FOR SALARIES-BENEFITS	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FOR ELECTRIC UTILITY	0.00	0.00	0.00	0.00	0.00	0.00
FUN 579	0.00	0.00	0.00	0.00	0.00	0.00

Ledger: GL
Level: OB

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
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Fiscal Year: 2022
Fiscal Period: 03

	Expenditures				Balance	%
	<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>(Over)/Under</u>	<u>Used</u>
GRAND TOTAL	16,933,396.06	1,802,505.29	2,811,394.74	1,374,808.14	12,747,193.18	24.72

Ledger: GL
Level: OB

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
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Fiscal Year: 2022
Fiscal Period: 03

	<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
453 2012 WATER REV REF PROJECT						
00 NOT APPLICABLE						
SERVICES-SUPPLIES						
40000 CIP & PROJECT EXPENSE	8,250.00	0.00	0.00	0.00	8,250.00	0.00
43300 CONSTRUCTION CONTRACTS	2,728,453.51	894,815.09	1,299,089.85	1,429,363.66	0.00	100.00
TOTAL FOR SERVICES-SUPPLIES	2,736,703.51	894,815.09	1,299,089.85	1,429,363.66	8,250.00	99.69
TOTAL FOR NOT APPLICABLE	2,736,703.51	894,815.09	1,299,089.85	1,429,363.66	8,250.00	99.69
FUN 453	2,736,703.51	894,815.09	1,299,089.85	1,429,363.66	8,250.00	99.69

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		<u>Budget</u>	<u>Month to</u>	<u>Expenditures</u> <u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
507	WATER CAPACITY						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	0.00	314.06	1,766.11	0.00	(1,766.11)	0.00
41910	PERS-NORMAL	0.00	35.77	201.17	0.00	(201.17)	0.00
41920	MEDICARE	0.00	9.52	53.86	0.00	(53.86)	0.00
41931	WORKERS COMP	0.00	6.28	35.32	0.00	(35.32)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	0.16	0.89	0.00	(0.89)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	365.79	2,057.35	0.00	(2,057.35)	0.00
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	568,710.46	0.00	0.00	0.00	568,710.46	0.00
42815	SCADA MAINTENANCE	9,052.00	0.00	4,304.00	0.00	4,748.00	47.54
42900	PROF. & CONT. SVCS	480,709.60	0.00	0.00	480,709.60	0.00	100.00
43300	CONSTRUCTION CONTRACTS	319,494.78	175,754.32	175,754.32	143,740.46	0.00	100.00
43726	PROJECT MANAGEMENT	0.00	0.00	4,200.00	0.00	(4,200.00)	0.00
TOTAL FOR SERVICES-SUPPLIES		1,377,966.84	175,754.32	184,258.32	624,450.06	569,258.46	58.68
TOTAL FOR NOT APPLICABLE		1,377,966.84	176,120.11	186,315.67	624,450.06	567,201.11	58.83
50	WATER UTILITY SERVICES						
	SERVICES-SUPPLIES						
44100	INTEREST EXPENSE	490,740.00	0.00	(159,825.75)	0.00	650,565.75	(32.56)
44610	ADMINISTRATIVE SERVICES CHARGE	8,138.00	2,034.50	2,034.50	0.00	6,103.50	25.00
TOTAL FOR SERVICES-SUPPLIES		498,878.00	2,034.50	(157,791.25)	0.00	656,669.25	(31.62)
TOTAL FOR WATER UTILITY SERVICES		498,878.00	2,034.50	(157,791.25)	0.00	656,669.25	(31.62)
FUN 507		1,876,844.84	178,154.61	28,524.42	624,450.06	1,223,870.36	34.79

		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
567	RECLAIMED WATER SYSTEM						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	0.00	540.96	3,061.06	0.00	(3,061.06)	0.00
41910	PERS-NORMAL	0.00	61.61	348.66	0.00	(348.66)	0.00
41920	MEDICARE	0.00	16.54	91.54	0.00	(91.54)	0.00
41931	WORKERS COMP	0.00	10.82	61.23	0.00	(61.23)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	0.27	1.55	0.00	(1.55)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	630.20	3,564.04	0.00	(3,564.04)	0.00
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	4,256,562.82	0.00	0.00	0.00	4,256,562.82	0.00
42033	CONSTRUCTION MATERIALS	2,346.95	0.00	0.00	5,322.69	(2,975.74)	226.79
42200	ADVERTISING EXPENSE	0.00	18.20	18.20	0.00	(18.20)	0.00
42350	PROGRAM EXPENDITURES	0.00	750.00	750.00	0.00	(750.00)	0.00
42815	SCADA MAINTENANCE	3,924.00	3,135.00	3,135.00	789.00	0.00	100.00
42900	PROF. & CONT. SVCS	18,844.48	0.00	367.99	18,809.48	(332.99)	101.76
43300	CONSTRUCTION CONTRACTS	0.00	771.09	771.09	0.00	(771.09)	0.00
43301	CAPITAL IMPROVEMENTS	21,356.48	0.00	0.00	60,000.00	(38,643.52)	280.94
43727	INSPECTION	1,478.29	0.00	0.00	1,478.29	0.00	100.00
TOTAL FOR SERVICES-SUPPLIES		4,304,513.02	4,674.29	5,042.28	86,399.46	4,213,071.28	2.12
	CAPITAL OUTLAY						
45100	LICENSED VEHICLES	0.00	0.00	10,108.18	0.00	(10,108.18)	0.00
TOTAL FOR CAPITAL OUTLAY		0.00	0.00	10,108.18	0.00	(10,108.18)	0.00
TOTAL FOR NOT APPLICABLE		4,304,513.02	5,304.49	18,714.50	86,399.46	4,199,399.06	2.44
39	PUBLIC WORKS						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	6,345.29	417.95	1,159.50	0.00	5,185.79	18.27
41500	DEFERRED COMPENSATION MATCH	114.00	0.00	0.00	0.00	114.00	0.00
41520	TIERED EMP DEF COMPENSATION	36.00	9.00	9.00	0.00	27.00	25.00
41530	TIERED RHS BENEFIT	36.00	9.00	9.00	0.00	27.00	25.00
41600	LONGEVITY	96.00	96.00	96.00	0.00	0.00	100.00
41630	ONE TIME MOU PAYMENTS	0.00	126.91	126.91	0.00	(126.91)	0.00
41700	ANNUAL LEAVE BUYBACK	480.84	0.00	480.85	0.00	(0.01)	100.00
41910	PERS-NORMAL	733.66	58.55	143.01	0.00	590.65	19.49
41912	PERS-UNFUNDED	1,915.00	165.07	495.21	0.00	1,419.79	25.85
41920	MEDICARE	210.62	18.65	53.65	0.00	156.97	25.47
41929	SHORT TERM DISABILITY	20.30	1.56	4.77	0.00	15.53	23.49
41930	LONG TERM DISABILITY	43.15	3.32	10.14	0.00	33.01	23.49
41931	WORKERS COMP	126.91	7.94	21.93	0.00	104.98	17.27
41932	STATE UNEMPLOYMENT INSURANCE	3.46	0.29	0.90	0.00	2.56	26.01

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
41940	HEALTH INSURANCE	1,130.55	94.07	282.19	0.00	848.36	24.96
41946	LIFE INSURANCE	52.67	4.04	12.37	0.00	40.30	23.48
41996	VACANCY FACTOR	(320.00)	0.00	0.00	0.00	(320.00)	0.00
TOTAL FOR SALARIES-BENEFITS		11,024.45	1,012.35	2,905.43	0.00	8,119.02	26.35
SERVICES-SUPPLIES							
42101	SAFETY SHOES - MOU ITEM	21.50	0.00	0.00	0.00	21.50	0.00
TOTAL FOR SERVICES-SUPPLIES		21.50	0.00	0.00	0.00	21.50	0.00
TOTAL FOR PUBLIC WORKS		11,045.95	1,012.35	2,905.43	0.00	8,140.52	26.30

53 RECLAIMED WATER

SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	268,725.80	19,304.16	59,223.57	0.00	209,502.23	22.03
41102	SHIFT DIFFERENTIAL	0.00	13.38	86.51	0.00	(86.51)	0.00
41110	CONTRACTUAL OBLIGATION	0.00	0.00	60.52	0.00	(60.52)	0.00
41140	FINAL LEAVE	0.00	370.17	370.17	0.00	(370.17)	0.00
41300	OVERTIME	8,519.00	430.31	486.13	0.00	8,032.87	5.70
41400	SPECIAL DUTY PAY	1,984.00	318.76	774.15	0.00	1,209.85	39.01
41410	AUTO ALLOWANCE	912.00	44.30	136.06	0.00	775.94	14.91
41500	DEFERRED COMPENSATION MATCH	2,130.00	142.66	142.66	0.00	1,987.34	6.69
41520	TIERED EMP DEF COMPENSATION	900.00	225.00	225.00	0.00	675.00	25.00
41530	TIERED RHS BENEFIT	640.00	160.00	160.00	0.00	480.00	25.00
41600	LONGEVITY	2,370.97	1,779.29	1,929.03	0.00	441.94	81.36
41630	ONE TIME MOU PAYMENTS	0.00	875.66	4,697.82	0.00	(4,697.82)	0.00
41700	ANNUAL LEAVE BUYBACK	2,873.50	0.00	2,727.20	0.00	146.30	94.90
41710	ANNUAL LEAVE OVER MAX	1,605.00	0.00	0.00	0.00	1,605.00	0.00
41910	PERS-NORMAL	30,897.42	2,403.55	6,970.21	0.00	23,927.21	22.55
41912	PERS-UNFUNDED	82,756.00	7,133.63	21,400.89	0.00	61,355.11	25.86
41920	MEDICARE	8,866.31	710.95	2,131.51	0.00	6,734.80	24.04
41929	SHORT TERM DISABILITY	859.94	61.59	191.03	0.00	668.91	22.21
41930	LONG TERM DISABILITY	1,827.33	130.96	402.41	0.00	1,424.92	22.02
41931	WORKERS COMP	5,481.87	384.94	1,181.74	0.00	4,300.13	21.55
41932	STATE UNEMPLOYMENT INSURANCE	148.32	11.99	36.44	0.00	111.88	24.56
41940	HEALTH INSURANCE	29,713.25	2,466.65	7,220.71	0.00	22,492.54	24.30
41941	RETIREEES HEALTH INSURANCE/OPEB	40,506.00	0.00	0.00	0.00	40,506.00	0.00
41945	OPT OUT HEALTH INSURANCE	11,250.00	949.96	2,716.56	0.00	8,533.44	24.14
41946	LIFE INSURANCE	2,230.44	159.82	491.12	0.00	1,739.32	22.01
41996	VACANCY FACTOR	(29,716.00)	0.00	0.00	0.00	(29,716.00)	0.00
TOTAL FOR SALARIES-BENEFITS		475,481.15	38,077.73	113,761.44	0.00	361,719.71	23.92
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	515.12	0.00	0.00	0.00	515.12	0.00

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
42033	CONSTRUCTION MATERIALS	137,194.26	613.66	613.66	60,861.22	75,719.38	44.80
42034	SAFETY MATERIALS/CONSTRUCTION	5.80	0.00	0.00	0.00	5.80	0.00
42055	COMPUTER EQUIPMENT &	209.00	10.86	38.34	32.61	138.05	33.94
42101	SAFETY SHOES - MOU ITEM	371.00	0.00	0.00	0.00	371.00	0.00
42200	ADVERTISING EXPENSE	15.00	48.57	48.57	0.00	(33.57)	323.80
42300	WIRELESS COMMUNICATION	770.40	50.80	159.61	0.00	610.79	20.71
42320	POSTAGE & SHIPPING	670.00	0.00	0.00	0.00	670.00	0.00
42340	OFFICE SUPPLIES	240.00	12.22	24.24	0.00	215.76	10.10
42350	PROGRAM EXPENDITURES	329.78	9.42	35.79	50.00	243.99	26.01
42360	CLEANING/JANITORIAL SUPPLIES	0.00	0.00	0.03	0.00	(0.03)	0.00
42410	ELECTRIC UTILITY	697,680.00	49,111.54	77,686.53	0.00	619,993.47	11.13
42442	DIESEL FUEL	5,000.00	0.00	0.00	5,000.00	0.00	100.00
42600	MOTOR POOL RENTAL	4,706.26	0.00	0.00	0.00	4,706.26	0.00
42605	RETAINED VEHICLE EXPENSE	698.88	0.00	0.00	0.00	698.88	0.00
42700	OTHER EQUIPMENT RENTAL	1,020.00	0.00	0.00	760.00	260.00	74.50
42710	MILEAGE/VEHICLE EXP REIMB	50.00	0.00	0.00	0.00	50.00	0.00
42813	MTCE & REPAIR - EQUIP & FAC	205,422.00	0.00	0.00	120,845.04	84,576.96	58.82
42815	SCADA MAINTENANCE	71,815.00	820.00	8,172.62	36,620.00	27,022.38	62.37
42816	MOWING/LANDSCAPE CONTRACTS	2,962.80	740.67	740.67	0.00	2,222.13	24.99
42900	PROF. & CONT. SVCS	442,817.87	32,858.13	55,820.66	350,734.86	36,262.35	91.81
43000	INSURANCE & SURETY BONDS	2,451.00	0.00	0.00	0.00	2,451.00	0.00
43100	MEMBERSHIP & DUES	6,120.00	0.00	0.00	0.00	6,120.00	0.00
43200	CONFERENCE, TRAINING & TRAVEL	60.00	0.00	0.00	0.00	60.00	0.00
43715	REGULATORY PERMIT & USE FEES	55.00	0.00	0.00	0.00	55.00	0.00
43722	PREVENTION & MAINTENANCE	112,133.74	0.00	0.00	43,808.98	68,324.76	39.06
44100	INTEREST EXPENSE	386,063.00	0.00	2,365.25	0.00	383,697.75	0.61
44200	BAD DEBTS EXPENSE	8,554.00	0.00	0.00	0.00	8,554.00	0.00
44610	ADMINISTRATIVE SERVICES CHARGE	155,181.00	38,795.25	38,795.25	0.00	116,385.75	25.00
44613	INTERNAL SVC CHRG-WAREHOUSE	3,162.00	790.50	790.50	0.00	2,371.50	25.00
44614	INTERNAL SVC CHRG-INFO TECH	46,344.00	11,586.00	11,586.00	0.00	34,758.00	25.00
TOTAL FOR SERVICES-SUPPLIES		2,292,616.91	135,447.62	196,877.72	618,712.71	1,477,026.48	35.57
CAPITAL OUTLAY							
TOTAL FOR CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FOR RECLAIMED WATER		2,768,098.06	173,525.35	310,639.16	618,712.71	1,838,746.19	33.57
FUN 567		7,083,657.03	179,842.19	332,259.09	705,112.17	6,046,285.77	14.64

		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
570	WATER UTILITY						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	0.00	5,213.65	13,398.23	0.00	(13,398.23)	0.00
41147	SP COMP-GRADE 4 CERT PAY	0.00	57.70	109.62	0.00	(109.62)	0.00
41910	PERS-NORMAL	0.00	600.40	1,538.50	0.00	(1,538.50)	0.00
41920	MEDICARE	0.00	157.73	404.02	0.00	(404.02)	0.00
41929	SHORT TERM DISABILITY	0.00	0.00	1.15	0.00	(1.15)	0.00
41931	WORKERS COMP	0.00	105.81	271.50	0.00	(271.50)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	2.67	6.87	0.00	(6.87)	0.00
41945	OPT OUT HEALTH INSURANCE	0.00	0.00	15.15	0.00	(15.15)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	6,137.96	15,745.04	0.00	(15,745.04)	0.00
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	36,876,976.61	0.00	0.00	0.00	36,876,976.61	0.00
42033	CONSTRUCTION MATERIALS	64,670.86	66,900.28	240,044.06	55,856.92	(231,230.12)	457.54
42200	ADVERTISING EXPENSE	0.00	163.76	163.76	0.00	(163.76)	0.00
42350	PROGRAM EXPENDITURES	0.00	0.00	50.00	0.00	(50.00)	0.00
42800	EQUIPMENT MAINTENANCE	10,129.44	0.00	0.00	10,129.44	0.00	100.00
42815	SCADA MAINTENANCE	170,974.44	20,715.34	29,189.34	200,979.09	(59,193.99)	134.62
42830	RETROFIT PROGRAM	0.00	436.00	4,560.19	0.00	(4,560.19)	0.00
42900	PROF. & CONT. SVCS	712,589.99	2,892.50	22,742.75	930,156.74	(240,309.50)	133.72
43300	CONSTRUCTION CONTRACTS	3,402,892.82	2,837.57	39,212.57	3,366,517.82	(2,837.57)	100.08
43301	CAPITAL IMPROVEMENTS	256,144.18	39,669.59	67,874.25	579,615.75	(391,345.82)	252.78
43724	OUTSIDE SERVICES - LABOR	12,912.00	0.00	0.00	12,912.00	0.00	100.00
43726	PROJECT MANAGEMENT	289,156.54	0.00	47,557.27	247,599.27	(6,000.00)	102.07
43727	INSPECTION	1,750.64	260.00	260.00	1,490.64	0.00	100.00
TOTAL FOR SERVICES-SUPPLIES		41,798,197.52	133,875.04	451,654.19	5,405,257.67	35,941,285.66	14.01
	CAPITAL OUTLAY						
45100	LICENSED VEHICLES	147,372.21	0.00	58,964.34	147,372.21	(58,964.34)	140.01
45200	MACHINERY, EQUIPMENT, & FIXTUR	636,981.75	453,472.42	453,472.42	183,509.33	0.00	100.00
TOTAL FOR CAPITAL OUTLAY		784,353.96	453,472.42	512,436.76	330,881.54	(58,964.34)	107.51
TOTAL FOR NOT APPLICABLE		42,582,551.48	593,485.42	979,835.99	5,736,139.21	35,866,576.28	15.77
18	ADMIN SERVICES-FINANCE						
	SALARIES-BENEFITS						
41912	PERS-UNFUNDED	0.00	517.76	1,553.28	0.00	(1,553.28)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	517.76	1,553.28	0.00	(1,553.28)	0.00
TOTAL FOR ADMIN SERVICES-FINANCE		0.00	517.76	1,553.28	0.00	(1,553.28)	0.00
39	PUBLIC WORKS						
	SALARIES-BENEFITS						

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
41100	PERMANENT EMPLOYEES	485,973.22	24,260.44	72,505.56	0.00	413,467.66	14.91
41103	OUT OF CLASS PAY	0.00	14.20	43.61	0.00	(43.61)	0.00
41110	CONTRACTUAL OBLIGATION	0.00	34.25	85.63	0.00	(85.63)	0.00
41140	FINAL LEAVE	0.00	3,229.72	3,229.72	0.00	(3,229.72)	0.00
41141	SP COMP-BILINGUAL	568.74	43.76	134.40	0.00	434.34	23.63
41200	TEMPORARY EMPLOYEES	29,294.41	1,310.46	5,517.95	0.00	23,776.46	18.83
41300	OVERTIME	400.00	97.88	210.80	0.00	189.20	52.70
41400	SPECIAL DUTY PAY	3,950.00	305.38	937.95	0.00	3,012.05	23.74
41410	AUTO ALLOWANCE	1,152.00	88.62	275.35	0.00	876.65	23.90
41500	DEFERRED COMPENSATION MATCH	3,698.00	194.25	194.25	0.00	3,503.75	5.25
41510	PST DEFERRED COMPENSATION	380.82	17.03	71.73	0.00	309.09	18.83
41520	TIERED EMP DEF COMPENSATION	1,482.00	368.56	368.56	0.00	1,113.44	24.86
41530	TIERED RHS BENEFIT	1,122.00	279.85	279.85	0.00	842.15	24.94
41600	LONGEVITY	3,401.12	2,855.63	2,923.71	0.00	477.41	85.96
41630	ONE TIME MOU PAYMENTS	0.00	3,375.96	7,779.24	0.00	(7,779.24)	0.00
41700	ANNUAL LEAVE BUYBACK	11,313.58	0.00	11,289.63	0.00	23.95	99.78
41710	ANNUAL LEAVE OVER MAX	1,514.00	0.00	0.00	0.00	1,514.00	0.00
41910	PERS-NORMAL	55,804.52	3,095.15	8,609.00	0.00	47,195.52	15.42
41912	PERS-UNFUNDED	147,156.00	12,684.90	38,054.70	0.00	109,101.30	25.86
41920	MEDICARE	15,797.15	1,038.34	3,004.70	0.00	12,792.45	19.02
41929	SHORT TERM DISABILITY	1,555.11	106.67	329.35	0.00	1,225.76	21.17
41930	LONG TERM DISABILITY	3,304.62	227.33	702.85	0.00	2,601.77	21.26
41931	WORKERS COMP	10,328.16	493.57	1,506.89	0.00	8,821.27	14.59
41932	STATE UNEMPLOYMENT INSURANCE	270.89	17.85	52.54	0.00	218.35	19.39
41940	HEALTH INSURANCE	66,282.24	4,644.59	13,861.05	0.00	52,421.19	20.91
41945	OPT OUT HEALTH INSURANCE	5,730.00	777.52	2,442.52	0.00	3,287.48	42.62
41946	LIFE INSURANCE	4,033.58	277.50	857.93	0.00	3,175.65	21.26
41996	VACANCY FACTOR	(23,680.00)	0.00	0.00	0.00	(23,680.00)	0.00
41997	BUDGETARY/PAYROLL	(494.00)	0.00	0.00	0.00	(494.00)	0.00
TOTAL FOR SALARIES-BENEFITS		830,338.16	59,839.41	175,269.47	0.00	655,068.69	21.10
SERVICES-SUPPLIES							
42055	COMPUTER EQUIPMENT &	34,396.61	0.00	0.00	10,366.61	24,030.00	30.13
42101	SAFETY SHOES - MOU ITEM	1,563.25	0.00	0.00	0.00	1,563.25	0.00
42200	ADVERTISING EXPENSE	600.00	0.00	0.00	0.00	600.00	0.00
42300	WIRELESS COMMUNICATION	1,000.00	139.61	279.22	0.00	720.78	27.92
42320	POSTAGE & SHIPPING	20.00	0.36	15.71	0.00	4.29	78.55
42340	OFFICE SUPPLIES	200.00	0.00	0.00	0.00	200.00	0.00
42350	PROGRAM EXPENDITURES	200.00	0.00	0.00	0.00	200.00	0.00
43100	MEMBERSHIP & DUES	7,568.00	0.00	0.00	0.00	7,568.00	0.00
TOTAL FOR SERVICES-SUPPLIES		45,547.86	139.97	294.93	10,366.61	34,886.32	23.40

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
TOTAL FOR PUBLIC WORKS		875,886.02	59,979.38	175,564.40	10,366.61	689,955.01	21.22
50 WATER UTILITY SERVICES							
SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	4,301,504.73	264,955.78	815,856.87	0.00	3,485,647.86	18.96
41101	SPECIAL ASSIGNMENT PAY	0.00	576.92	576.92	0.00	(576.92)	0.00
41102	SHIFT DIFFERENTIAL	50,000.00	4,099.51	12,830.89	0.00	37,169.11	25.66
41110	CONTRACTUAL OBLIGATION	0.00	3,217.84	8,535.44	0.00	(8,535.44)	0.00
41140	FINAL LEAVE	0.00	2,963.77	4,851.07	0.00	(4,851.07)	0.00
41141	SP COMP-BILINGUAL	17,463.20	1,314.46	4,097.07	0.00	13,366.13	23.46
41147	SP COMP-GRADE 4 CERT PAY	70,980.00	5,650.40	16,908.51	0.00	54,071.49	23.82
41148	SP COMP-GRADE 5 CERT PAY	63,894.00	3,653.06	11,220.04	0.00	52,673.96	17.56
41200	TEMPORARY EMPLOYEES	33,023.61	951.59	3,110.91	0.00	29,912.70	9.42
41300	OVERTIME	538,978.00	34,349.87	102,121.19	0.00	436,856.81	18.94
41320	COMP TIME	0.00	1,546.11	7,345.33	0.00	(7,345.33)	0.00
41400	SPECIAL DUTY PAY	81,265.00	6,730.14	18,698.36	0.00	62,566.64	23.00
41410	AUTO ALLOWANCE	2,034.00	88.62	272.19	0.00	1,761.81	13.38
41500	DEFERRED COMPENSATION MATCH	24,682.00	1,886.75	1,886.75	0.00	22,795.25	7.64
41510	PST DEFERRED COMPENSATION	124.83	0.00	0.00	0.00	124.83	0.00
41520	TIERED EMP DEF COMPENSATION	18,600.00	4,650.00	4,650.00	0.00	13,950.00	25.00
41530	TIERED RHS BENEFIT	8,572.00	2,143.00	2,143.00	0.00	6,429.00	25.00
41600	LONGEVITY	29,915.72	25,554.62	25,854.16	0.00	4,061.56	86.42
41630	ONE TIME MOU PAYMENTS	0.00	10,743.96	67,269.31	0.00	(67,269.31)	0.00
41660	TUITION REIMBURSEMENT	0.00	0.00	250.00	0.00	(250.00)	0.00
41700	ANNUAL LEAVE BUYBACK	56,660.43	0.00	55,611.36	0.00	1,049.07	98.14
41710	ANNUAL LEAVE OVER MAX	18,528.00	0.00	0.00	0.00	18,528.00	0.00
41910	PERS-NORMAL	514,349.73	35,569.92	102,955.75	0.00	411,393.98	20.01
41912	PERS-UNFUNDED	1,313,157.00	113,195.04	339,585.12	0.00	973,571.88	25.86
41920	MEDICARE	161,034.58	11,168.52	34,668.44	0.00	126,366.14	21.52
41929	SHORT TERM DISABILITY	13,764.80	856.34	2,632.27	0.00	11,132.53	19.12
41930	LONG TERM DISABILITY	29,250.24	1,819.28	5,598.28	0.00	23,651.96	19.13
41931	WORKERS COMP	91,611.95	5,527.33	16,997.46	0.00	74,614.49	18.55
41932	STATE UNEMPLOYMENT INSURANCE	2,707.04	188.42	592.15	0.00	2,114.89	21.87
41940	HEALTH INSURANCE	737,017.54	50,305.19	144,636.24	0.00	592,381.30	19.62
41941	RETIREEES HEALTH INSURANCE/OPEB	701,471.00	0.00	0.00	0.00	701,471.00	0.00
41945	OPT OUT HEALTH INSURANCE	168,360.00	13,977.50	41,954.94	0.00	126,405.06	24.91
41946	LIFE INSURANCE	35,702.50	2,220.48	6,832.88	0.00	28,869.62	19.13
41996	VACANCY FACTOR	(498,054.00)	0.00	0.00	0.00	(498,054.00)	0.00
TOTAL FOR SALARIES-BENEFITS		8,586,597.90	609,904.42	1,860,542.90	0.00	6,726,055.00	21.66
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	85,199.83	6,825.65	11,404.57	34,189.40	39,605.86	53.51

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
42033	CONSTRUCTION MATERIALS	1,060,288.38	127,055.47	198,692.95	342,274.15	519,321.28	51.02
42034	SAFETY MATERIALS/CONSTRUCTION	25,590.00	4,069.42	8,283.66	3,600.00	13,706.34	46.43
42055	COMPUTER EQUIPMENT &	29,756.01	6,598.96	8,015.61	3,610.89	18,129.51	39.07
42100	UNIFORM EXPENSE	23,642.66	0.00	0.00	0.00	23,642.66	0.00
42101	SAFETY SHOES - MOU ITEM	8,744.75	0.00	0.00	0.00	8,744.75	0.00
42200	ADVERTISING EXPENSE	2,767.20	709.45	709.45	0.00	2,057.75	25.63
42220	PROMOTIONAL/PUBLIC OUTREACH	38,878.75	0.00	593.36	2,516.55	35,768.84	7.99
42300	WIRELESS COMMUNICATION	54,392.05	3,660.18	8,057.80	0.00	46,334.25	14.81
42310	PHONES, FAX, ISDN LINES	12,103.00	809.80	2,731.16	0.00	9,371.84	22.56
42320	POSTAGE & SHIPPING	146,197.65	10,275.66	19,655.96	47,711.47	78,830.22	46.07
42340	OFFICE SUPPLIES	12,751.55	767.08	1,546.32	0.00	11,205.23	12.12
42345	FIRST AID KIT SUPPLIES	280.00	0.00	89.33	0.00	190.67	31.90
42350	PROGRAM EXPENDITURES	27,273.74	6,339.76	9,625.50	3,060.00	14,588.24	46.51
42360	CLEANING/JANITORIAL SUPPLIES	0.00	84.16	354.35	0.00	(354.35)	0.00
42410	ELECTRIC UTILITY	4,429,000.00	249,666.13	363,177.04	0.00	4,065,822.96	8.19
42420	NATURAL GAS UTILITY	1,040.40	0.00	122.91	0.00	917.49	11.81
42430	WATER UTILITY	53,060.40	5,460.49	14,631.74	0.00	38,428.66	27.57
42435	RECYCLED WATER UTILITY	13,292.64	1,455.74	9,149.38	0.00	4,143.26	68.83
42441	UNLEADED FUEL	6,360.00	524.90	1,971.94	0.00	4,388.06	31.00
42442	DIESEL FUEL	11,640.00	227.06	785.38	10,000.00	854.62	92.65
42443	OTHER FUELS	250.00	0.00	0.00	0.00	250.00	0.00
42500	RENTS & LEASES	765,715.00	189,949.17	191,466.28	0.00	574,248.72	25.00
42501	CUA LEASES	2,571,803.00	642,950.75	642,950.75	0.00	1,928,852.25	25.00
42600	MOTOR POOL RENTAL	230,116.35	0.00	0.00	0.00	230,116.35	0.00
42605	RETAINED VEHICLE EXPENSE	6,365.80	0.00	0.00	0.00	6,365.80	0.00
42610	DIRECT VEHICLE EXPENSE	22,560.00	635.60	635.60	12,894.40	9,030.00	59.97
42700	OTHER EQUIPMENT RENTAL	50,256.62	5,455.84	6,013.36	20,884.08	23,359.18	53.52
42710	MILEAGE/VEHICLE EXP REIMB	1,515.00	252.79	339.71	0.00	1,175.29	22.42
42813	MTCE & REPAIR - EQUIP & FAC	940,460.63	29,669.93	30,962.49	623,177.45	286,320.69	69.55
42815	SCADA MAINTENANCE	269,887.50	10,731.00	44,071.86	180,355.75	45,459.89	83.15
42816	MOWING/LANDSCAPE CONTRACTS	127,705.36	23,727.67	30,522.71	7,894.01	89,288.64	30.08
42830	RETROFIT PROGRAM	25,000.00	100.00	250.00	0.00	24,750.00	1.00
42900	PROF. & CONT. SVCS	2,553,001.50	135,541.75	263,550.72	1,730,549.57	558,901.21	78.10
42902	CUST CREDIT CRD PROCESSING FEE	230,710.60	1,097.32	21,319.01	5,940.88	203,450.71	11.81
43000	INSURANCE & SURETY BONDS	19,604.00	0.00	0.00	0.00	19,604.00	0.00
43100	MEMBERSHIP & DUES	213,845.82	0.00	8,897.00	0.00	204,948.82	4.16
43200	CONFERENCE, TRAINING & TRAVEL	44,380.00	281.95	1,041.06	0.00	43,338.94	2.34
43400	LEGAL SERVICES-SPECIAL COUNSEL	42,500.00	0.00	0.00	0.00	42,500.00	0.00
43502	SCHOOL PROGRAMS	29,480.00	0.00	0.00	0.00	29,480.00	0.00
43699	CHEMICALS-CORRSN & SCALE INHIB	158,373.60	14,265.50	14,265.50	35,734.50	108,373.60	31.57

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
43701	CHEMICALS-POLYMER	108,900.00	31,103.85	31,103.85	96,096.15	(18,300.00)	116.80
43702	CHEMICALS-ALUM	89,232.00	0.00	0.00	0.00	89,232.00	0.00
43703	CHEMICALS-AMMONIA	49,516.92	0.00	0.00	0.00	49,516.92	0.00
43704	CHEMICALS-ANTISCALANT	207,054.72	36,739.83	36,739.83	113,260.17	57,054.72	72.44
43705	CHEMICALS-SULFURIC ACID	171,600.00	15,343.10	32,522.23	149,656.90	(10,579.13)	106.16
43706	CHEMICALS-CAUSTIC SODA	40,700.00	0.00	0.00	0.00	40,700.00	0.00
43707	CHEMICALS-SODIUM	202,400.00	31,481.88	64,353.08	193,452.54	(55,405.62)	127.37
43711	CHEMICALS-MISC	79,054.56	0.00	0.00	0.00	79,054.56	0.00
43714	OUTSIDE LAB ANALYSIS	356,340.00	0.00	0.00	0.00	356,340.00	0.00
43715	REGULATORY PERMIT & USE FEES	142,411.00	0.00	3,068.67	0.00	139,342.33	2.15
43716	JOB REQ CERTIFICATES & LICENSE	2,410.00	0.00	0.00	0.00	2,410.00	0.00
43717	RAW WATER PURCHASES	14,004,702.00	1,823,494.78	3,754,192.39	0.00	10,250,509.61	26.80
43718	TREATED WATER PURCHASES	3,043,045.00	10,987.29	112,374.05	0.00	2,930,670.95	3.69
43720	LAB CHEMICALS AND SUPPLIES	44,184.00	2,900.68	6,663.19	45,596.70	(8,075.89)	118.27
43722	PREVENTION & MAINTENANCE	1,763,006.70	11,817.65	98,682.14	1,031,363.86	632,960.70	64.09
43723	INLAND EMPIRE BRINE LINE-SARI	1,877,058.42	131,965.63	249,456.23	0.00	1,627,602.19	13.28
43731	CARBON DIOXIDE	29,474.53	2,483.58	2,483.58	39,516.42	(12,525.47)	142.49
44100	INTEREST EXPENSE	715,914.00	0.00	(298,291.10)	0.00	1,014,205.10	(41.66)
44200	BAD DEBTS EXPENSE	913,467.00	0.00	0.00	0.00	913,467.00	0.00
44610	ADMINISTRATIVE SERVICES CHARGE	2,664,718.00	666,179.50	666,179.50	0.00	1,998,538.50	25.00
44613	INTERNAL SVC CHRG-WAREHOUSE	268,485.00	67,121.25	67,121.25	0.00	201,363.75	25.00
44614	INTERNAL SVC CHRG-INFO TECH	1,961,892.00	490,473.00	490,473.00	0.00	1,471,419.00	25.00
TOTAL FOR SERVICES-SUPPLIES		43,081,355.64	4,801,281.20	7,233,006.35	4,733,335.84	31,115,013.45	27.77
CAPITAL OUTLAY							
45200	MACHINERY, EQUIPMENT, & FIXTUR	102,271.82	(6,954.60)	(6,954.60)	224,226.42	(115,000.00)	212.44
TOTAL FOR CAPITAL OUTLAY		102,271.82	(6,954.60)	(6,954.60)	224,226.42	(115,000.00)	212.44
TOTAL FOR WATER UTILITY SERVICES		51,770,225.36	5,404,231.02	9,086,594.65	4,957,562.26	37,726,068.45	27.12
FUND 570		95,228,662.86	6,058,213.58	10,243,548.32	10,704,068.08	74,281,046.46	21.99

		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
571	WATER UTILITY GRANT/AGREEMENT						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	0.00	358.08	2,746.93	0.00	(2,746.93)	0.00
41600	LONGEVITY	0.00	0.00	18.48	0.00	(18.48)	0.00
41910	PERS-NORMAL	0.00	40.78	314.97	0.00	(314.97)	0.00
41920	MEDICARE	0.00	10.76	82.12	0.00	(82.12)	0.00
41929	SHORT TERM DISABILITY	0.00	0.00	0.99	0.00	(0.99)	0.00
41930	LONG TERM DISABILITY	0.00	0.00	2.10	0.00	(2.10)	0.00
41931	WORKERS COMP	0.00	7.25	56.03	0.00	(56.03)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	0.18	1.43	0.00	(1.43)	0.00
41946	LIFE INSURANCE	0.00	0.00	2.55	0.00	(2.55)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	417.05	3,225.60	0.00	(3,225.60)	0.00
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	4,370,131.13	0.00	0.00	0.00	4,370,131.13	0.00
42350	PROGRAM EXPENDITURES	0.00	250.00	250.00	0.00	(250.00)	0.00
42900	PROF. & CONT. SVCS	28,938.30	49,950.00	52,505.00	28,833.30	(52,400.00)	281.07
TOTAL FOR SERVICES-SUPPLIES		4,399,069.43	50,200.00	52,755.00	28,833.30	4,317,481.13	1.85
TOTAL FOR NOT APPLICABLE		4,399,069.43	50,617.05	55,980.60	28,833.30	4,314,255.53	1.92
50	WATER UTILITY SERVICES						
	SALARIES-BENEFITS						
TOTAL FOR SALARIES-BENEFITS		0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FOR WATER UTILITY SERVICES		0.00	0.00	0.00	0.00	0.00	0.00
FUN 571		4,399,069.43	50,617.05	55,980.60	28,833.30	4,314,255.53	1.92

Ledger: GL
Level: OB

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Fiscal Year: 2022
Fiscal Period: 03

	<u>Budget</u>	<u>Month to</u>	<u>Expenditures</u> <u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
GRAND TOTAL	111,324,937.67	7,361,642.52	11,959,402.28	13,491,827.27	85,873,708.12	22.86

		<u>Budget</u>	<u>Month to</u>	<u>Expenditures</u> <u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
440	WATER RECN CAPACITY GEN SRVC						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	0.00	0.00	1,227.08	0.00	(1,227.08)	0.00
41141	SP COMP-BILINGUAL	0.00	0.00	34.73	0.00	(34.73)	0.00
41910	PERS-NORMAL	0.00	0.00	127.06	0.00	(127.06)	0.00
41920	MEDICARE	0.00	0.00	32.91	0.00	(32.91)	0.00
41931	WORKERS COMP	0.00	0.00	22.22	0.00	(22.22)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	0.00	0.56	0.00	(0.56)	0.00
TOTAL FOR SALARIES-BENEFITS		<u>0.00</u>	<u>0.00</u>	<u>1,444.56</u>	<u>0.00</u>	<u>(1,444.56)</u>	<u>0.00</u>
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	144,390.66	0.00	0.00	0.00	144,390.66	0.00
42350	PROGRAM EXPENDITURES	0.00	0.00	50.00	0.00	(50.00)	0.00
42900	PROF. & CONT. SVCS	800.00	0.00	0.00	2,800.00	(2,000.00)	350.00
TOTAL FOR SERVICES-SUPPLIES		<u>145,190.66</u>	<u>0.00</u>	<u>50.00</u>	<u>2,800.00</u>	<u>142,340.66</u>	<u>1.96</u>
TOTAL FOR NOT APPLICABLE		<u>145,190.66</u>	<u>0.00</u>	<u>1,494.56</u>	<u>2,800.00</u>	<u>140,896.10</u>	<u>2.95</u>
51	WATER RECLAMATIONS						
	SERVICES-SUPPLIES						
44100	INTEREST EXPENSE	144,362.00	0.00	(49,469.44)	0.00	193,831.44	(34.26)
44610	ADMINISTRATIVE SERVICES CHARGE	6,520.00	1,630.00	1,630.00	0.00	4,890.00	25.00
TOTAL FOR SERVICES-SUPPLIES		<u>150,882.00</u>	<u>1,630.00</u>	<u>(47,839.44)</u>	<u>0.00</u>	<u>198,721.44</u>	<u>(31.70)</u>
TOTAL FOR WATER RECLAMATIONS		<u>150,882.00</u>	<u>1,630.00</u>	<u>(47,839.44)</u>	<u>0.00</u>	<u>198,721.44</u>	<u>(31.70)</u>
FUN 440		<u>296,072.66</u>	<u>1,630.00</u>	<u>(46,344.88)</u>	<u>2,800.00</u>	<u>339,617.54</u>	<u>(14.70)</u>

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
454	2013 Wastewater Revenue Bonds						
00	NOT APPLICABLE						
	SERVICES-SUPPLIES						
TOTAL FOR SERVICES-SUPPLIES		0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FOR NOT APPLICABLE		0.00	0.00	0.00	0.00	0.00	0.00
FUN 454		0.00	0.00	0.00	0.00	0.00	0.00

		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
572	WATER RECLAMATION UTILITY FUND						
00	NOT APPLICABLE						
	SALARIES-BENEFITS						
41100	PERMANENT EMPLOYEES	0.00	7,085.51	23,206.64	0.00	(23,206.64)	0.00
41141	SP COMP-BILINGUAL	0.00	7.38	18.31	0.00	(18.31)	0.00
41910	PERS-NORMAL	0.00	807.90	2,645.35	0.00	(2,645.35)	0.00
41920	MEDICARE	0.00	210.52	690.51	0.00	(690.51)	0.00
41931	WORKERS COMP	0.00	141.87	464.52	0.00	(464.52)	0.00
41932	STATE UNEMPLOYMENT INSURANCE	0.00	3.62	11.80	0.00	(11.80)	0.00
TOTAL FOR SALARIES-BENEFITS		0.00	8,256.80	27,037.13	0.00	(27,037.13)	0.00
	SERVICES-SUPPLIES						
40000	CIP & PROJECT EXPENSE	20,998,563.63	0.00	0.00	0.00	20,998,563.63	0.00
42033	CONSTRUCTION MATERIALS	13,500.00	21,744.23	21,744.23	57,659.72	(65,903.95)	588.17
42200	ADVERTISING EXPENSE	0.00	163.76	163.76	0.00	(163.76)	0.00
42350	PROGRAM EXPENDITURES	0.00	0.00	50.00	0.00	(50.00)	0.00
42800	EQUIPMENT MAINTENANCE	29,757.20	0.00	0.00	29,757.20	0.00	100.00
42815	SCADA MAINTENANCE	43,956.00	14,107.50	14,107.50	49,356.50	(19,508.00)	144.38
42900	PROF. & CONT. SVCS	419,501.34	7,431.90	38,514.74	526,290.10	(145,303.50)	134.63
43300	CONSTRUCTION CONTRACTS	5,583,805.62	730,786.09	976,766.14	4,609,877.05	(2,837.57)	100.05
43301	CAPITAL IMPROVEMENTS	79,600.00	6,250.00	6,250.00	258,350.00	(185,000.00)	332.41
43715	REGULATORY PERMIT & USE FEES	0.00	0.00	3,079.71	0.00	(3,079.71)	0.00
43726	PROJECT MANAGEMENT	370,338.25	33,534.00	69,511.25	306,227.00	(5,400.00)	101.45
43727	INSPECTION	34.64	0.00	0.00	34.64	0.00	100.00
TOTAL FOR SERVICES-SUPPLIES		27,539,056.68	814,017.48	1,130,187.33	5,837,552.21	20,571,317.14	25.30
	CAPITAL OUTLAY						
45100	LICENSED VEHICLES	26,006.85	0.00	69,072.52	26,006.85	(69,072.52)	365.59
45200	MACHINERY, EQUIPMENT, & FIXTUR	670,617.36	0.00	0.00	670,617.36	0.00	100.00
TOTAL FOR CAPITAL OUTLAY		696,624.21	0.00	69,072.52	696,624.21	(69,072.52)	109.91
TOTAL FOR NOT APPLICABLE		28,235,680.89	822,274.28	1,226,296.98	6,534,176.42	20,475,207.49	27.48
11	CITY MANAGER'S OFFICE						
	SALARIES-BENEFITS						
41200	TEMPORARY EMPLOYEES	2,849.60	103.91	612.87	0.00	2,236.73	21.50
41510	PST DEFERRED COMPENSATION	37.04	1.35	7.97	0.00	29.07	21.51
41920	MEDICARE	41.32	1.52	8.99	0.00	32.33	21.75
41931	WORKERS COMP	56.99	2.08	12.27	0.00	44.72	21.53
41932	STATE UNEMPLOYMENT INSURANCE	1.42	0.06	0.31	0.00	1.11	21.83
41996	VACANCY FACTOR	(60.00)	0.00	0.00	0.00	(60.00)	0.00
TOTAL FOR SALARIES-BENEFITS		2,926.37	108.92	642.41	0.00	2,283.96	21.95

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		Expenditures				Balance	%
		<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>(Over)/Under</u>	<u>Used</u>
TOTAL FOR CITY MANAGER'S OFFICE		2,926.37	108.92	642.41	0.00	2,283.96	21.95
18 ADMIN SERVICES-FINANCE							
SALARIES-BENEFITS							
41912	PERS-UNFUNDED	12,013.00	1,035.51	3,106.53	0.00	8,906.47	25.85
TOTAL FOR SALARIES-BENEFITS		12,013.00	1,035.51	3,106.53	0.00	8,906.47	25.85
TOTAL FOR ADMIN SERVICES-FINANCE		12,013.00	1,035.51	3,106.53	0.00	8,906.47	25.85
39 PUBLIC WORKS							
SALARIES-BENEFITS							
41100	PERMANENT EMPLOYEES	341,793.97	16,716.53	47,271.68	0.00	294,522.29	13.83
41103	OUT OF CLASS PAY	0.00	14.20	43.61	0.00	(43.61)	0.00
41110	CONTRACTUAL OBLIGATION	0.00	32.83	62.81	0.00	(62.81)	0.00
41140	FINAL LEAVE	0.00	1,614.86	1,614.86	0.00	(1,614.86)	0.00
41141	SP COMP-BILINGUAL	2,456.95	89.16	189.33	0.00	2,267.62	7.70
41200	TEMPORARY EMPLOYEES	15,131.58	835.24	3,536.39	0.00	11,595.19	23.37
41300	OVERTIME	500.00	56.57	68.81	0.00	431.19	13.76
41400	SPECIAL DUTY PAY	2,670.00	202.94	623.32	0.00	2,046.68	23.34
41410	AUTO ALLOWANCE	576.00	44.31	137.69	0.00	438.31	23.90
41500	DEFERRED COMPENSATION MATCH	2,435.00	114.00	114.00	0.00	2,321.00	4.68
41510	PST DEFERRED COMPENSATION	196.71	10.87	45.98	0.00	150.73	23.37
41520	TIERED EMP DEF COMPENSATION	930.00	232.02	232.02	0.00	697.98	24.94
41530	TIERED RHS BENEFIT	730.00	182.34	182.34	0.00	547.66	24.97
41600	LONGEVITY	2,300.26	1,989.11	2,016.75	0.00	283.51	87.67
41630	ONE TIME MOU PAYMENTS	0.00	2,399.21	5,463.26	0.00	(5,463.26)	0.00
41700	ANNUAL LEAVE BUYBACK	11,190.77	0.00	11,759.55	0.00	(568.78)	105.08
41710	ANNUAL LEAVE OVER MAX	1,315.00	0.00	0.00	0.00	1,315.00	0.00
41910	PERS-NORMAL	39,472.18	2,142.34	5,637.77	0.00	33,834.41	14.28
41912	PERS-UNFUNDED	100,638.00	8,675.05	26,025.15	0.00	74,612.85	25.86
41920	MEDICARE	11,134.33	693.89	2,075.08	0.00	9,059.25	18.63
41929	SHORT TERM DISABILITY	1,093.74	71.37	221.01	0.00	872.73	20.20
41930	LONG TERM DISABILITY	2,324.20	151.72	470.65	0.00	1,853.55	20.24
41931	WORKERS COMP	7,193.99	339.60	981.33	0.00	6,212.66	13.64
41932	STATE UNEMPLOYMENT INSURANCE	189.67	11.89	36.22	0.00	153.45	19.09
41940	HEALTH INSURANCE	59,353.85	4,143.19	12,074.20	0.00	47,279.65	20.34
41945	OPT OUT HEALTH INSURANCE	2,730.00	352.50	1,207.46	0.00	1,522.54	44.22
41946	LIFE INSURANCE	2,836.88	185.17	574.35	0.00	2,262.53	20.24
41996	VACANCY FACTOR	(16,893.00)	0.00	0.00	0.00	(16,893.00)	0.00
41997	BUDGETARY/PAYROLL	472.00	0.00	0.00	0.00	472.00	0.00
TOTAL FOR SALARIES-BENEFITS		592,772.08	41,300.91	122,665.62	0.00	470,106.46	20.69
SERVICES-SUPPLIES							

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		<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
42055	COMPUTER EQUIPMENT &	18,383.39	0.00	0.00	4,683.39	13,700.00	25.47
42101	SAFETY SHOES - MOU ITEM	1,071.50	0.00	0.00	0.00	1,071.50	0.00
43100	MEMBERSHIP & DUES	3,468.00	0.00	0.00	0.00	3,468.00	0.00
TOTAL FOR SERVICES-SUPPLIES		22,922.89	0.00	0.00	4,683.39	18,239.50	20.43
TOTAL FOR PUBLIC WORKS		615,694.97	41,300.91	122,665.62	4,683.39	488,345.96	20.68

51 WATER RECLAMATIONS
SALARIES-BENEFITS

41100	PERMANENT EMPLOYEES	2,520,305.64	175,433.14	543,000.89	0.00	1,977,304.75	21.54
41101	SPECIAL ASSIGNMENT PAY	0.00	1,523.08	1,523.08	0.00	(1,523.08)	0.00
41102	SHIFT DIFFERENTIAL	40,000.00	3,361.21	10,351.06	0.00	29,648.94	25.87
41110	CONTRACTUAL OBLIGATION	0.00	1,713.81	5,097.13	0.00	(5,097.13)	0.00
41140	FINAL LEAVE	0.00	370.17	1,387.33	0.00	(1,387.33)	0.00
41141	SP COMP-BILINGUAL	6,894.93	501.53	1,600.23	0.00	5,294.70	23.20
41147	SP COMP-GRADE 4 CERT PAY	40,980.00	3,758.11	10,287.96	0.00	30,692.04	25.10
41148	SP COMP-GRADE 5 CERT PAY	63,894.00	4,064.99	11,632.04	0.00	52,261.96	18.20
41200	TEMPORARY EMPLOYEES	26,112.23	555.12	1,814.78	0.00	24,297.45	6.94
41300	OVERTIME	385,626.00	31,831.34	83,168.61	0.00	302,457.39	21.56
41320	COMP TIME	0.00	0.00	58.71	0.00	(58.71)	0.00
41400	SPECIAL DUTY PAY	43,304.00	2,951.50	11,680.58	0.00	31,623.42	26.97
41410	AUTO ALLOWANCE	1,772.40	62.04	190.55	0.00	1,581.85	10.75
41500	DEFERRED COMPENSATION MATCH	18,140.00	870.25	870.25	0.00	17,269.75	4.79
41510	PST DEFERRED COMPENSATION	112.35	0.00	0.00	0.00	112.35	0.00
41520	TIERED EMP DEF COMPENSATION	11,424.00	2,856.00	2,856.00	0.00	8,568.00	25.00
41530	TIERED RHS BENEFIT	5,652.00	1,413.00	1,413.00	0.00	4,239.00	25.00
41600	LONGEVITY	18,931.43	17,546.03	18,520.33	0.00	411.10	97.82
41630	ONE TIME MOU PAYMENTS	0.00	9,953.64	40,770.84	0.00	(40,770.84)	0.00
41660	TUITION REIMBURSEMENT	2,500.00	0.00	1,645.00	0.00	855.00	65.80
41700	ANNUAL LEAVE BUYBACK	40,908.20	0.00	42,063.78	0.00	(1,155.58)	102.82
41710	ANNUAL LEAVE OVER MAX	2,905.00	0.00	0.00	0.00	2,905.00	0.00
41910	PERS-NORMAL	304,405.22	24,030.61	69,091.78	0.00	235,313.44	22.69
41912	PERS-UNFUNDED	758,057.00	65,345.04	196,035.12	0.00	562,021.88	25.86
41920	MEDICARE	97,242.35	7,646.52	23,326.89	0.00	73,915.46	23.98
41929	SHORT TERM DISABILITY	8,064.97	560.49	1,735.56	0.00	6,329.41	21.51
41930	LONG TERM DISABILITY	17,138.07	1,190.82	3,688.32	0.00	13,449.75	21.52
41931	WORKERS COMP	54,313.91	3,724.14	11,414.30	0.00	42,899.61	21.01
41932	STATE UNEMPLOYMENT INSURANCE	1,635.78	129.34	398.84	0.00	1,236.94	24.38
41940	HEALTH INSURANCE	359,066.20	27,862.92	84,750.36	0.00	274,315.84	23.60
41941	RETIREEES HEALTH INSURANCE/OPEB	416,537.00	0.00	0.00	0.00	416,537.00	0.00
41945	OPT OUT HEALTH INSURANCE	82,818.00	6,521.52	18,810.29	0.00	64,007.71	22.71
41946	LIFE INSURANCE	20,918.54	1,453.55	4,502.03	0.00	16,416.51	21.52

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41996	VACANCY FACTOR	(287,732.00)	0.00	0.00	0.00	(287,732.00)	0.00
TOTAL FOR SALARIES-BENEFITS		5,061,927.22	397,229.91	1,203,685.64	0.00	3,858,241.58	23.77
SERVICES-SUPPLIES							
42020	MINOR EQUIPMENT & FURNITURE	25,126.00	4,867.70	7,353.28	0.00	17,772.72	29.26
42033	CONSTRUCTION MATERIALS	1,278,099.68	149,973.90	214,021.11	368,467.43	695,611.14	45.57
42034	SAFETY MATERIALS/CONSTRUCTION	12,661.00	2,195.43	3,530.34	0.00	9,130.66	27.88
42055	COMPUTER EQUIPMENT &	31,737.47	488.86	16,584.41	2,873.69	12,279.37	61.30
42100	UNIFORM EXPENSE	11,826.28	0.00	0.00	0.00	11,826.28	0.00
42101	SAFETY SHOES - MOU ITEM	4,046.00	0.00	0.00	0.00	4,046.00	0.00
42200	ADVERTISING EXPENSE	2,541.00	958.74	1,475.31	0.00	1,065.69	58.06
42220	PROMOTIONAL/PUBLIC OUTREACH	17,671.13	0.00	516.57	2,660.57	14,493.99	17.97
42300	WIRELESS COMMUNICATION	20,691.44	1,566.13	3,716.50	0.00	16,974.94	17.96
42310	PHONES, FAX, ISDN LINES	12,059.00	927.54	2,652.48	0.00	9,406.52	21.99
42320	POSTAGE & SHIPPING	122,606.91	9,046.93	16,466.32	41,681.35	64,459.24	47.42
42340	OFFICE SUPPLIES	10,305.30	599.17	1,232.11	0.00	9,073.19	11.95
42345	FIRST AID KIT SUPPLIES	220.00	0.00	84.41	0.00	135.59	38.36
42350	PROGRAM EXPENDITURES	15,713.37	712.81	2,015.32	2,390.00	11,308.05	28.03
42360	CLEANING/JANITORIAL SUPPLIES	0.00	0.00	253.93	0.00	(253.93)	0.00
42410	ELECTRIC UTILITY	1,734,412.16	150,691.71	416,234.38	0.00	1,318,177.78	23.99
42420	NATURAL GAS UTILITY	195,840.00	0.00	12,751.61	0.00	183,088.39	6.51
42430	WATER UTILITY	38,400.00	3,562.10	10,112.86	0.00	28,287.14	26.33
42435	RECYCLED WATER UTILITY	897,009.71	50,388.02	163,771.94	0.00	733,237.77	18.25
42441	UNLEADED FUEL	3,300.16	446.99	1,384.20	0.00	1,915.96	41.94
42442	DIESEL FUEL	19,000.00	1,075.83	1,075.83	18,924.17	(1,000.00)	105.26
42443	OTHER FUELS	60.00	0.00	0.00	0.00	60.00	0.00
42500	RENTS & LEASES	847,183.72	188,064.53	188,639.32	0.00	658,544.40	22.26
42501	CUA LEASES	1,730,689.00	432,672.25	432,672.25	0.00	1,298,016.75	25.00
42600	MOTOR POOL RENTAL	112,504.61	0.00	0.00	0.00	112,504.61	0.00
42605	RETAINED VEHICLE EXPENSE	4,775.68	0.00	0.00	0.00	4,775.68	0.00
42610	DIRECT VEHICLE EXPENSE	15,522.00	747.72	747.72	10,000.00	4,774.28	69.24
42700	OTHER EQUIPMENT RENTAL	46,839.16	874.82	1,040.56	32,368.24	13,430.36	71.32
42710	MILEAGE/VEHICLE EXP REIMB	525.00	0.00	0.00	0.00	525.00	0.00
42800	EQUIPMENT MAINTENANCE	0.00	0.00	83.09	0.00	(83.09)	0.00
42813	MTCE & REPAIR - EQUIP & FAC	702,491.56	19,888.02	23,102.02	458,252.58	221,136.96	68.52
42815	SCADA MAINTENANCE	254,087.50	10,731.00	43,930.24	142,585.75	67,571.51	73.40
42816	MOWING/LANDSCAPE CONTRACTS	74,628.94	20,547.88	28,447.88	135.00	46,046.06	38.29
42900	PROF. & CONT. SVCS	1,043,924.20	51,731.10	142,593.95	679,760.58	221,569.67	78.77
42902	CUST CREDIT CRD PROCESSING FEE	208,091.91	989.74	1,485.32	5,358.43	201,248.16	3.28
42910	REFUSE DISPOSAL	72,000.00	9,621.54	17,156.45	0.00	54,843.55	23.82
43000	INSURANCE & SURETY BONDS	19,604.00	0.00	0.00	0.00	19,604.00	0.00

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09/30/2021

		<u>Budget</u>	<u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance (Over)/Under</u>	<u>% Used</u>
43100	MEMBERSHIP & DUES	36,837.00	0.00	9,021.00	0.00	27,816.00	24.48
43200	CONFERENCE, TRAINING & TRAVEL	34,340.00	163.99	4,006.19	0.00	30,333.81	11.66
43400	LEGAL SERVICES-SPECIAL COUNSEL	5,000.00	0.00	0.00	0.00	5,000.00	0.00
43697	CHEMICALS-NITROGEN	11,836.08	1,562.94	1,562.94	6,837.06	3,436.08	70.96
43698	CHEMICALS-SODIUM BISOLFITE	44,843.28	0.00	0.00	4,144.00	40,699.28	9.24
43700	CHEMICALS-MINERAL OIL	28,049.73	0.00	0.00	0.00	28,049.73	0.00
43701	CHEMICALS-POLYMER	414,874.27	182,069.58	182,069.58	405,930.42	(173,125.73)	141.72
43707	CHEMICALS-SODIUM	1,047,240.00	127,906.61	253,560.26	1,285,039.43	(491,359.69)	146.91
43709	CHEMICALS-FERRIC CHLORIDE	85,807.50	0.00	0.00	100,000.00	(14,192.50)	116.53
43711	CHEMICALS-MISC	23,090.76	0.00	0.00	20,000.00	3,090.76	86.61
43713	BIOSOLIDS DISPOSAL/RECYCLE	1,589,346.00	24,899.28	70,581.84	1,800,000.00	(281,235.84)	117.69
43714	OUTSIDE LAB ANALYSIS	548,677.00	1,500.00	5,290.00	41,710.00	501,677.00	8.56
43715	REGULATORY PERMIT & USE FEES	206,406.00	16,660.41	16,660.41	0.00	189,745.59	8.07
43716	JOB REQ CERTIFICATES & LICENSE	1,735.00	127.88	127.88	0.00	1,607.12	7.37
43720	LAB CHEMICALS AND SUPPLIES	33,600.00	4,830.04	7,339.67	3,185.58	23,074.75	31.32
43722	PREVENTION & MAINTENANCE	1,174,095.32	36,256.34	120,914.45	355,476.46	697,704.41	40.57
43723	INLAND EMPIRE BRINE LINE-SARI	7,140.00	0.00	0.00	0.00	7,140.00	0.00
43728	WRCRWA CAP ASSET CONTRIBUTION	994,916.00	0.00	0.00	0.00	994,916.00	0.00
43729	WRCRWA TRTMNT/CONVEYANCE	2,242,644.00	107,524.71	275,964.51	0.00	1,966,679.49	12.30
44100	INTEREST EXPENSE	448,206.00	0.00	(44,588.89)	0.00	492,794.89	(9.94)
44200	BAD DEBTS EXPENSE	455,684.00	0.00	0.00	0.00	455,684.00	0.00
44610	ADMINISTRATIVE SERVICES CHARGE	1,509,493.00	377,373.25	377,373.25	0.00	1,132,119.75	25.00
44613	INTERNAL SVC CHRG-WAREHOUSE	57,150.00	14,287.50	14,287.50	0.00	42,862.50	25.00
44614	INTERNAL SVC CHRG-INFO TECH	1,548,758.00	387,189.50	387,189.50	0.00	1,161,568.50	25.00
TOTAL FOR SERVICES-SUPPLIES		22,135,962.83	2,395,722.49	3,436,491.80	5,787,780.74	12,911,690.29	41.67
CAPITAL OUTLAY							
45100	LICENSED VEHICLES	439,290.00	0.00	0.00	0.00	439,290.00	0.00
TOTAL FOR CAPITAL OUTLAY		439,290.00	0.00	0.00	0.00	439,290.00	0.00
TOTAL FOR WATER RECLAMATIONS		27,637,180.05	2,792,952.40	4,640,177.44	5,787,780.74	17,209,221.87	37.73
FUN 572		56,503,495.28	3,657,672.02	5,992,888.98	12,326,640.55	38,183,965.75	32.42

	<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
573 WATER RECLAMATION GRANT/AGRMT						
00 NOT APPLICABLE						
SERVICES-SUPPLIES						
40000 CIP & PROJECT EXPENSE	24,347.98	0.00	0.00	0.00	24,347.98	0.00
TOTAL FOR SERVICES-SUPPLIES	24,347.98	0.00	0.00	0.00	24,347.98	0.00
TOTAL FOR NOT APPLICABLE	24,347.98	0.00	0.00	0.00	24,347.98	0.00
51 WATER RECLAMATIONS						
SALARIES-BENEFITS						
TOTAL FOR SALARIES-BENEFITS	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FOR WATER RECLAMATIONS	0.00	0.00	0.00	0.00	0.00	0.00
FUN 573	24,347.98	0.00	0.00	0.00	24,347.98	0.00

Ledger: GL
Level: OB

CONSOLIDATED EXPENDITURE REPORT- BY FUND/DEPT
09/30/2021

Fiscal Year: 2022
Fiscal Period: 03

	<u>Budget</u>	<u>Expenditures</u> <u>Month to</u>	<u>YTD</u>	<u>Encumbrances</u>	<u>Balance</u> <u>(Over)/Under</u>	<u>%</u> <u>Used</u>
GRAND TOTAL	56,823,915.92	3,659,302.02	5,946,544.10	12,329,440.55	38,547,931.27	32.16

CALIFORNIA FORECAST


SALES TAX TRENDS AND ECONOMIC DRIVERS



Shasta County, CA

Delivering Revenue, Insight and Efficiency to Local Government Since 1983

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HDL CONSENSUS FORECAST – SEPTEMBER 2021

STATEWIDE SALES TAX TRENDS

HdL Companies

 **TOTAL** 2021/22 | 2022/23
10.2% | 4.0%

Autos/Transportation 2021/22 | 2022/23 2.4% | 2.4%

Receipts from auto and transportation related sales soared in the second quarter of 2021 with demand strengthened by low financing rates, a year plus of curtailed spending opportunities, government stimulus payments, and borrowing from unexpected found equity in the rising value of real estate and financial assets. Meanwhile, the supply of vehicles has been constrained by chip shortages and other production issues. Recent reports indicate the inventory shortfall is having a significant negative impact on sales, though our projection is that the strong 4th of July holiday at the beginning of the quarter, coupled with higher vehicle pricing, will offset these losses. Some sales are expected to slip during the fourth quarter, with normal gains projected going forward into 2022.

Building/Construction 2021/22 | 2022/23 7.1% | 0.5%

This forecast period follows one in which lumber prices hit record highs in May, only to plunge dramatically immediately afterward. Supply is matching demand for the moment. Further price declines are expected by the end of 2021 as China dumps vast amounts of its lumber reserves on the market. During the second quarter, building permit values climbed higher for the first time in 2.5 years, led by Single and Multi Family Residence projects while nonresidential construction was largely dormant. Office and general retail developers are still waiting for the market to signal that more space is needed before launching projects. Warehouse space is still lagging demand. The surge in permit issuance means future work for contractors and expanded demand for materials. Fire scarred areas will see an increase in supplies purchased to handle board up and roof patching ahead of wet weather.

Business/Industry 2021/22 | 2022/23 11.7% | 4.5%

Fulfillment centers were a large portion of this category's 26% growth as online sales swelled and a taxpayer's reporting change shifted 37% of their revenues from countywide pools to agencies with in-state fulfillment centers. With companies adapting to new ways of doing work, business services and technology activity spiked. While agriculture, farm, and construction equipment sales jumped, it is unknown how the continued drought and wildfires could impact future remittances. Various industries still struggle with challenges such as raw material and qualified worker shortages. Overall, returns are nearing pre-pandemic levels. The overall short-term outlook is modest gains; expect results to vary by region and segment depending upon each jurisdiction's composition of companies within this group.


Food/Drugs 2021/22 | 2022/23 2.0% | 2.0%

Brought about by worker shortages and supply shipping interruptions, inflation has driven up the cost of products in local grocery and drug stores. Prices rose over the past two years and are expected to stabilize in 2022 to a normal level of increase. Areas of the state that have seen housing expansion and/or population gains should experience new outlets built which both meet customer needs and add to the municipality's tax base. Permitted expansions of cannabis merchants has slowed; however, demand remains strong with expected greater sales volumes contributing to the steady improvement of taxes by this sector.

HDL CONSENSUS FORECAST – SEPTEMBER 2021

STATEWIDE SALES TAX TRENDS

HdL Companies

 **TOTAL** 2021/22 | 2022/23
10.2% | 4.0%

2021/22 | 2022/23



Fuel/Service Stations 23.1% | 2.8%

This industry experienced upward price pressure on sales taxes received through June. Concern for recent spikes in the COVID-19 variant has not significantly reduced demand for fuel in California. The average cost of a gallon of gas is at the highest level since the all-time record of \$4.73 set in October 2012. Oil barrel prices are in the low \$70 range and a temperate resurgence of air travel boosted recent jet fuel prices up to pre-pandemic levels. Our forecast projects consumption of fuel to trend positively through all of fiscal year 2021/2022. By the end of that year, much of the taxes lost during the worst periods of 2020 should be largely recovered.



General Consumer Goods 9.1% | 1.8%

Consumers continued to show resiliency with respect to spending in the second quarter of 2021, rebounding from the depths of the pandemic's impacts one year prior. Statewide, second quarter local tax receipts improved five percent above pre-pandemic levels. Spurred by federal stimulus, pent-up demand and a wider opening of the state economy, retailers across the boards rang up more transactions. Looking ahead, this group is expected to perform well despite a rise in Delta variant infections, recovering supply chains and decreased stimulus support. Trending back to in-person shopping, consumer demand remains healthy proven by recent data amid elevated prices. HdL expects to see positive trends endure through the remainder of the year fueled by a strong back to school shopping season and a robust holiday season that should be supported by the addition of monthly child tax credit payments.



Restaurants/Hotels 29.5% | 6.0%

Restaurants/hotels were one of the hardest hit industry groups during the beginning of the COVID-19 health crisis. In the second quarter of 2021 as restrictions were lifted and pent-up demand was released, the numbers, compared to the lowest quarter of the pandemic, strongly rebounded. Quick service receipts surpassed pre-pandemic levels while other restaurant segments neared 2019 comparable period results. Hotels began to rebound, but regional differences, a slow return for business travel and the lack of international travelers caused this group to lag behind restaurants. The 2021/22 percentage gain is sizable, mostly linked to recovery of what was lost in the preceding two fiscal years when many establishments were closed or had limited operations for weeks at a time.



State and County Pools 7.1% | 8.0%

The continual transference in consumer spending moving away from in-store purchases to the considerable ease and humongous inventory options accessible through mobile apps accelerated again as the state's economy rebounds from retailers' COVID-19 impacts last spring. Interestingly, recent returns reported a modest 10% climb, even after accounting for one company's change in return filing that redirected about one-third of use taxes collected to date for 2021 away from the pools and to local agencies with facilities that ship directly to customers. Many economic experts forecast e-commerce/m-commerce to capture a larger share of total retail sales in the coming years. Working from home and other changes brought about by COVID-19 suggest households' future spending aligns with these lifestyle patterns. Pools growth is forecasted to produce gains aligned closer to historic levels dating back to 2019 and prior years.

Proposition 172 projections vary from statewide Bradley-Burns calculations due to the state's utilization of differing collection periods in its allocations to counties. HdL forecasts a statewide increase of 9.6% for Fiscal Year 2021/22 and 4.0% for 2022/2023.



U.S. Real GDP Growth

2020/21 | 2021/22

13.0% | 4.0%

With stellar growth in the first half of 2021, U.S. GDP surpassed pre-pandemic levels despite having 5 million fewer workers than early last year. More people are expected to rejoin the workforce as wages rise, but a smaller workforce will not necessarily mean slower economic growth if recent productivity increases can be sustained. Businesses are investing heavily in this. Capital expenditures are up by \$600 billion (9.2%) from the pre-pandemic peak. Meanwhile, highly effective vaccines have substantially decreased the economic risks from COVID-19. Temporary surges in cases will simply push growth to the following quarter rather than leave any lasting impact. The greater risk in the medium term is the coming unwinding of monetary stimulus from the U.S. Federal Reserve, which will increase the cost of servicing debt for public and private entities.



CA Unemployment Rate

2020/21 | 2021/22

7.6% | 4.8%

The unemployment rate in California has already dropped by more than half since the depths of the pandemic. Part of this improvement is a function of the huge increase in the number of people not seeking work, a category not counted as unemployed in government surveys, but not all of these workers have left the labor force indefinitely. As a result, the lower unemployment rate tends to confuse the complex labor market recovery, which is better demonstrated by total nonfarm employment. Higher unemployment rates may even be a welcome sign that hot economic conditions are inducing workers to look for work after having temporarily dropping out of the workforce. Unemployment should continue to steadily decline into next year.



CA Median Existing Home Price

\$626,187 | \$669,232

The eye-popping 18% increase in housing prices in the past year has been fueled by extremely low inventories, currently at a historic low of 1.8 months' supply. Ample household savings, rising asset prices, and low interest rates have further driven the housing boom. This has powered a broad increase in prices across the state. The Case-Shiller Index for Los Angeles and San Francisco increased over 37% and 20% on a month-over-month annualized basis in June, but these remain far from historic high increases for each of these municipalities. Although the market will cool slightly in the fall, housing prices are expected to increase 6% on a year-over-year basis in the coming quarters. Prices are more likely to come under control as interest rates rise in 2022.



U.S. Unemployment Rate

6.9% | 4.4%

The rapid decline of unemployment to 5.2% in August reflects improving economic conditions but obscures the rocky recovery in the labor market. Total employment remains depressed because of a confluence of factors, including mass retirements of baby boomers and generous unemployment support. The expiration of COVID-related unemployment benefits in September, along with rising wages, will entice more people to seek work. But do not expect a complete return to the status quo. Higher labor costs will continue to fundamentally alter segments of the economy. Companies will be forced either to close or innovate through automation, retraining or pivoting to other business offerings. This will particularly impact the service sector, including restaurants and hotels.



CA Residential Building Permits

126,181 | 135,285

The recent passing of California's Senate Bill 9, which compels local governments to allow high-density housing, will help alleviate the ongoing housing crisis caused by inadequate supply. The law could increase the number of building permits in the coming years. In the meantime, permits are expected to continue to rise into next year, topping 120,000 for the first time since 2007.



CA Total Nonfarm Employment Growth

-5.5% | 6.2%

Following the broad national trend, California's recovery has been rapid but with far fewer workers. This trend was evident before pandemic restrictions lifted, with the state clawing back to within 98.5% of its pre-pandemic size by the first quarter of 2021 (the latest available data). As a result, the economy is now almost certainly larger than pre-pandemic levels. Despite this trend, total nonfarm employment remains 1.2 million jobs (7%) smaller than before the pandemic. On the one hand, this underscores the considerable leaps in productivity achieved to sustain the recovery with far fewer workers. On the other hand, the dearth of workers could devastate some small businesses, particularly in retail and entertainment, whose existence and profit margins depend on staffing. Expected higher wages will eventually attract more workers, but California's labor market will not return to pre-pandemic levels until the fourth quarter of 2022.

HdL Companies

120 S. State College Blvd., Suite 200

Brea, CA 92821

Telephone: 714.879.5000 • 888.861.0220

California's allocation data trails actual sales activity by three to six months. HdL compensates for the lack of current information by reviewing the latest reports, statistics and perspectives from fifty or more economists, analysts and trade associations to reach a consensus on probable trends for coming quarters. The forecast is used to help project revenues based on statewide formulas and for reference in tailoring sales tax estimates appropriate to each client's specific demographics, tax base and regional trends.

Beacon Economics LLC

5777 West Century Boulevard, Suite 895

Los Angeles, CA 90045

Telephone: 310.571.3399

Beacon Economics has proven to be one of the most thorough and accurate economic research/analytical forecasting firms in the country. Their evaluation of the key drivers impacting local economies and tax revenues provides additional perspective to HdL's quarterly consensus updates. The collaboration and sharing of information between Beacon and HdL helps both companies enhance the accuracy of the work that they perform for their respective clients.



HdL Companies

714.879.5000 | hdlcompanies.com



Quarterly Report FY22 Q1



Jacob Ellis, City Manager
Kim Sitton, Finance Director

November 3, 2021

Overview



Q1

**Budget
Update**



Q1

***Strategic Plan
Implementation
Progress Report***

Three vertical bars of different colors (light green, dark blue, and yellow) are positioned on the left side of the slide.

Q1 Budget Update

General Fund Update Quarter 1, FY 2022

Highlights

General Fund Inflows – Revenues + Transfers In

9.9% of estimated inflows received

- Quarter 1 tends to be slower for revenues than other quarters
- Same quarter in FY 2021, 9.5% of estimated revenues received

Positive note:

- ↑ Sales Tax – increase of 83.9% as compared to Q1 FY 2021
 - Monthly advances for Measure X are being received
 - July – Sept. Quarter Details – January 2022 Committee of the Whole

General Fund – Inflows – Sales Tax Revenues

Quarter	Reporting Period	FY 2020 Quarter Total	FY 2021 Quarter Total	Yr over Yr Qtrly Total Change \$	Yr over Yr Qtrly Total Change %
3rd Quarter	July - Sept	\$ 11,485,178	\$ 12,346,399	\$ 861,221	7.5%
4th Quarter	Oct - Dec	11,854,885	11,275,064	(579,822)	-4.9%
1st Quarter	Jan - Mar	8,784,235	10,907,420	2,123,186	24.2%
2nd Quarter	Apr - June	10,276,870	12,515,641	2,238,771	21.8%
Fiscal Year Total		\$ 42,401,168	\$ 47,044,524	\$ 4,643,356	11.0%

Estimated FY 2021 Sales Tax Revenue (Original) \$ 40,606,675

Updated Projection FY 2021 Sales Tax Revenue \$ 44,688,000

Revenue Over Estimate \$ 2,356,524
Percentage Over Estimate 5.27%

General Fund – Inflows – Revenues + Transfers In

Budget Estimates to Actuals – September 30, 2021

General Fund Revenue Category	Cumulative Budget FY 2022	Through Q1 FY 2022	% Received
Sales Tax	\$ 75,168,306	\$ 7,399,983	9.8%
Property Tax	53,697,100	1,675,437	3.1%
Other Revenue	11,534,124	2,297,327	19.9%
Other Taxes	11,097,000	1,721,249	15.5%
Current Services	10,634,004	2,863,179	26.9%
Payments in Lieu of Services	6,086,383	1,486,049	24.4%
Intergovernmental Revenues	2,798,980	189,111	6.8%
Investment Earnings	2,477,625	(1,070,387)	-43.2%
Licenses, Fees & Permits	1,928,475	679,865	35.3%
Fines, Penalties & Forfeitures	569,250	143,885	25.3%
Special Assessments	497,332	-	0.0%
Total Revenues	\$ 176,488,579	\$ 17,385,697	9.9%
Transfers In	1,200,000	145,252	12.1%
Total Inflows	\$ 177,688,579	\$ 17,530,949	9.9%

Highlights

General Fund – Outflows – Expenditures + Transfers Out

- ✓ Through September, approximately 25% of FY complete (approximately, due to timing of payments)
- ✓ Overall outflows % of cumulative budget spent 19.7%
- ✓ <15% Spent: Capital Improvement Projects, Maintenance Services, Management Services, and Public Works

General Fund – Outflows – Expenditures + Transfers Out

Budget to Actuals – September 2021

General Fund Expenditures By Department	Cumulative Budget FY 2022	Through Q1 FY 2022	% Spent
Capital Improvement Projects	\$ 22,264,272	\$ 218,605	1.0%
Community Development	5,781,713	974,077	16.8%
Community Services	12,523,121	2,360,452	18.8%
Debt Service	4,244,773	1,068,811	25.2%
Elected Officials	157,807	35,711	22.6%
Finance	4,638,051	910,624	19.6%
Fire	31,119,956	7,829,578	25.2%
General Government	23,846,777	5,528,037	23.2%
Human Resources	2,524,882	483,592	19.2%
Legal & Risk Management	1,761,317	456,743	25.9%
Maintenance Services	5,765,458	861,814	14.9%
Management Services	7,019,138	890,935	12.7%
Police	51,928,386	12,652,801	24.4%
Public Works	4,119,012	573,547	13.9%
Total Expenditures	\$ 177,694,664	\$ 34,845,327	19.6%
Transfers Out	441,557	229,101	51.9%
Total Outflows	\$ 178,136,221	\$ 35,074,428	19.7%

General Fund Reserves

Fiscal Year End	Emergency Contingency	Budget Balancing	Pension Obligation	Total of Noted Reserves
June 30, 2015	\$ 18,300,000	\$ 38,951,177	N/A	\$ 57,251,177
June 30, 2016	\$ 30,000,000	\$ 19,429,676	N/A	\$ 49,429,676
June 30, 2017	\$ 30,000,000	\$ 28,945,252	N/A	\$ 58,945,252
June 30, 2018	\$ 32,600,000	\$ 25,182,735	N/A	\$ 57,782,735
June 30, 2019	\$ 32,600,000	\$ 34,433,788	\$ 2,530,492	\$ 69,564,280
June 30, 2020	\$ 33,846,470	\$ 40,539,138	\$ 2,530,492	\$ 76,916,100
June 30, 2021 *	\$ 36,522,368	\$ 43,614,486	\$ -	\$ 80,136,855

** Preliminary figures. May change through audit/financial statement process.*

Note: Not a full list of General Fund Reserves

DWP Funds

Quarter 1, FY 2022

DWP Funds

Water Funds	Water Reclamation Funds	Electric Funds
2012 Water Revenue Bond Project Fund	Water Reclamation Capacity Fund	Electric Utility Fund
Water Capacity Fund	2013 Wastewater Revenue Bond Project Fund	Electric Utility Grant/ Agreement Fund
Reclaimed Water Utility Fund	Water Reclamation Utility Fund	
Water Utility Fund	Water Reclamation Utility Grant/ Agreement Fund	
Water Utility Grant/ Agreement Fund		



Highlights – Mid-Year Estimate Changes

DWP Funds – Inflows – Revenues + Transfers In

17.4% of estimated inflows received

- Quarter 1 tends to be slower for revenues than other quarters
- Same quarter in FY 2021, 16.2% of estimated revenues received



Electric - 36.3% increase, \$1.1M, over FY 2021 Quarter 1
Higher Direct Access and Greenfield revenues



Water – 8.6% increase, \$1.1M, over FY 2021 Quarter 1
Utility Service Charges and Investment Earnings (Book Entries, non-cash)



Water Reclamation – 25.1% increase, \$1.0M, over FY 2021 Quarter 1
Utility Service Charges and Investment Earnings (Book Entries, non-cash)

DWP Funds – Inflows – Revenue + Transfers In

Budget Estimates to Actuals – September 2021

Enterprise Funds Fund Type	Cumulative Budget FY 2022	Through Q1 FY 2022	% Received
Electric	\$ 16,286,836	\$ 4,073,303	25.0%
Water	71,891,291	13,586,361	18.9%
Water Reclamation	35,447,416	4,957,017	14.0%
Total Revenues	\$ 123,625,543	\$ 22,616,680	18.3%
Transfers In - Electric	-	-	N/A
Transfers In - Water	6,483,224	-	N/A
Transfers In - Wtr Rclm	-	-	N/A
Total Inflows	\$ 130,108,767	\$ 22,616,680	17.4%

Highlights

DWP Funds – Outflows – Expenditures + Transfers Out

Outflows 10.9% of budget spent:

- ✓ Electric 16.6%
 - ✓ Operating budget 17.9% spent
 - ✓ Capital improvement project budget 3.6% spent
- ✓ Water 10.7%
 - ✓ Operating budget 16.8% spent
 - ✓ Capital improvement project budget 4.6% spent
- ✓ Water Reclamation 10.5%
 - ✓ Operating budget 16.6% spent
 - ✓ Capital improvement project budget 4.3% spent

DWP Funds – Outflows – Expenditures + Transfers Out

Budget to Actuals – September 2021

Enterprise Funds Expenditures By Department	Cumulative Budget FY 2022	Through Q1 FY 2021	% Spent
Electric			
Capital Improvement Projects	\$ 1,548,306	\$ 55,098	3.6%
Dept. of Water & Power	15,199,028	2,715,719	17.9%
Finance	2,002	518	25.9%
Public Works	184,060	40,060	21.8%
Electric Total	16,933,396	2,811,395	16.6%
Water			
Capital Improvement Projects	\$ 55,400,804	\$ 2,539,937	4.6%
Dept. of Water & Power	55,037,201	9,239,443	16.8%
Finance	-	1,553	N/A
Public Works	886,932	178,470	20.1%
Water Total	111,324,938	11,959,402	10.7%
Water Reclamation			
Capital Improvement Projects	\$ 28,405,220	\$ 1,227,792	4.3%
Dept. of Water & Power	27,788,062	4,592,338	16.5%
Finance	12,013	3,107	25.9%
Management Services	2,926	642	22.0%
Public Works	615,695	122,666	19.9%
Water Reclamation Total	56,823,916	5,946,544	10.5%
Transfers Out	4,701,340		N/A
Grand Total	\$ 189,783,590	\$ 20,717,341	10.9%

What's Next?

FY 2022 Quarter 2 Update

Wednesday, February 2, 2022, 6:30 pm

Enterprise Fund Reserves

Estimated completion Quarter 2 FY 2022

QUESTIONS?



951-279-3500



Kim.Sitton@CoronaCA.gov



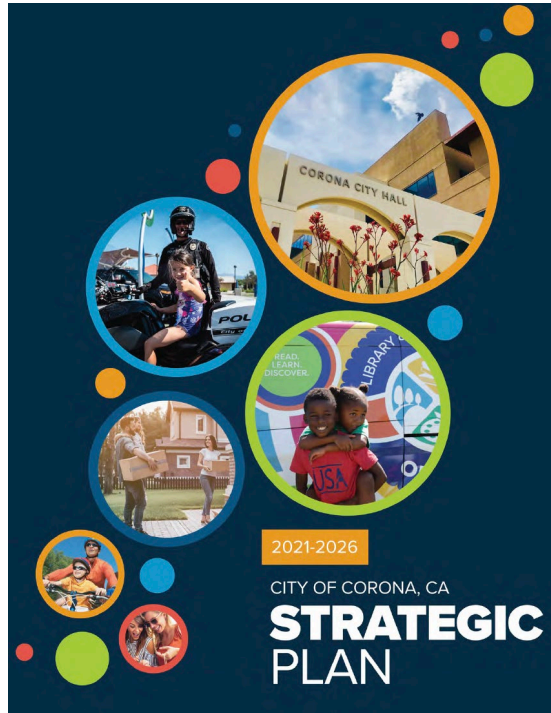
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Q1 *Strategic Plan Implementation Progress Report*

The Plan



- *1 Purpose*
- *1 Vision*
- **6** Value statements
- **6** Goals
- **21** Objectives
- **138** Strategic Actions
- **125** Performance Indicators & Milestone measures



Definition

States the ideal future state of the organization or community

VISION

“Corona will be a safe, vibrant, family friendly community”



Definition

Explains “why”
we do what we
do

PURPOSE

“To create a community where
everyone can thrive”



VALUES

We are **Bold**

We **challenge the status quo** in our relentless pursuit to **rethink how we do business**. We are on a mission to **innovate, modernize services**, and **bring government into the 21st century**.

We are **Humble**

Everyone has a role to play, and we find purpose in **doing our part**. We **own mistakes** and learn from them to **become better**. We **value feedback**, embrace our vulnerabilities, and take time to celebrate others.

We are **Driven**

We have strong **work ethic** and **tackle issues head on**, even the tough stuff. We **anticipate problems, develop creative solutions**, and push ourselves to be better.

We are **Honest**

We strive to **do what is right, not what is easy**. We keep our commitments and **take responsibility for results**, even if things go wrong.

We are **Kind**

No matter who you are or where you are from, you're welcome here. **We embrace diversity**, treat people with dignity, and **genuinely care for others**.

We are a **Team**

We give voice to our community. We trust and honor the process of collaboration. **We achieve more together**.



6 GOALS



**Sustainable
Finances**



**Strong
Economy**



**Sound
Infrastructure**



**Safe
Community**



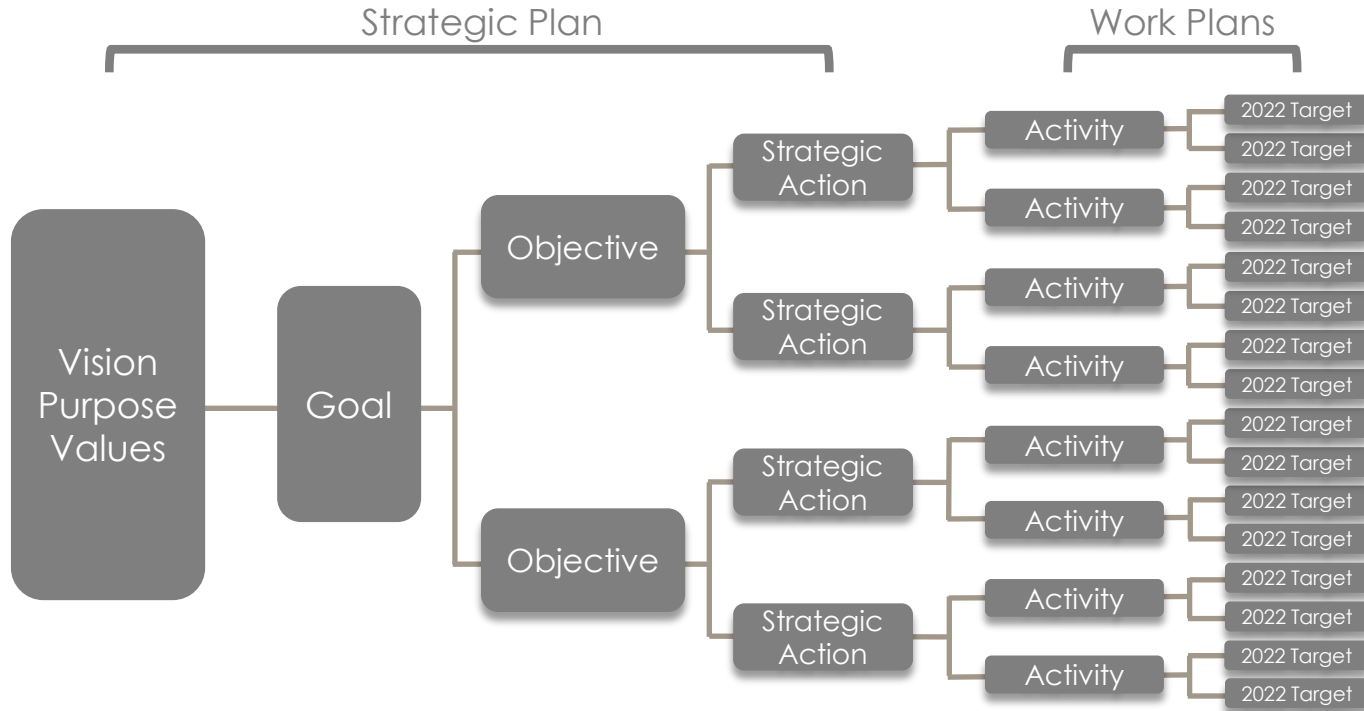
**Sense of
Place**



**High Performing
Government**



Structure





FY22 Q1 Progress Report

(Projects, Performance Measures & Milestones)

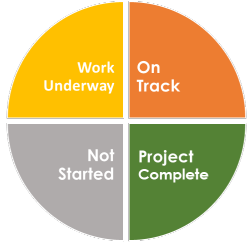
Legend



*based on the adopted project schei **1267**



Financial Stability



Financial Stability

Progress Highlights



Public budget in both English and Spanish



Develop a long-range financial forecasting model



Proactively manage the City's pension liability debt



Simplify budget information



Create strategic reserve funds



Implement new budgeting software



Goal: Financial Stability

FY21/22 Projects

- ✓ **Develop a long-range financial forecasting model** and plan based on needs and community assessments to ensure adequate capital reserves.
- ✓ **Proactively manage the City's pension liability debt.**
- ✓ **Create strategic reserve funds** (e.g. redevelopment, land acquisition, business attraction, etc.) to achieve organizational objectives.
- ✓ **Implement new budgeting software** to streamline the annual budget development process, reduce the timeline and resources needed, and enhance budgeting scenario capabilities.
- ✓ Find ways to **simplify budget information.**
- ✓ **Ensure budget information is available in both English and Spanish.**
- ✓ **Review and update City fees and set intentional cost recovery goals** for City services.

Continuous Annual Efforts

- ✓ **Utilize the Strategic Plan as a framework** to guide future financial decisions.
- ✓ **Regularly review revenue sources** to ensure a balanced, intentional allocation of revenue sources that protect against over-reliance on any single source of revenues
- ✓ Increase the percentage of services funded via external sources; **proactively pursue grants**, partnerships, and other funding opportunities.
- ✓ **Utilize zero-based budgeting on a three-year cycle** to identify cost savings, justify expenditures, and ensure well-constructed financial plans.



Financial Stability Progress *Update*

FY21/22 Projects & Milestones

Status

Notes

Develop a long-range financial forecasting model and plan based on needs and community assessments to ensure adequate capital reserves.

Completed

Forecasting model completed March 2021

Proactively manage the City's pension liability debt.

Completed

POBs issued October 2021

Create strategic reserve funds (e.g. redevelopment, land acquisition, business attraction, etc.) to achieve organizational objectives.

Completed

Reserve fund created in the FY22 Budget

Implement new budgeting software to streamline the annual budget development process, reduce timeline, resources needed, and enhance budgeting scenario capabilities.

Completed

New software (Questica) utilized to create the FY22 budget

Find ways to **simplify budget information.**

Completed

Budget information revamped for FY22

Ensure budget information is available in both English and Spanish.

Work Underway

Spanish version in process

Review and update City fees and set intentional cost recovery goals for City services.

On Track

New fee schedule to be adopted December 2021



Financial Stability Performance Report

Performance Indicators & Milestones

FY21

FY22

Trend
↑ Positive
↔ Neutral
↓ Negative

GO Bond credit rating

AA-

AA+



Outstanding debt per capita

\$564

\$2,047



% of GO debt capacity used

0.98%

8.04%



Debt payments as a % of operating budget

2.49%

11.03%



Unfunded pension liability/POB balance

\$272M

\$276M



Diversity of revenue sources (# and range in size)

#14
0.27% -27.60%

#14
0.43% -28.54%



% of assets funded for scheduled repair & replacement

Unknown

Unknown



Major operating funds maintaining minimum fund balance

100%

100%



1272



Strong Economy



Strong Economy

Progress Highlights



**Create a Police
Officer Business
Liaison program**



**Develop entrepreneurial
workshops and trainings
in English and Spanish**



**Develop a
Downtown
Revitalization Plan**



**Develop an
Economic Development
Strategic Plan**



**Redevelop the
Corona Mall
Properties.**



Goal: Strong Economy

FY21/22 Projects

- ✓ **Develop an Economic Development Strategic Plan** that provides a vision and framework for business attraction, expansion, development, and retention.
- ✓ **Create a Police Officer Business Liaison program** to engage local businesses, advice on crime prevention, and respond to concerns.
- ✓ Establish a process to **promote local businesses** as part of the City's ongoing communication and outreach efforts.
- ✓ **Partner with the Chamber** in its Corona 2030 Plan for local job creation to reduce local unemployment.
- ✓ **Craft an incentive strategy** for businesses to locate in Corona.
- ✓ **Develop entrepreneurial workshops** and trainings that can be offered in English and Spanish.
- ✓ **Review and update the City's purchasing process** to ensure it follows best practices and provides better opportunities for local vendors.
- ✓ **Explore the creation of an economic development corporation** in partnership with the Western Riverside Council of Governments (WRCOG).
- ✓ **Develop a Downtown Revitalization Plan** (including new design guidelines & streetscape enhancements).
- ✓ Explore the feasibility of establishing a program to **assist long-time Corona restaurants to open smaller scale operations in the downtown area.**
- ✓ **Explore the benefits and feasibility of a discounted development fee structure for "historic home" infill developments** in the Circle and historic areas within the redevelopment area.
- ✓ **Take steps to increase crime prevention within the downtown** business district, including exploring the deployment of additional dedicated police officers.
- ✓ **Redevelop the Corona Mall Properties.**

Continuous Efforts

- ✓ **Partner with regional workforce development boards** to increase job opportunities.
- ✓ **Build partnerships and programs that support youth and adult development** to ensure a prepared and skilled local workforce



Strong Economy Progress Update

FY21/22 Projects/Milestones	Status	Notes
Develop an Economic Development Strategic Plan.	On Track	Project started May '21
Create Police Officer Business Liaison Program for businesses crime prevention & addressing concerns.	Completed	Rolled out in June '21
Promote local businesses as part of the City's ongoing communication and outreach efforts.	Completed	Started April '21 via e-newsletter business spotlight
Partner with the Chamber in its Corona 2030 Plan for local job creation to reduce local unemployment.	Underway	City and Chamber cosponsor business events throughout the year to support entrepreneurship and job growth in Corona.
Craft an incentive strategy for businesses to locate in Corona.	Underway	Hold Team Corona meetings to provide regional, state and federal incentives and streamline City approvals.
Develop entrepreneurial workshops and trainings in English and Spanish.	Completed	Launched Emprendedor@s program in 2021 (50+ graduates to date) and partnered with SCORE on English trainings
Explore the creation of an economic development corporation in partnership with the Western Riverside Council of Governments (WRCOG).	Completed	WRCOG group voted not to proceed. May '21
Develop a Downtown Revitalization Plan	On Track	Project started June '21. Plan completion in Q1 '22.
Explore creating a program to assist long-time Corona restaurants to open smaller scale operations in the downtown.	Not Started	Staff exploring assistance program through the DRP and upcoming business grants.
Explore the benefits and feasibility of a discounted development fee structure for "historic home" infill developments.	Not Started	Targeted for Q3 review
Take steps to increase crime prevention within the downtown business district.	Completed	HOPE Team doubled, Anti Camping enforced.
Review and update the City's purchasing process to ensure it follows best practices.	Completed	Completed in March '21
Redevelop the Corona Mall Properties.	Underway	Recurring meetings with LAB and Kosmont Companies to discuss progress. LAB is finalizing plans for Council review.
Partner with regional workforce development boards to increase job opportunities.	Underway	Partnership with RCWDB. Job fair in Spring '22.
Build partnerships and programs that support youth and adult workforce development.	Underway	Partnership with LAUNCH, CNUUSD, CMTC, and local en



Sound Infrastructure



Sound Infrastructure

Progress Highlights



**City Wide Fiber
Deployment**



**Develop a Trails
Masterplan**



**Develop a Parks and
Recreation Master Plan**



**Optimize traffic flows and
light responsiveness.**



Goal: Sound Infrastructure

FY21/22 Projects

- ✓ **Review and revamp the Capital Improvement Plan (CIP) program** to include all potential capital improvement projects (including street and sidewalk maintenance), whether funded or not, utilizing, a 10-year time horizon, and develop a prioritized implementation plan.
- ✓ **Develop a Fiber Optic Master Plan** to guide the design, implementation, and management of the City's fiber optic assets and related infrastructure.
- ✓ Modernize traffic cameras and explore utilization of Artificial Intelligence with traffic cameras to **optimize traffic flows and improve responsiveness of traffic lights.**
- ✓ **Develop a Parks and Recreation Master Plan**
- ✓ **Develop Trails Master Plan**, including safety planning and planning for access points to Cleveland National Forest.
- ✓ **Establish consistent quality and maintenance standards for parks & recreation facilities.**
- ✓ **Institute regular park inspections to proactively identify needed repairs, improvements, and required maintenance to ensure a consistent high-quality experience and develop an easy-to-read report card.**

Continuous Efforts

- ✓ **Advocate with Riverside County Transportation Commission (RCTC) and the State** for transportation improvements that impact congestion within Corona.
- ✓ **Continue efforts to embrace mixed-use developments** that would place housing within walking distance of commercial centers and public transportation.
- ✓ **Continue efforts to implement "park sponsorships"** to increase funding and community support for parks.



Sound Infrastructure Progress Update

FY21/22 Projects	Status	Notes
Review and revamp the Capital Improvement Plan (CIP) program to include all potential capital improvement projects utilizing, a 10-year time horizon.	Not Started	Stated to begin Q3
Develop a Fiber Optic Master Plan.	Work Underway	SIFI Contract approved Dec '21
Modernize traffic cameras and explore utilization of Artificial Intelligence with traffic cameras to optimize traffic flows and improve responsiveness of traffic lights.	On Track	ARP funding secured.
Develop a Parks and Recreation Master Plan	On Track	RFP released October 2021
Develop Trails Master Plan	On Track	On target to award the bid in Nov '21
Establish consistent quality and maintenance standards for parks & recreation facilities.	Work Underway	Planned presentation at Parks & Recreation Commission Dec '21
Institute regular park inspections to proactively identify needed repairs, improvements, and required maintenance to ensure a consistent high-quality experience and develop an easy-to-read report card.	Work Underway	Weekly Park inspections and monthly playground inspections now in place. Working on Dashboard.



Sound Infrastructure Progress Report

Milestones

	Status	Notes
Asset Management Plan/Program established	Work Underway	AM Coordinator position added in FY22 Budget
Capital Improvement Plan (CIP) updated	Work Underway	In progress
Corporate Energy Management Plan developed	FY26 Project	--
Fiber Master Plan developed	Work Underway	SIFI contract may negate need for a city plan.
GIS inventory updated	FY24 Project	--
Long-term capital reserve/asset management funding policy established	FY23 Project	--
Long-term multi-modal transportation plan developed	FY26 Project	--
Parks and Recreation Master Plan developed	On Track	Completion targeted for June 2023
Trails Master Plan developed	On Track	Completion targeted for March 2023



Sound Infrastructure Progress Report

Performance Indicators

FY21

FY22

↑ Positive
↔ Neutral
↓ Negative

Capital asset and building condition ratings	Not Available	Not Available	↔
Net investment in capital assets	\$43.0 M	\$63.2 M	↑
% of city facility assets replaced per schedule in the Asset Management Plan	Not Available	Not Available	--
Street signs replaced within target timeframes	Not Available	Not Available	--
Town-wide average street PCI rating	70	70	↔
Miles of trails per 1,000 residents	Not Available	Not Available	--
% of residents rating recreation facilities as good or excellent	Not Available	Not Available	--
% of residents rating the availability of paths and walking trails as good or excellent	Not Available	Not Available	--
% of residents rating the bike lanes as good or excellent	Not Available	Not Available	--
% of residents rating the quality of public parks as good or excellent	Not Available	Not Available	--
Total acres of parks and green space owned/managed by the City	Not Available	Not Available	--
Average level of service for key intersections during AM and PM peak hours	Not Available	Not Available	--
% of housing within walking distance of commercial centers & public transportation	Not Available	Not Available	--
% of signalized intersections using AI or advanced detection systems	Not Available	Not Available	--



Safe Community



Safe Community

Progress Highlights



**Low Acuity
Fire Response
Service**



**Enhance City's
Graffiti Removal
program**

SeeClickFix

**Improve use of
SeeClickFix
App**



**Enforce camping
and trespassing
ordinances**



**Implement the
Homeless Strategic
Plan**



Goal: Safe Community

FY21/22 Projects

- ✓ Develop a process to scale emergency response to call type and need (i.e. **low acuity response model** in Fire).
- ✓ Explore opportunities to **adopt best practices with computer aided dispatch systems**.
- ✓ Develop a plan to **address chronic staffing issues in the dispatch call center**.
- ✓ **Develop a long-term funding strategy**—including capital and operating reserve funds—**for emergency service assets**.
- ✓ **Develop a strategy** to meet the mandated **Regional Housing Assessment** residential unit numbers.
- ✓ **Expand Community Emergency Response Team (CERT) trainings** and build neighborhood-based CERT Teams.
- ✓ **Implement the Community Wildfire Protection Plan (CWPP)**.
- ✓ **Improve emergency response times to meet or beat national benchmarks**.
- ✓ **Expand resident engagement** and involvement in police and fire support efforts (e.g., Citizens on Patrol, Neighborhood Watch)
- ✓ Continue and **enhance the City's Graffiti Removal program**.
- ✓ **Improve the use of the SeeClickFix app** to report issues.
- ✓ **Enforce current anti-camping and trespassing ordinances**.
- ✓ **Raise public awareness of local hazards and risks** via a communication initiative.
- ✓ **Implement the Homelessness Strategic Plan**
- ✓ **Create a Fire Safe Council** to better equip residents to mitigate impacts of natural disasters.

Continuous Efforts

- ✓ **Hold annual safety drills** for various emergency situations (e.g., fire, earthquake, or active shooter) for both staff and residents.
- ✓ **Provide preparedness training courses** and certifications.
- ✓ **Host events** that put preparedness skills to use.
- ✓ Look for opportunities to facilitate the acquisition of sites to **develop affordable housing** for lower income households.
- ✓ Develop affordable housing in areas that are within walking distance of public transportation and commercial services.
- ✓ **Determine appropriate staffing levels for effective emergency response** capability and address understaffing.
- ✓ **Identify the obstacles to reducing response times**, implement solutions, track results, and report out publicly.
- ✓ **Promote community involvement in identifying hazards** and effective measures to reduce impacts, including: Fire Prevention



Safe Community Progress Update

FY21/22 Projects & Milestones	Status	Notes
Develop a low acuity response service model in Fire.	On Track	FY22 apparatus ordered; FY23 deployment to begin.
Explore opportunities to adopt best practices with computer aided dispatch systems .	Work Underway	New system (Soma) identify for Fire; PD still to TBD
Develop a plan to address chronic staffing issues in the dispatch call center .	Work Underway	PT positions approved; new Mgr; bifurcating Fire/PD CAD/dispatch in progress
Develop a long-term funding strategy —including capital and operating reserve funds— for emergency service assets .	Work Underway	Fire Facility and fire apparatus replacement plans in development
Develop a strategy to meet the mandated Regional Housing Assessment residential unit numbers.	Work Underway	Work is underway and is part of Housing Element Update 2021-2029
Expand Community Emergency Response Team (CERT) trainings and build neighborhood-based CERT Teams	On Track	Classes in September and Mar '22 CERT plan in development.
Implement the Community Wildfire Protection Plan (CWPP) .	On Track	Public comment Dec '21 Plan completion Jan '21



Safe Community Progress Update

FY21/22 Projects & Milestones (Con't)	Status	Notes
Improve emergency response times to meet or beat national benchmarks.	Work Underway	Added more officers; partnering on Fire dispatch
Continue and enhance the City's Graffiti Removal program.	Completed	Contract service, now with 48 removal targets
Improve the use of the SeeClickFix app to report issues.	On Track	Revisions made; presented to Council; now implementing changes
Enforce current anti-camping and trespassing ordinances.	Completed	City now enforcing no camping as needed
Raise public awareness of local hazards and risks via a communication initiative.	On Track	Alert system enhancement in development; Wildland risk story map release Jan '22
Implement the Homelessness Strategic Plan	On Track	Implementation plan on track. Annually reported on
Create a Fire Safe Council to better equip residents to mitigate impacts of natural disasters.	On Track	CWPP nearing completion; Kick off of FireSafe Corona Jan '22



Safe Community Progress Report

Milestones

	Status	Notes
Community Wildfire Protection Plan (CWPP) recommendations implemented	On Track	Public comment Dec '21 Plan completion Jan '21
Data tracking systems and dashboards to measure performance of the homeless strategic plan established	Not Started	Will commence when the Harrison Shelter/Housing operator is selected
Fire Safe Council created	On Track	Kick off in Jan '22 following the completion of the CWPP
Long-term funding strategy to maintain and replace emergency service assets established	Work Underway	Developing RFP for fire facility assessment. Release early '22



Safe Community Progress Report

Performance Indicators

FY21
Q1

FY22
Q1

↑ Positive
↔ Neutral
↓ Negative

Emergency Response

Average Police response time

5:56

5:43



Response time goal to fire incidents (% or responses at 6:00 or less)

69.10%

63.16%



Response time goal to medical calls (% or responses at 6:00 or less)

73.62%

71.96%



Property crimes per 1,000 residents / clearance rate

2.34 / 9%

1.84 / 6%



Violent crimes per 1,000 residents / clearance rate

.37 / 55%

.45 / 61%



Homicides

1

2



Percent of residents feeling very safe in their neighborhoods during the day

N/A

N/A

N/A

Community satisfaction rating of public safety efforts

N/A

N/A

N/A

Suicides

4

0



Traffic fatalities per 1,000 residents

0

.01 (2 in Q1)



Traffic accidents per 1,000 residents

.55 (93 total)

1.19 (200 total)



Drug/alcohol related traffic collisions per 1,000 residents

.19 (32 total)

.27 (46 total)



1289



Safe Community Progress Report

Performance Indicators (Con't)

FY21

FY22

↑ Positive
↔ Neutral
↓ Negative

Percent of community members who report they are prepared for an emergency

N/A

N/A

--

Annual number of residents taking part in emergency preparedness trainings.
Events include CERT training and CPR classes. (*covid impacts)

0*

198

↑

Community satisfaction rating of the City's efforts to reduce homelessness

Not Available

Not Available

--

Number of homeless individuals within the City/First time Homeless

Not Available

109/27

--

Number of emergency shelter / motel voucher beds

Not Available

25

--

Average length of homelessness

Not Available

4.3

--

Annual returns to homelessness

Not Available

13

--

Number of affordable housing units

1,564

1,564

↔

Number of permanent supportive housing units

Not Available

Not Available

--

% of affordable housing units in walking distance of commercial centers and transit

Not Available

Not Available

--



Safe Community Progress Report

Performance Indicators (Con't)

FY21

FY22

↑ Positive
↔ Neutral
↓ Negative

Number of code enforcement/property maintenance citations or warnings	1,595	413	↓
Median annual household income	Not Available	Not Available	--
Median Single Family Home Cost	Not Available	Not Available	--
Percent of residents rating the overall cleanliness of Corona as good or excellent	Not Available	Not Available	--
Percent of residents rating the overall appearance of Corona as good or excellent	Not Available	Not Available	--
Total number of trees in City owned parks and rights of way	Not Available	Not Available	--
Average number of days to replace dead or damaged trees	Not Available	Not Available	--



Sense of Place



Sense of Place

Progress Highlights



**Community
Events &
gatherings**



**Full-Time Special
Event Coordinator
Hired**



**RFP written for
New City
Branding**



**Community
Volunteer
Events**



**Community building
video and Social
media posts**



Goal: Sense of Place

FY21/22 Projects

- ✓ **Increase large-scale recreation events** (sports themed, food, etc.) that provide both social and economic benefits to the community.
- ✓ **Explore the option of forming a special event unit** within the Community Services Department.
- ✓ **Review and revamp the City's calendar of signature community events** to clarify the City's role, determine potential partners, and identify opportunities to celebrate diverse cultures.
- ✓ **Update the Mills Act Landmark list.**
- ✓ **Reimagine the City of Corona's brand, identity, and story**, and brand City facilities to instill a sense of pride and make them more welcoming.
- ✓ **Pursue opportunities to highlight the contributions of Latinx, Asian, Indigenous, and Black residents** to Corona's history, culture, and current community.
- ✓ **Ensure that City services can be accessed in both English and Spanish.**
- ✓ **Improve the City website** for ease of use.
- ✓ **Develop an implementation plan for ADA improvements** to City facilities and ensure ADA-required improvements are included as part of the City's Capital Improvement Program planning.
- ✓ **Develop an Equal Employment Opportunity plan** to ensure the City workforce reflects the racial and gender diversity of the community.

Continuous Efforts

- ✓ **Promote the use of public spaces for festivals or shows that showcase arts and culture.**
- ✓ **Ensure robust engagement with a broad cross section of all segments of the community when developing plans** for new or renovated parks and facilities.



Sense of Place Progress *Update*

FY21/22 Projects & Milestones	Status	Notes
Increase large-scale recreation events (sports themed, food, etc.) that provide both social and economic benefits to the community.	Work Underway	Introduced the Night Market this year and executed the Wall that Heals. New Special Events Program Coordinator hired and call to events promoters will be being shortly.
Explore the option of forming a special event unit within the Community Services Department.	Completed	Instituted Sept '21
Review and revamp the City's calendar of signature community events to clarify the City's role, determine potential partners, and identify opportunities to celebrate diverse cultures.	Work Underway	Volunteer Program Coordinator has been hired and monthly event for calendar year 2022 will be published in January 2022
Update the Mills Act Landmark list.	Work underway	Slated for Q3 discussion
Reimagine the City of Corona's brand, identity, and story , and brand City facilities to instill a sense of pride and make them more welcoming.	Work Underway	RFP written and soon to be issued, contract anticipated for approval in Q3
Pursue opportunities to highlight the contributions of Latinx, Asian, Indigenous, and Black residents to Corona's history, culture, and current community.	Work underway	Published Hispanic Heritage month campaign, and other content like Compete with a Cop featuring diverse residents



Sense of Place Progress *Update*

FY21/22 Projects	Status	Notes
Ensure that City services can be accessed in both English and Spanish.	Completed	Website translation, budget, Spanish and English PSAs, bilingual pay.
Improve the City website for ease of use	Work Underway	Staff working on RFP for complete website overhaul.
Develop an implementation plan for ADA improvements to City facilities and ensure ADA-required improvements are included as part of the City's Capital Improvement Program planning.	Work Underway	--
Develop an Equal Employment Opportunity plan to ensure the City workforce reflects the racial and gender diversity of the community.	Not Started	To begin in Q3
Promote the use of public spaces for festivals or shows that showcase arts and culture.	Work Underway	New special events coordinator to spearhead this starting Q3
Ensure robust engagement with a broad cross section of all segments of the community when developing plans for new or renovated parks and facilities.	Work Underway	More surveying, engagement and community outreach underway



Sense of Place Performance Report

Performance Indicators

FY21

FY22

↑ Positive
↔ Neutral
↓ Negative

Percent of City facilities that are ADA compliant	Not Available	Not Available	--
Percent of City services that can be accessed in Spanish	Not Available	Not Available	--
Percent of persons who click on "apply now" after viewing the posting description on diversityjobs.com	Not Available	Not Available	--
Percent of residents rating Corona as a place to live as good or excellent	Not Available	Not Available	--
Percent of residents rating Corona as a place to raise a child as good or excellent	Not Available	Not Available	--
Percent of residents rating the community's openness and acceptance towards people of diverse backgrounds as good or excellent	Not Available	Not Available	--
Percent of residents rating the overall image or reputation of Corona as good or excellent	Not Available	Not Available	--
Percent of residents rating the quality and number of places to recreate, socialize, meet and connect with friends, neighbors, and family as good or excellent	Not Available	Not Available	--
Percent of residents rating the sense of community in Corona as good or excellent	Not Available	Not Available	--
Percent of residents very likely to recommend living in Corona to someone who asks	Not Available	Not Available	--
Percent of residents who say, given the chance to start over, they would choose to live in Corona again.	Not Available	Not Available	--
Percent of residents who volunteered time to some group/activity in Corona at least once last month	Not Available	Not Available	--
Total annual number of participants in City recreation programs	65,001	102,004	↑



High Performing Government



High Performing Government

Progress Highlights



Council workshops



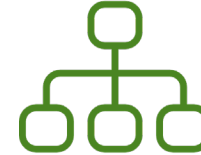
P&D Customer survey reviews



Management Cycle Calendar



Digital Engagement Roadmap



New Departmental Structure



Standard annual performance reporting



Goal: High Performing Government

FY21/22 Projects

- ✓ **Develop annual department work plans** based on the Strategic Plan and the City's budget.
- ✓ **Develop an external communication plan** to tell our story, build trust between the City and residents, help people get to know their City on a personal level, remember our history, and build a sense of pride by leveraging social media, internet, print, and other forms of two-way communication and engagement with residents.
- ✓ **Establish regular community satisfaction surveys** to gather statistically significant data, track residential concerns over time, and ensure that services and service levels are consistent with community needs and wants.
- ✓ **Increase the frequency, quality, and quantity of resident feedback and engagement** that better reaches the "silent majority," as well as diverse and historically underrepresented communities.
- ✓ **Streamline and simplify the recruitment process** and hiring new employees to reflect best practices.
- ✓ **Establish a staff recognition program/policy** and a retiring employee recognition program/policy to recognize the amazing efforts across the organization and thank long-time employees who are retiring from service.
- ✓ **Increase the number of online options for all major City services** that can be offered virtually.
- ✓ **Utilize customer survey reviews** where possible, including for plan check and building inspections.
- ✓ **Increase accountability by establishing standard annual performance reporting to Council**
- ✓ **Develop a management cycle calendar** to ensure effective, efficient sequencing of key annual organizational processes.
- ✓ **Pursue meaningful award and certification opportunities** to evaluate municipal services and better demonstrate the talent, commitment, outcomes achieved by the City for its residents.

Continuous Efforts

- ✓ **Review the Strategic Plan annually** and track goals through established performance indicators to provide a framework for budget decisions.
- ✓ **Ensure annual reporting on Strategic Plan** and departmental work plan milestones and performance measures.
- ✓ **Use the open data portal to increase transparency** and help residents engage with City government.
- ✓ **Quantify results from programs** to drive process improvements and evaluation efforts.
- ✓ Proactively pursue, and **incorporate, resident input into all major planning efforts.**
- ✓ **Meet periodically with representatives of the local building and development industry** to discuss issues of mutual concern.
- ✓ **Build a high-performing team** between Council and City management.
- ✓ **Hold bi-annual Council workshops** for policy making and financial planning.
- ✓ **Review and restructure City departments as needed** to improve efficiency and achieve **1300** organizational objectives.



High Performing Gov't Progress Report

FY21/22 Projects	Status	Notes
Develop annual department work plans based on the Strategic Plan.	Completed	Strategic Plan integrated into workplans Q1 '22
Develop an external communication plan to tell our story, build trust between the City and residents.	Completed	Plan presented at the May '21 Council Study Session
Establish regular community satisfaction surveys to gather statistically significant data, track residential concerns over time, and ensure that services and service levels are consistent with community needs and wants.	Not Started	Slated to start in Q3.
Increase the frequency, quality, and quantity of resident feedback and engagement that better reaches the “silent majority,” as well as diverse and historically underrepresented communities.	Work Underway	1,219 social post including 419 videos. Strategically distributed ED survey = 3,163 responses. Developing Trails survey distribution on census data + ad targeting.
Streamline and simplify the recruitment process and hiring new employees to reflect best practices.	Not Started	Slated to start in Q3.
Establish a staff recognition program/policy and a retiring employee recognition program/policy to recognize the amazing efforts across the organization and thank long-time employees who are retiring from service.	Not Started	Slated to start in Q3.



High Performing Gov't Progress Report Con't

FY21/22 Projects	Status	Notes
Utilize customer survey reviews where possible, including for plan check and building inspections.	Completed	Survey auto generated for every customer
Increase the number of online options for all major City services that can be offered virtually.	Work Underway	--
Increase accountability by establishing standard annual performance reporting to Council.	Completed	Annual Report in January, plus regular quarterly reports starting for Q1 of FY22
Develop a management cycle calendar to ensure effective, efficient sequencing of key annual organizational processes.	Work Underway	On track for completion in Q3
Pursue meaningful award and certification opportunities to evaluate municipal services and better demonstrate the talent, commitment, outcomes achieved by the City for its residents.	Not Started	Will be assigned to ATCMs for Q3
Review the Strategic Plan annually and track goals through established performance indicators to provide a framework for budget decisions.	On Track	First year review to occur March 2022



High Performing Gov't Progress Report Con't

FY21/22 Projects	Status	Notes
Ensure annual reporting on Strategic Plan and departmental work plan milestones and performance measures.	On Track	First Annual Report Scheduled for January 2022
Use the open data portal to increase transparency and help residents engage with City government.	Completed	Open data portal active and includes tons of data sets
Quantify results from programs to drive process improvements and evaluation efforts.	Work Underway	Performance indicators established for major services
Proactively pursue, and incorporate, resident input into all major planning efforts.	Work Underway	More issue specific videos and surveys going out to engage residents.
Meet periodically with representatives of the local building and development industry to discuss issues of mutual concern.	Completed	First meetings held in April 2021. Annual meetings to be held each year.
Build a high-performing team between Council and City management.	Work Underway	Orientations, meals; workshops, service and more
Hold bi-annual Council workshops for policy making and financial planning.	Completed	Fall '20; Spring '21; Fall '21 Held. Scheduled to occur every six months thereafter.
Review and restructure City departments as needed to improve efficiency and achieve organizational objectives.	Completed	Major restructure complete Q1 FY22.



High Performing Gov't Progress Report Con't

Milestones

	Status	Notes
Annual Performance Report provided to Council on Organization wide progress	On Track	First report Nov '21
Annual community satisfaction survey established	Not Started	Annual surveys scheduled for Q3/4 '21
Annual employee engagement survey established	On Track	Slated for Q3
Annual performance evaluations completed for all staff	On Track	To be rolled out in FY22
Annual workplans developed for each department	On Track	Drafts complete; final plans set for FY22
City personnel policies reviewed and updated	Not Started	--
Citywide performance measurement dashboard/framework developed	Work Underway	Under construction
Classification and compensation study completed	Completed	--
Employee innovation program established	Not Started	--
Employee orientation process updated	Not Started	--
Enterprise Resource Planning System Replaced	Not Started	--
Management Cycle Calendar developed	On Track	Anticipated completion Q3 FY22
Recruiting process reviewed and updated	Not Started	--
Resident Communications and engagement plan developed	Completed	Completed
Staff recognition program and policy established	Not Started	--



High Performing Gov't Progress Report Con't

Performance Indicators

FY21

FY22

↑ Positive
↔ Neutral
↓ Negative

Number of social media engagements

511,862

398,672



Number of Social media impressions

7,822,762

6,528,154



Percent of residents expressing confidence in city government

Not Available

Not Available

--

Percent of residents rating the overall direction the City is taking as good or excellent

Not Available

Not Available

--

Percent of residents who believe all City residents are treated fairly

Not Available

Not Available

--

Percent of major City services that are offered virtually.

60%

80%



Percent of residents rating overall quality of City services as good or excellent

Not Available

Not Available

--

Percent of residents rating value of services as good or excellent

Not Available

Not Available

--

Annual Employee turnover rate

Not Available

Not Available

--

Percent of employees agreeing or strongly agreeing that they would recommend the City has a place to work

Not Available

Not Available

--

Number of City awards/certifications earned

Not Available

Not Available

--

QUESTIONS?



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www.CoronaCA.gov



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Staff Report

File #: 21-0989

REQUEST FOR CITY COUNCIL AND CORONA UTILITY AUTHORITY ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members
Honorable President and Board Members

FROM: Utilities Department

SUBJECT:

Ordinance amending Chapter 8.20 of the Corona Municipal Code relating to solid waste handling, organics recycling, and edible food recovery.

EXECUTIVE SUMMARY:

An ordinance amending Chapter 8.20 of the Corona Municipal Code for the purpose of updating the solid waste and recycling regulations to implement provisions of Senate Bill 1383.

RECOMMENDED ACTION:

That the City Council introduce, by title only, and waive the full reading of Ordinance No. 3338, amending [Chapter 8.20](#) of the Corona Municipal Code relating to solid waste handling, organics recycling, and edible food recovery.

BACKGROUND & HISTORY:

The California Integrated Waste Management Act of 1989 (the "Act") established a solid waste management process that requires cities and other local jurisdictions to adopt and implement plans to divert the amount of solid waste generated by maximizing reuse and recycling. Over the past decade, the California Legislature has amended and added provisions to the Act to reinforce the ambitious statewide diversion goals. For example, Assembly Bill No. 341 ("AB 341") amended the Act to, among other things, require commercial waste generators to arrange for recycling services. Assembly Bill No. 1826 ("AB 1826") amended the Act to include provisions regarding organic waste recycling for commercial waste generators. Senate Bill No. 1383 ("SB 1383") builds upon AB 1826 and expands mandatory organic waste recycling requirements to all governmental, commercial, and residential entities to support achievement of the statewide organic waste disposal reduction by diverting 75 percent, from 2014 levels, of organic waste from landfills by 2025.

The Corona Municipal Code (CMC) [Chapter 8.20](#) provides waste and recycling requirements for all residents, commercial businesses and establishes administrative and enforcement policies for the City's franchise waste hauler, state authorized haulers, and for City staff to manage the program.

ANALYSIS:

Ordinance No. 3338 will update Chapter 8.20 of the Corona Municipal Code to reflect changes in State law concerning SB 1383 and structure the content within the chapter for better organization. Further, it will simplify some of the language to make it easier for the general community to follow. Chapter 8.20 will be organized into nine main articles containing various sections focusing on specific subjects. The major updates address SB 1383 requirements and create an enforceable mechanism for collection, recycling, and food recovery for implementation by January 1, 2022:

- Residential and Commercial waste generators must subscribe to mandatory organic waste recycling collection services and source separate their organic waste in the appropriate container provided by the waste hauler.
- Allow De Minimis Waivers for commercial waste generators from organic recycling requirements when evidence of the amount of organic waste generated is below a minimum threshold or there is a lack of physical adequate space for the collection containers is provided.
- Standardization of container colors across the state (to be fully implemented by January 1, 2036), and require a jurisdiction to place a label on each new container or lid provided to generators consistent with the container collection requirement. Edible food recovery provisions for Tier I and Tier II commercial edible food generators which requires these generators to arrange to recover the maximum amount of edible food that would otherwise be disposed and to contract with a food recovery organization for food recovery services and keep records of their donated food.
 - Tier I generators include:
 - Supermarket.
 - Grocery store with a total facility size equal to or greater than 10,000 square feet.
 - Food service provider.
 - Food distributor.
 - Wholesale food vendor.
 - Tier II generators include:
 - Restaurant with 250 or more seats, or a total facility size equal to or greater than 5,000 square feet.
 - Hotel with an on-site food facility and 200 or more rooms.
 - Health facility with an on-site food facility and 100 or more beds.
 - Large venue.
 - Large event.
 - A State agency with a cafeteria with 250 or more seats or total cafeteria facility size equal to or greater than 5,000 square feet.
 - A school, college, university, or other educational facility with an on-site food facility.

- City inspection and enforcement provisions to conduct review of commercial business to ensure they are subscribed to organic collection services and monitor contamination.
- Establishing the requirements for the City to procure recycled organic waste products such as compost, mulch, renewable natural gas, electricity and recycled content paper and paper products.

SB 1383 places responsibility on the jurisdiction to ensure the necessary programs and enforcement mechanisms are in place to ensure the requirements of SB 1383. Each jurisdiction must update their ordinance to be in effect by January 1, 2022. Additionally, jurisdictions are required to identify and secure or develop organics capacity through capital investment or agreements. A jurisdiction must also plan, negotiate, and procure services for the required programs, analyze funding, and set rates. This will require the City of Corona to review and renegotiate the current agreement with its franchised waste hauler, USA Waste of California, Inc. (doing business as Waste Management), for the required programs and services needed to implement SB 1383 successfully.

FINANCIAL IMPACT:

If adopted, Ordinance No. 3338 will become effective December 17, 2021. The requirements set forth in this Ordinance will apply to both residential and commercial accounts. Staff anticipates some increase in revenue as a result of the recommended action from franchise fees due to the mandatory organic waste collection services for commercial businesses. However, that value is difficult to calculate at this time since not all commercial businesses have responded to the City's requests to submit their information on how they comply with organic waste recycling requirements. The City, Waste Management, and MSW consultants will be conducting in person waste assessments to assist commercial customers with their compliance requirements, prior to assessing penalties or enforcing mandatory services in 2022. Revenue budget estimates for Fiscal Years 2022 and 2023 will be adjusted accordingly through future council action or the annual budget process.

ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action makes changes to the City's rules and regulations pertaining to the recycling of recyclable materials and organic waste in order to better protect the public health, safety, and welfare and to bring the City's rules and regulations into compliance with State law. This Ordinance increases the amount of waste that is required to be diverted from the landfill in accordance with State law, and there is no possibility that adopting this Ordinance will have a significant effect on the environment. Therefore, no environmental analysis is required.

PREPARED BY: JACQUELINE ZUKERAN, BUSINESS MANAGER

REVIEWED BY: TOM MOODY, GENERAL MANAGER

File #: 21-0989

Attachments:

1. Exhibit 1 - Ordinance No. 3338

ORDINANCE NO. 3338

AN ORDINANCE OF THE CITY OF CORONA, CALIFORNIA, AMENDING CHAPTER 8.20 OF THE CORONA MUNICIPAL CODE RELATING TO SOLID WASTE HANDLING, ORGANICS RECYCLING, AND EDIBLE FOOD RECOVERY

WHEREAS, Article 11, Section 7 of the California Constitution authorizes cities to make and enforce within their limits all local, police, sanitary, and other ordinances and regulations not in conflict with general laws; and

WHEREAS, in 1989, the State approved Assembly Bill No. 939 enacting the California Integrated Waste Management Act of 1989 (“AB 939” or the “Act”) (Public Resources Code §§ 4000 et seq.) which requires cities to adopt and implement plans to reduce solid waste by maximizing reuse and recycling; and

WHEREAS, AB 939 further provides that all aspects of solid waste handling, such as the frequency of solid waste collection, the means of solid waste collection and transportation, levels of service, charges and fees for services, and the nature, location and extent of providing solid waste services are of local concern, and authorizes cities to furnish any necessary services for itself, through other local agencies, or through a solid waste enterprise; and

WHEREAS, in 2011, the State approved AB 341, which requires businesses that generate four (4) or more cubic yards of refuse per week, and multifamily residential premises with five (5) or more dwelling units, to arrange for recycling services consistent with State law; and

WHEREAS, in 2015, the State approved AB 1826, which requires business that generates two (2) or more cubic yards of solid waste per week, and multifamily residential premises with five (5) or more dwelling units and that generate two (2) or more cubic yards of solid waste per week, to arrange for organic recycling services; and

WHEREAS, in 2016, the State approved SB 1383, the Short-lived Climate Pollutant Reduction Act, which requires the California Department of Resources Recycling and Recovery (CalRecycle) to develop regulations to reduce organics in landfills as a source of methane. As adopted by CalRecycle, these SB 1383 regulations (“SB 1383 Regulations”) place requirements on multiple entities including the city, residential households, commercial businesses, commercial edible food generators, haulers, self-haulers, facility operators, food recovery organizations, and food recovery services to support achievement of statewide organic waste disposal reduction targets; and

WHEREAS, the SB 1383 Regulations require the City to adopt and enforce an ordinance or other enforceable mechanism to implement relevant provisions of the SB 1383 Regulations; and

WHEREAS, in 2019, the State approved AB 827, which requires certain business to provide their customers access to recycling containers; and

WHEREAS, this Ordinance implements the requirements of AB 939, AB 341, AB 1826, AB 827, and the SB 1383 Regulations; and

WHEREAS, the City Council has determined this amendment to and restatement of Chapter 8.20 of the Corona Municipal Code (“CMC”), concerning the handling of refuse and recycling materials, is necessary to enable the City to implement and enforce its rules and regulations relating to the handling of solid waste in a manner consistent with State law.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. Incorporation of Recitals. The City Council finds and determines that the foregoing recitals are true and correct and incorporates the recitals in this chapter.

SECTION 2. CEQA Findings. This action is exempt pursuant to § 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common-sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action makes changes to the City’s rules and regulations pertaining to the handling of solid waste in order to better protect the public health, safety and welfare and to bring the City’s rules and regulations into compliance with State law. This Ordinance increases the amount of solid waste that is required to be diverted in accordance with State law. Therefore, it can be seen with certainty that adopting this Ordinance will not have a significant adverse effect on the environment and is therefore exempt from the California Environmental Quality Act pursuant to Section 15061(b)(3) of the CEQA Guidelines.

SECTION 3. Amendment to Section 1.08.074. Section 1.08.074 (Issuance of citations by Administrator) of Chapter 1.08 (Penalties) of Title 1 (General Provisions) of the Corona Municipal Code is hereby amended in its entirety, to read as follows:

“(A) The Administrator, as defined in § 8.20.020 , is authorized by the City Council, pursuant to Cal. Penal Code §§ 836.5 and 19.7 and subject to the provisions thereof to issue a Notice to Appear to any person on his or her written promise to appear in court, pursuant to Cal. Penal Code §§ 853.5 and 853.6, whenever the Administrator has reasonable cause to believe that the person has either violated a

mandatory provision of Chapter 8.20 of this code in the presence of the Administrator or fails to correct a violation of the mandatory provisions of Chapter 8.20 of this code and therefore has committed an infraction or misdemeanor which the Administrator has a discretionary duty to enforce.

(B) The Administrator shall file executed citations with the Magistrate pursuant to § 1.08.070 of this code. Under no circumstances may the Administrator take the person into custody. In the event that the person demands to be taken before the Magistrate or refuses to provide his or her written promise to appear in court, the Administrator shall either summon a Corona police officer, explain the situation and request that the Corona police officer arrest the person and take the person into custody or seek assistance of the City Attorney and request that an infraction or misdemeanor complaint be prepared and filed against that person.

(C) The Administrator shall be an Enforcement Officer within the meaning of § 1.08.120(D) of this code.”

SECTION 4. Amendment to and Restatement of Chapter 8.20. Chapter 8.20 (Collection of Refuse and Recyclable Materials) of Title 8 (Health and Safety) of the Corona Municipal Code is hereby amended and restated in its entirety to read as set forth in Exhibit “A” attached hereto and incorporated herein by reference.

SECTION 5. Severability. If any provision or clause of this Ordinance or any application of it to any person, firm, organization, partnership or corporation is held invalid, such invalidity shall not affect other provisions of this Ordinance which can be given effect without the invalid provision or application. To this end, the provisions of this Ordinance are declared to be severable.

SECTION 6. Conflicting Ordinances. This Ordinance shall supersede all other previous City Council resolutions and ordinances that may conflict with, or be contrary to, this Ordinance.

SECTION 7. Effective Date. The Mayor shall sign this Ordinance and the City Clerk shall attest thereto and shall within fifteen (15) days of its adoption cause it, or a summary of it, to be published in a general circulation newspaper published and circulated in the City of Corona. This Ordinance shall take effect and be in force on the 30th day after its adoption.

ADOPTED this 17th day of November 2021.

Mayor of the City of Corona, California

ATTEST:

City Clerk of the City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Ordinance was regularly introduced at a regular meeting of the City Council of the City of Corona, California, duly held on the 3rd day of November, 2021, and thereafter at a regular meeting held on the 17th day of November, 2021, it was duly passed and adopted by the following vote of the City Council:

AYES:

NOES:

ABSTAINED:

ABSENT:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 17th day of November, 2021.

City Clerk of the City of Corona, California

(SEAL)

EXHIBIT “A”

**CHAPTER 8.20
SOLID WASTE HANDLING, ORGANICS RECYCLING,
AND EDIBLE FOOD RECOVERY**

[SEE ATTACHED THIRTY-THREE (33) PAGES]

EXHIBIT “A”

CHAPTER 8.20 SOLID WASTE HANDLING, ORGANICS RECYCLING, AND EDIBLE FOOD RECOVERY

ARTICLE I DEFINITIONS AND GENERAL PROVISIONS

- 8.20.010 Purpose.
- 8.20.020 Definitions.
- 8.20.030 Refuse accumulation prohibited.
- 8.20.040 Illegal dumping.
- 8.20.050 Unlawful to place dangerous materials in containers.
- 8.20.060 Hazardous, radioactive, and medical waste.
- 8.20.070 Dead animals.
- 8.20.080 Manure.
- 8.20.090 Cannabis waste.
- 8.20.100 Burning prohibited.
- 8.20.110 Implementation policies.

ARTICLE II EXCLUSIVE FRANCHISE AGREEMENT

- 8.20.120 Exclusive franchise agreement to collect solid waste.
- 8.20.130 Exemptions.
- 8.20.140 Fees paid by franchisee.
- 8.20.150 Equipment and vehicle standards.
- 8.20.160 Franchisee reporting requirements.
- 8.20.170 Liquidated damages.

ARTICLE III STATE AGENCY COLLECTOR

- 8.20.180 Service by state agency collectors.
- 8.20.190 Fees paid by state agency collector.
- 8.20.200 State agency collector reporting requirements.

ARTICLE IV STORAGE OF SOLID WASTE MATERIALS AND NUISANCE ABATEMENT

- 8.20.210 Franchisee obligation to provide containers.
- 8.20.220 Containers from unauthorized haulers.
- 8.20.230 Time of collection.
- 8.20.240 Container - Residential placement.
- 8.20.250 Container - Tampering with prohibited.
- 8.20.260 Container – Maintenance.

ARTICLE V COLLECTION OF FEES

- 8.20.270 Collection - Rates.
- 8.20.280 Collection - Customer subscription and change of address.
- 8.20.290 Collection - Suspension of service to commercial premises for delinquent payment.
- 8.20.300 Collection - Charges as civil debt.
- 8.20.310 Placement of delinquent charges on tax roll.

ARTICLE VI REQUIREMENTS FOR RESIDENTIAL AND COMMERCIAL PREMISES

- 8.20.320 Requirements for single family waste generators.
- 8.20.330 Requirements for commercial waste generators.
- 8.20.340 Self-hauler requirements.
- 8.20.350 Waiver for commercial waste generators.
- 8.20.360 Automatic subscription to recyclable and organics collection service.

ARTICLE VII EDIBLE FOOD RECOVERY

- 8.20.370 Requirements for commercial edible food generators.
- 8.20.380 Requirements for food recovery organizations and services.
- 8.20.390 Requirements for franchise haulers and facility operators.

ARTICLE VIII PROCUREMENT

- 8.20.400 Procurement requirements.

ARTICLE IX ENFORCEMENT

- 8.20.410 Inspections and investigations by city.
- 8.20.420 Violations – Penalty and enforcement.

ARTICLE I DEFINITIONS AND GENERAL PROVISIONS

8.20.010 Purpose.

The purpose of this chapter is to regulate solid waste handling to protect public health, safety, and welfare and to meet the city's obligation under State law. The city is obligated to implement plans for solid waste source reduction, reuse, and recycling to meet specified waste diversion targets, and enforce State recycling laws.

8.20.020 Definitions.

Unless it is apparent from the context that another meaning is intended, the following words and terms shall, for purposes of this chapter, have the meaning as set forth in this section.

"AB 341" ("Assembly Bill 341") means that State law adopted in 2011 that requires commercial businesses that meet specified waste generation thresholds to arrange for recycling services.

"AB 827" means the State law adopted in 2019 that requires certain businesses to provide customers access to recycling containers.

"AB 939" means the California Integrated Waste Management Act of 1989 (California Public Resources Code § 40000 et seq.).

"AB 1826" means the State law adopted in 2015 that requires commercial businesses that meet specified waste generation thresholds to arrange for organic waste recycling services.

"Administrator" means one or more employees designated by the City Manager who is functioning in a responsible level in the city administration. The administrator(s) shall administer and enforce the provisions of this chapter.

"Anaerobic digestion" means in-vessel controlled system of digestion, such as, but not limited to a treatment facility for the digestion of organics to produce methane and reduce the volume of organics sent to landfills.

"Back-haul" means transporting recyclable materials or organic waste to a destination owned and operated by the waste generator using a vehicle or trailer that was originally used to deliver products or finished goods to the waste generator's location.

"Bin" means a metal container with hinged lids and wheels and a capacity from two (2) to six (6) cubic yards.

"Blue container" means a container with a blue lid and/or body used to store and collect source separated recyclable materials or source separated blue container organic waste.

“Cannabis waste” means waste that is not hazardous waste which contains cannabis and that has been made unusable and unrecognizable in the manner required by State cannabis laws. Cannabis waste is a subset of green waste and organic waste. See CMC 5.36.020

“CalRecycle” means California's Department of Resources Recycling and Recovery, which is authorized to implement and enforce State Laws related to waste and recycling.

“California Code of Regulations” or “CCR” means the State of California Code of Regulations. CCR references in this chapter are preceded with a number that refers to the relevant title of the CCR (e.g., “14 CCR” refers to Title 14 of CCR).

“Cart” means a plastic container with a hinged lid and wheels serviced by an automated or semi-automated truck with a capacity of no less than 32-gallons and no greater than 101-gallons.

“Chapter” mean this Chapter 8.20 of the Corona Municipal Code.

“City” means the City of Corona and all the territory within its city limits.

“Collect” or “Collection” means the operation of gathering together and transporting solid waste to the point of disposal.

“Commercial business” or “Commercial” means a firm, partnership, proprietorship, joint-stock company, corporation, or association, whether for-profit or nonprofit, strip mall, industrial facility, or a multi-family residential premises. A multi-family residential development that consists of fewer than five (5) units is not a commercial business for purposes of this chapter.

“Commercial premises” means premises upon which business activity is conducted, including but not limited to retail sales, services, wholesale operations, manufacturing and industrial operations, commercial and industrial construction and demolition activities, but excluding residential premises upon which business activities are conducted when such activities are permitted under applicable zoning regulations, but are not the primary use of the property. For purposes of this chapter, the following types of properties are commercial premises: multi-family residential premises, assisted living facilities, convalescent homes, dormitories, extended stay motels, group residential facilities, group care facilities, hostels, hotels, and motels. A multi-family residential development that consists of fewer than five (5) units is not a commercial premises.

“Commercial edible food generator” means a commercial premises that generates recoverable edible food including a tier one or a tier two commercial edible food generator as defined in this chapter. For the purposes of this definition, food recovery organizations, and food recovery services, are not commercial edible food generators.

“Compliance review” means a review of records of a commercial business by the city or its designee to determine compliance with this chapter and/or State law.

“Community composting” means any activity that composts green waste, agricultural material, food material, and vegetative food material, alone or in combination, and the total amount of feedstock and compost on-site at any one time does not exceed 100 cubic yards and 750 square feet.

“Community composting operator” means a person who is responsible for the care and control of a community composting site.

“Compost” means the product resulting from the controlled biological decomposition of organic solid wastes that are source separated from the municipal solid waste stream, or which are separated at a centralized facility.

“Compostable plastic” means plastic material that meets the American Society for Testing and Materials (ASTM) D6400 standard for compostability (sections 5.1 through 6.4.2 published May 2019).

“Container” means any and all types of solid waste receptacles, including carts, bins, and rolloff boxes.

“Container contamination” or “contaminated container” means a container, regardless of color, that contains prohibited container contaminants.

“Customer” means a person receiving solid waste handling services from the franchisee pursuant to the terms of the franchise agreement.

“Construction and demolition debris” (“C&D Debris”) means any solid waste generated at a premises that is directly related to construction or demolition activities. These activities include, but are not limited to, construction, demolition, remodeling, grading, land clearing, or renovation on any residential, commercial, institutional or industrial building, road, driveway, walkway or other structure. C&D debris includes but is not limited to, concrete, asphalt paving, asphalt roofing, lumber, gypsum board, rock, soil and metal.

“Designated entity” means an entity that the city contracts with or otherwise arranges to carry out any of the city’s responsibilities of this chapter. A designee may be a government entity, a franchisee, a private entity, or a combination of those entities.

“Discarded materials” means solid waste discarded by the waste generator or customer.

“Disposal” means the final deposit of solid waste at a landfill or source separated facility permitted to accept such material.

“Diversion” means any combination of waste prevention (source reduction), recycling, reuse and composting activities that reduces waste disposed at landfills, provided such activities are recognized by CalRecycle as Diversion in its determination of the city’s diversion targets and compliance with AB 939.

“Edible food” means food intended for human consumption. For the purposes of this chapter edible food is not solid waste if it is recovered and not discarded. Nothing in this chapter requires or authorizes the recovery of edible food that does not meet the food safety requirements of the California Retail Food Code (California Health and Safety Code §§ 113700 *et seq.*).

“Enforcement action” means an action of the city to address non-compliance with this chapter including, but not limited to, issuing administrative citations, fines, penalties, or using other remedies.

“Excluded waste” means hazardous substances, hazardous waste, infectious waste, designated waste, volatile, corrosive, medical waste, infectious, regulated radioactive waste, and toxic substances or material that facility operator(s), which receive materials from the city and its waste generators, reasonably believe(s) would, as a result of or upon acceptance, transfer, processing, or disposal, be a violation of local, State, or Federal law, regulation, or ordinance, including: land use restrictions or conditions, waste that cannot be disposed of in Class III landfills or accepted at the facility by permit conditions, waste that in the city’s opinion would present a significant risk to human health or the environment, cause a nuisance or otherwise create or expose the city to potential liability; but not including de minimis volumes or concentrations of waste of a type and amount normally found in solid waste generated at residential premises after implementation of programs for the safe collection, processing, recycling, treatment, and disposal of batteries and paint.

“Food distributor” means a company that distributes food to commercial edible food generators.

“Food facility” means a permanent or temporary operation that stores, prepares, packages, serves, vends, or otherwise provides food for human consumption at the retail level. Food Facility has the same meaning as in § 113789 of the Health and Safety Code. A food facility includes an operation where food is consumed on or off the premises, regardless of whether there is a charge for the food. A food facility includes a place used in conjunction with the operations described in this section, including, but not limited to, storage facilities for food-related utensils, equipment, and materials. A food facility includes, but is not limited to, school cafeterias, licensed health care facilities, commissaries, mobile food facilities, vending machines, farmers’ markets, farm stands, microenterprise home kitchen operations, and catering operations. Food facility does not include any of the following:

- (1) A cooperative arrangement wherein no permanent facilities are used for storing or handling food.
- (2) A private home when used for private, noncommercial purposes or when used as a cottage food operation pursuant to chapter 8.16 of this code.
- (3) A church, private club, or other nonprofit association that gives or sells food to its members and guests, and not to the general public, at an event that occurs not more than three days in any 90-day period.

- (4) A for-profit entity that gives or sells food at an event that occurs not more than three days in a 90-day period for the benefit of a nonprofit association, if the for-profit entity receives no monetary benefit, other than that resulting from recognition from participating in an event.
- (5) A premises set aside for wine tasting, or beer manufacturing, regardless of whether there is a charge for the wine or beer tasting.
- (6) An outlet or location, operated by a producer, selling or offering for sale only whole produce grown by the producer or shell eggs, or both, provided the sales are conducted at an outlet or location controlled by the producer.
- (7) A commercial food processing establishment.
- (8) A child day care facility.
- (9) A community care facility.
- (10) A residential care facility for the elderly.
- (11) A residential care facility for the chronically ill.
- (12) An intermediate care facility for the developmentally disabled.
- (13) A community food producer.
- (14) A limited-service charitable feeding operation.

“Food recovery” means actions to collect and distribute edible food for human consumption that otherwise would be disposed.

“Food recovery organization” means an entity that engages in the collection or receipt of edible food from commercial edible food generators and distributes that edible food to the public for food recovery either directly or through other entities, including, but not limited to:

- (1) A food bank as defined in § 113783 of the Health and Safety Code;
- (2) A nonprofit charitable organization as defined in § 113841 of the Health and Safety code; and,
- (3) A nonprofit charitable temporary food facility as defined in § 113842 of the Health and Safety Code.

“Food recovery service” means a person or entity that collects and transports edible food from a commercial edible food generator to a food recovery organization or other entities for food recovery.

“Food scraps” means all discarded food such as, but not limited to, fruits, vegetables, meat, poultry, seafood, shellfish, bones, rice, beans, pasta, bread, cheese, and eggshells. Food Scraps excludes fats, oils, and grease when such materials are source separated from other food scraps.

“Food service provider” means an entity primarily engaged in providing food services to institutional, governmental, commercial, or industrial locations of others based on contractual arrangements with these types of organizations.

“Food-soiled paper” is compostable paper material that has come in contact with food or liquid, such as, but not limited to, paper plates, paper coffee cups, napkins, pizza boxes, and milk cartons.

“Food waste” means food scraps, food-soiled paper, and compostable plastics.

“Franchise agreement” means the agreement between the franchisee and the city to provide solid waste handling service in the city.

“Franchisee” means the company (or companies) that is awarded an exclusive (or non-exclusive) franchise or contract by the city for the handling solid waste.

“Full-service restaurant” means a food facility with the primary business purpose of serving food, where food may be consumed on the premises, and where all of the following actions are taken by an employee of the establishment: (1) The consumer is escorted or assigned to an assigned eating area. The employee may choose the assigned eating area or may seat the consumer according to the consumer’s need for accommodation or other request; (2) The consumer’s food and beverage orders are taken after the consumer has been seated at the assigned seating area; (3) The food and beverage orders are delivered directly to the consumer; (4) Any requested items associated with the consumer’s food or beverage order are brought to the consumer; (5) The check is delivered directly to the consumer at the assigned eating area; and (6) The consumer does not deliver the consumer’s waste and used dishes etc. to another location or otherwise clean the consumer’s own table.

“Garbage” means all putrescible waste which generally includes, but is not limited to, animal, vegetative, food or any other waste that is attendant with, or results from the storage, preparation, cooking or handling of food materials attributed to normal activities of a service unit. Garbage must be generated by and at the customer location where the garbage is collected. Garbage does not include those items defined herein as food waste or exempt waste.

“Gray container” means a container with a gray or black lid and/or body used to store and collect gray container waste.

“Gray container waste” means refuse or mixed waste that is collected in a gray container that is part of collection service that prohibits the placement of green or blue container waste in the gray container.

“Green container” means a container with a green lid and/or body used for storage and collection of source separated green container waste.

“Green container waste” means green waste, organic waste, food scraps, food-soiled paper, and compostable plastics that is collected in a green container that is part of a service that prohibits the placement of refuse, mixed waste, and non-organic recyclables in the green container.

“Green waste” means shrubbery, tree trimmings, yard waste, grass, weeds, straw or leaves, wood chips and other household garden organic materials.

“Grocery store” means a store primarily engaged in the retail sale of canned food; dry goods; fresh fruits and vegetables; fresh meats, fish, and poultry; and any area that is not separately owned within the store where the food is prepared and served, including a bakery, deli, and meat and seafood departments.

“Hauler route” means the designated itinerary or sequence of stops for each segment of the city’s collection service area.

“Hazardous waste” means all substances defined as hazardous waste, acutely hazardous waste, or extremely hazardous waste by the State of California in Health and Safety Code §25110.02, §25115, and §25117 or in future amendments to or recodifications of such statutes or identified and listed as hazardous waste by the US Environmental Protection Agency (EPA), pursuant to the Resource Conservation and Recovery Act.

“High diversion organic waste processing facility” means a facility that meets or exceeds the applicable annual average mixed waste organic content recovery rate as calculated pursuant to § 11815.5(e) of Title 14 of the California Code of Regulations.

“Household hazardous waste” means hazardous waste generated at residential premises.

“Inspection” means a site visit where the city reviews records, containers, and a person’s collection, handling, recycling, or landfill disposal of organic waste or the handling of edible food to determine compliance with the requirements set forth in this chapter.

“Large event” means an event, including, but not limited to, a sporting event or a flea market, that charges an admission price, or is operated by a local agency, and serves an average of more than 2,000 individuals per day of operation of the event, at a location that includes, but is not limited to, a public, nonprofit, or privately owned park, parking lot, golf course, street system, or other open space when being used for an event.

“Large venue” means a permanent venue facility that annually seats or serves an average of more than 2,000 individuals within the grounds of the facility per day of operation of the venue facility. A large venue facility includes, but is not limited to, a public, nonprofit, or privately owned or operated stadium, amphitheater, arena, hall, amusement park, conference or civic center, zoo, aquarium, airport, racetrack, horse track, performing arts center, fairground, museum, theater, or

other public attraction facility. A site under common ownership or control that includes more than one large venue that is contiguous with other large venues in the site, is a single large venue.

“Materials Recovery Facility” means a permitted solid waste facility where solid wastes or recyclable materials are sorted or separated for the purposes of recycling, processing or composting.

“Manure” means animal excrement, especially that of livestock and domestic farm animals, and any secondary materials used for bedding or sanitary purposes.

“Medical waste” means any solid waste that is generated or has been used in the diagnosis, treatment, or immunization of human beings or animals, or research pertaining thereto, and shall include, but not limited to, biomedical, biohazardous and medical waste, or other solid waste resulting from medical activities or services any State or federal law or regulation, all as currently enacted or subsequently amended.

“Multi-family residential premises” means of, from, or pertaining to residential premises with five (5) or more dwelling units. Multi-family residential premises do not include hotels, motels, or other transient occupancy facilities, which are considered commercial businesses.

“Non-compostable paper” includes but is not limited to paper that is coated in a plastic material that will not breakdown in the composting process.

“Non-organic recyclables” means non-putrescible and non-hazardous recyclable wastes including but not limited to bottles, cans, metals, plastics and glass.

“Notice of violation (NOV)” means a notice that a violation of this chapter has occurred that includes a compliance date to avoid the imposition of penalties.

“Organic waste” means solid waste containing material originated from living organisms and their metabolic waste products, including but not limited to non-edible food, nonhazardous wood waste, food-soiled paper, food scraps, landscape and pruning waste, green waste, organic textiles and carpets, lumber, wood, paper products, printing and writing paper, manure, biosolids, digestate, and sludges.

“Organic waste generator” means a person or entity that is responsible for the initial creation of organic waste.

“Paper products” include, but are not limited to, paper janitorial supplies, cartons, wrapping, packaging, file folders, hanging files, corrugated boxes, tissue, and toweling.

“Person” includes firms, corporations, associations, partnerships, societies, church organizations and individuals.

“Premises” means any land, or building in the city where solid waste is generated or accumulated.

“Printing and writing papers” include, but are not limited to, copy, xerographic, watermark, cotton fiber, offset, forms, computer printout paper, white wove envelopes, manila envelopes, book paper, note pads, writing tablets, newsprint, and other uncoated writing papers, posters, index cards, calendars, brochures, reports, magazines, and publications.

“Prohibited container contaminants” means the following: (i) discarded materials placed in the blue container that are not identified as acceptable source separated recyclable materials for the city’s blue container; (ii) discarded materials placed in the green container that are not identified as acceptable source separated green container organic waste for the city’s green container; (iii) discarded materials placed in the gray container that would otherwise be acceptable source separated recyclable materials, (iv) excluded waste placed in any container.

“Property owners” means the owner of real property.

“Putrescible waste” means waste that is capable of being decomposed by microorganisms with sufficient speed as to cause a nuisance because of order, gases, or other offensive conditions, and including materials such as, but not limited to, food waste and dead animals.

“Recovered organic waste products” means products made from California, landfill-diverted recovered organic waste processed in a permitted or otherwise authorized facility.

“Recovery” or “Recovered” means any activity or process that prevents recyclable materials or organic waste from being placed in a landfill including, but not limited to, recycling, composting, anaerobic digestion, biomass conversion, soil amendment, land application, and lawful use as animal feed.

“Recyclable materials” means paper, glass, cardboard, plastic, used motor oil, ferrous metal, aluminum, construction and demolition debris and any other solid waste material which is capable of being recycled or reused, whether generated from or at residential or commercial premises, which have been segregated from solid waste materials for the purpose of depositing at a designated collection location, including a curbside location, for collection and transportation to the designated recycling facility.

“Recycled-content paper” means paper products and printing and writing paper that consists of at least 30 percent, by fiber weight, postconsumer fiber.

“Refuse” means putrescible and non-putrescible waste including garbage, trash, rubbish, and mixed waste.

“Regulated entity” means waste generators, commercial edible food generators, food recovery services, food recovery organizations, and facility operators.

“Remote monitoring” means the use of the internet of things (IoT) and/or wireless electronic devices to visualize the contents of blue containers, green containers, and gray containers for

purposes of identifying the quantity of materials in containers (level of fill) and/or presence of prohibited container contaminants.

“Renewable gas” means gas derived from organic waste that has been diverted from a California landfill and processed at an anerobic ingestion facility that is permitted or otherwise authorized by Title 14 of the CCR to recycle organic waste.

“Residential premises” means premises upon which one or more dwelling units are located, including, without limitation, single-family and multi-family residential premises, apartments, boarding or rooming houses, condominiums, mobile homes, efficiency apartments, and accessory dwelling units. Premises upon which the following uses are occurring shall not be deemed to be residential premises, and rather shall be deemed to be commercial premises: assisted living facilities, convalescent homes, dormitories, extended stay motels, group residential facilities, group care facilities, hostels, hotels, motels, and any other businesses which residency is transient in nature.

“Residential unit” means a building or portion of a building used for dwelling purposes by an individual family or group of persons.

“Restaurant” means an establishment primarily engaged in the retail sale of food and drinks for on-premises or immediate consumption.

“Rolloff box” means a solid waste collection container of 10-yards to 40-yards capable of being loaded via winch onto a rolloff vehicle equipped with rails.

“Route review” means a visual inspection of containers along a hauler route for the purpose of determining container contamination, and may include mechanical inspection methods such as the use of cameras.

“Rubbish” means, without limitation, the following items: waste and refuse capable of burning, including straw, packing materials, leather, rubber, clothing, bedding, books, rags, and all similar articles which will burn by contact with flames or ordinary temperatures.

“SB 1383” means Senate Bill 1383 of 2016, which added Sections 39730.5, 39730.6, 39730.7, and 39730.8 to the Health and Safety Code, and added Chapter 13.1 (commencing with Section 42652) to Part 3 of Division 30 of the Public Resources Code, establishing methane emissions reduction targets in a Statewide effort to reduce emissions of short-lived climate pollutants, as it is amended, supplemented, superseded, and replaced from time to time.

“SB 1383 Regulations” or “SB 1383 Regulatory” means or refers to, for the purposes of this chapter, the Short-Lived Climate Pollutants: Organic Waste Reduction regulations developed by CalRecycle and adopted in 2020 that created 14 CCR, Division 7, Chapter 12 and amended portions of regulations of 14 CCR and 27 CCR.

“Self-hauler” means a person, who hauls solid waste he or she has generated to another person or facility. Self-hauler also includes a person who back-hauls waste.

“Single-family” means of, from, or pertaining to any residential premises with fewer than five (5) units.

“Solid waste” means all putrescible and non-putrescible solid, semisolid, and liquid wastes, including garbage, trash, refuse, paper, rubbish, ashes, industrial wastes, construction and demolition debris, abandoned vehicles and parts thereof, discarded home and industrial appliances, dewatered, treated, or chemically fixed sewage sludge which is not hazardous waste, manure, vegetable or animal solid and semi-solid wastes, and other discarded solid and semisolid wastes. Solid waste includes recyclable materials, organics materials, green waste, and construction and demolition waste. Solid waste does not include hazardous waste, radioactive waste, or medical waste.

“Solid waste handling service” means the service to provide integrated solid waste management including collection, transfer, transport, recycling, processing, diversion and disposal.

“Source separated” means materials, including commingled recyclable materials, that have been separated or kept separate from the solid waste stream, at the point of generation, for the purpose of additional sorting or processing to return them to the economic mainstream in the form of raw material for new, reused, or reconstituted products.

“Source separated blue container organic waste” means source separated non-putrescible organic wastes that can be placed in a blue container that is limited to the collection of those organic wastes and non-organic recyclables.

“Source separated green container organic waste” means source separated organic waste that can be placed in a green container that is specifically intended for the separate collection of organic waste by the organic waste generator, excluding source separated blue container organic waste, carpets, non-compostable paper, and textiles.

“Source separated recyclable materials” means source separated non-organic recyclables and source separated blue container organic waste.

“State” means the State of California.

“State agency collector” means any person that collects solid waste from premises located within the city that are owned or operated by a state agency.

“State agency” means any agency or department of the State of California, including, but not limited to, school districts, boards of education, and any school or other entity operated by or under the auspices of a school district and/or board of education.

“Supermarket” means a full-line, self-service retail store with gross annual sales of two million dollars (\$2,000,000), or more, and which sells a line of dry grocery, canned goods, or nonfood items and some perishable items.

“Tier one commercial edible food generator” means a commercial edible food generator that is one of the following:

- (1) Supermarket.
- (2) Grocery store with a total facility size equal to or greater than 10,000 square feet.
- (3) Food service provider.
- (4) Food distributor.
- (5) Wholesale food vendor.

“Tier two commercial edible food generator” means a commercial edible food generator that is one of the following:

- (1) Restaurant with 250 or more seats, or a total facility size equal to or greater than 5,000 square feet.
- (2) Hotel with an on-site food facility and 200 or more rooms.
- (3) Health facility with an on-site food facility and 100 or more beds.
- (4) Large venue.
- (5) Large event.
- (6) A State agency with a cafeteria with 250 or more seats or total cafeteria facility size equal to or greater than 5,000 square feet.
- (7) A school, college, university, or other educational facility with an on-site food facility.

“Waste generator” means any person whose act or process produces solid waste as or whose act first causes solid waste to become subject to regulation.

“Wholesale food vendor” means a business or establishment engaged in the merchant wholesale distribution of food, where food (including fruits and vegetables) is received, shipped, stored, prepared for distribution to a retailer, warehouse, distributor, or other destination.

8.20.030 Refuse accumulation prohibited.

No person owning or occupying any premises in the city shall suffer, allow or permit to accumulate and remain upon premises any solid waste. It shall be the duty of every owner or occupant of any premises in the city to promptly remove any solid waste that constitutes or contributes to any public nuisance. This provision shall not be construed as interfering with construction pursuant to a valid building permit.

8.20.040 Illegal dumping.

No person shall dump, place or bury in any public or private lot, alley, street, land or in any water or waterway within the city any solid waste. The dumping, placement or burial of any solid waste shall constitute a nuisance and may be abated by the city through civil process by means of restraining order, preliminary or permanent injunction or in any other manner provided by law for the abatement of such nuisances.

8.20.050 Unlawful to place dangerous materials in containers.

No person shall place or deposit in any container used for collection of solid waste the following: any waste classified as hazardous, universal, electronic, biohazardous, radioactive, any narcotics or controlled substances, hypodermic needles, poisons, liquid or dry caustics, acids, flammable or explosive materials, pesticides, or similar dangerous or hazardous substances.

8.20.060 Hazardous, radioactive, and medical waste.

No person shall transport or collect hazardous wastes, radioactive wastes, or medical wastes without complying with all applicable laws or regulations. No person shall deposit, dump, spill, place, or otherwise allow to be disposed of, in or on a solid waste facility not designated as a hazardous waste or radioactive waste disposal facility, any waste classified as hazardous waste or radioactive waste pursuant to state, federal or county law or regulation. No person shall deposit, dump, spill, place, or otherwise allow medical waste to be disposed of in, or on, a solid waste facility.

8.20.070 Dead animals.

It shall be the responsibility of the owner of any dead animal to dispose of the carcass of such animal in a manner consistent with State and local laws. No persons shall place the body of any dead animal on any public or private lot, alley, street, land or in any water or waterway within the city.

8.20.080 Manure.

(A)**Protection of groundwater and surface waters.** It shall be the responsibility of the owner, occupant or operator of any premises on which manure accumulates to store and dispose of manure in such a manner to prevent runoff-containing pollutants and the leaching of nutrients into groundwater or surface waters.

(B) **Storage of manure.** Manure shall be stored in containers that are approved by the city or in a manure storage area that complies with the requirements of subsection (C) below and shall be stored at least 35 feet from the nearest neighboring dwelling unit. Approved containers are those supplied by the franchisee and include carts, two-yard bins, roll-off boxes, or containers otherwise approved by the city. All such containers shall be equipped with working lids to minimize water accumulating within the container.

(C) **Manure storage areas.** Manure storage areas shall be constructed in such a manner as to minimize potential runoff. No manure storage structure or container shall be placed within 20 feet of a flood control channel or open storm drain. Manure storage areas shall be constructed with a three-walled, fire-proof structure on a concrete base with a roof or tarp.

(D) **Weekly removal.** Manure shall be removed from stalls, paddocks, arenas, corrals and other livestock keeping areas at least once per week.

(E) **No spreading.** Spreading manure over arenas, pastures, corrals or other livestock areas as an alternative means of disposal is prohibited and shall be in violation of this chapter. Manure composting is prohibited without the written approval of the administrator.

(F) **No runoff.** The discharge of manure runoff onto any property other than the property where the manure is stored, including, but not limited to, any adjacent property, city streets or right of way, horse trails, or flood control channels, is prohibited. Any person that allows such discharge to occur, intentionally or negligently, shall be in violation of this chapter.

8.20.090 Cannabis waste.

As provided in § 5.36.170(Z), no cannabis product may be disposed of in its packaging. Cannabis products intended for disposal must be removed or separated from any packaging or container and rendered unrecognizable and unusable prior to disposal as green waste or organic waste.

8.20.100 Burning prohibited.

No person shall burn within the city any solid waste, except as expressly permitted in Chapter 15.12 of this code and the California Fire Code. It shall be a violation of this chapter to ignite or otherwise cause, or assist, counsel, procure or maintain any burning in violation of this section.

8.20.110 Implementation policies.

The administrator shall develop, for approval by the City Manager, such policies and procedures as are necessary or appropriate to implement the provisions of this chapter. Said policies and procedures may include provisions concerning the responsibilities and obligations of franchisees, the content of franchise agreements, and procedures for the collection of delinquent charges for services provided pursuant to this chapter. The policies and procedures adopted pursuant to this section shall apply to and be enforceable against any person subject to the requirements of this chapter.

ARTICLE II EXCLUSIVE FRANCHISE AGREEMENT

8.20.120 Exclusive franchise agreement to collect solid waste.

Except as provided by this chapter, no person shall collect, place a solid waste container, transfer or remove solid waste unless that person has entered into an exclusive franchise agreement with the city. Each person that collects, places a solid waste container, transfers, or removes solid waste from any premises within the city, without holding a franchise agreement with the city shall constitute a separate offense.

8.20.130 Exemptions.

(A) **Hired contractors.** The prohibitions in this article shall not apply to a person or a commercial business hired by that person, including, without limitation, landscape contractors, gardeners, roofers, demolition contractors and grading contractors, that hauls its own solid waste generated from that person's residential premises or commercial premises to a properly licensed landfill, material recovery facility, transfer station, or other facility permitted to accept such material using its own personnel and equipment.

(B) **Collection of recyclable material.** The prohibitions in this article shall not apply to any person or entity collecting recyclable material sold or donated to it by the person or entity that generated such recyclable material. This exclusion shall not apply if the waste generator of the recyclable material is required to pay the collector of the recyclable materials any monetary or non-monetary consideration relating in any way, directly or indirectly, to the collection, transportation, transfer, or processing of the recyclable material, or for the lease or use of containers.

8.20.140 Fees paid by franchisee.

The franchisee shall pay to the city a franchise fee, or any other fees, in an amount set forth in the franchise agreement between the city and the franchisee, as well as any other fees that may be specified in the franchise agreement or other contract.

8.20.150 Equipment and vehicle standards.

All equipment and vehicles used by a franchisee or a state agency collector to transport or collect of solid waste shall:

(A) **Vehicle standards.** Carry a shovel, broom, and fire extinguisher and shall be maintained in good repair, clean condition, and neatly painted. The name and telephone number of the franchisee or the state agency collector shall be painted in letters at least three inches high on each side and across the back of each vehicle.

(B) **Back-up warning device.** Be equipped with an audible automatic back-up or other acceptable warning devices prescribed by Vehicle Code section 27000 (b).

(C) **Maintenance of vehicles and equipment.** Be durable, easily cleanable and designed for safe handling, and constructed to prevent loss of solid waste from the equipment during collection

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or transportation. If such equipment is used to collect or transport garbage, other wet or liquid producing wastes, or wastes composed of fine particles, such equipment shall in all cases be non-absorbent and leak resistant. All equipment shall be maintained in good condition and cleaned in a frequency and in a manner so as to prevent the propagation or attraction of flies, rodents, or other vectors and the creation of nuisances.

(D) **Off-street parking.** Designate an off-street location where all refuse collection vehicles will be parked when not in service, except in an emergency.

(E) **Inspections.** Be made available for inspection as requested by the administrator.

8.20.160 Franchisee reporting requirements.

A franchisee shall submit periodic reports to the administrator in accordance with the requirements of the franchise agreement.

8.20.170 Liquidated damages.

The franchisee is required to comply with performance standards specified in the franchise agreement. In the event the franchisee fails to comply with the standards, the city may, at its option, assess liquidated damages in accordance with the procedures and amounts, if any, described in the franchise agreement.

ARTICLE III STATE AGENCY COLLECTOR

8.20.180 Service by state agency collectors.

(A) **Compliance with applicable law.** Each state agency collector shall comply with all applicable federal, state, and local laws and regulations concerning the collection, transportation, and disposal or diversion of solid waste, and shall divert from landfills all materials collected to the greatest extent feasible. Each state agency collector shall transport and deliver all recyclable materials collected within the city to an authorized processing facility and all organic waste collected within the city to an authorized organic waste facility. Any facility to which a state agency collector takes collected materials must possess all required licenses, permits, and approvals required to operate and accept materials.

(B) **No spillage.** No state agency collector shall litter or cause any spillage to occur within the city limits, upon any roadway, right-of-way or on the premises where the collections occur. During hauling, all solid waste shall be contained, tied or enclosed so that leaking, spilling and blowing is prevented. In the event of any spillage or leakage by a State agency collector, the State agency collector shall immediately clean up all spills and leaks. Upon receiving notification of a leak, the State agency collector shall dispatch a cleanup crew to perform cleanup operations according to guidelines established by the NPDES and the Clean Water Act. All vehicles placed into service in the city by a state agency collector shall meet all applicable emissions requirements, including, but not limited to, those established by the South Coast Air Quality Management District.

8.20.190 Fees paid by state agency collector.

(A) **Franchise fee.** Each state agency collector shall pay to the city a franchise fee equal to 11% percent of the state agency collector's gross revenues from providing solid waste collection and all other collection and disposal services to any premises located within the city that are owned or operated by a state agency. Fees paid by a state agency collector shall be payable to the city no later than 45 days after the close of each quarter of the calendar year. Each state agency collector shall prepare a statement reporting its gross revenues for services provided to each state agency within the city, and shall submit such statement concurrently with the remittance of the franchise fee payable pursuant to this subsection. Fees imposed pursuant to this section and not timely paid by a state agency collector shall bear interest at a rate of 12% per annum prorated to each day of delinquency.

(B) **AB 939 fee.** The city may direct a state agency collector to collect from customers and remit to the city a fee, in an amount established by resolution of the City Council, to offset the city's costs in administering programs to encourage recycling and diversion and compliance with AB 939 (the "AB 939 Fee"). The city may adjust the AB 939 Fee as necessary to reflect changes in city's costs by following any statutory procedures required for the adoption or amendment of the AB 939 Fee, and by providing written notice to each state agency collector of the revised fee amount. The AB 939 Fee shall not be included in the state agency collector's gross revenues for purposes of calculating the franchise fee payable pursuant to subsection (B) of this section.

8.20.200 State agency collector reporting requirements.

(A) **Quarterly reports.** Each state agency collector shall submit quarterly solid waste diversion summary reports to the city. Each diversion summary report shall show the tonnage of solid waste collected within the city and the different types of recyclable and organic material collected within the city, and provide a comparison between the refuse and recyclable materials to produce a quarterly diversion percentage. Each state agency collector shall report the amount of tons delivered to disposal facilities, processing facilities or composting facilities.

(B) **Annual reports.** No later than February 15 of each year, each state agency collector shall submit to the city a written annual report summarizing the information contained in the quarterly reports and containing additional information including, but not limited to, a statement of revenue derived from services provided to customers in the city, setting forth quarterly franchise fees, and the basis for the calculation, certified by an officer of the state agency collector.

(C) **Upon request.** Each state agency collector shall cooperate fully with the city's AB 939 reporting requirements by providing the city with requested information concerning diversion and disposal rates and practices within fifteen (15) days of the city's request. Each state agency collector shall incorporate into the reports required by this section any additional information requested by city and any new reporting information required by applicable law or regulation.

ARTICLE IV STORAGE OF SOLID WASTE MATERIALS AND NUISANCE ABATEMENT

8.20.210 Franchisee obligation to provide containers.

A franchisee furnishing containers to customers for storage of solid waste shall comply with the following requirements:

(A) **Durability.** Provide containers designed for safe handling that shall be designed and constructed to be non-absorbent, watertight, vector-resistant, durable, and easily cleanable.

(B) **Lids and covers.** Provide containers equipped with close-fitting and tight-fitting lids or covers that can be readily removed.

(C) **Color requirements.** Provide containers that comply with the color, signage, and labeling requirements specified in § 18984.7 of Title 14 of the CCR and this chapter.

(D) **All types of discarded materials.** Provide each of its customers with one or more containers for each type of discarded materials for which the customer has subscribed to be collected by franchisee pursuant to the requirements of this chapter. Franchisee may provide split bins to collect up to two (2) types of discarded materials.

8.20.220 Containers from unauthorized haulers.

(A) **Notice.** The city shall provide written notice to any person or commercial business violating § 8.20.120 that the prompt and permanent removal of any bin, container or other receptacle placed in violation of this chapter from its location within the city is required. The form of notice shall be determined by the city administrator. The city shall provide such written notice by posting a copy of the notice prominently upon the bin, container or receptacle, provided that if the bin, container, or receptacle is located on private property, the written consent of the owner or occupant of such private property shall be obtained prior to going on the property to give notice, unless the bin, container or receptacle is located in an area of commercial premises that is open to the public. If the bin, container, or receptacle is identified with the name and telephone number of the solid waste enterprise servicing or owning it, the city shall endeavor to contact such enterprise by telephone. However, failure to notify such enterprise by phone shall not invalidate the notice. If notice is provided by the franchisee under a delegation of authority pursuant to subsection (D), the franchisee shall promptly provide the city with a copy of the notice. Where the notice cannot be physically delivered or placed on the container due to the inability to enter onto private property or the refusal of consent by the owner, the notice may be given to the owner or occupant by certified mail, return receipt requested.

(B) **Impound of containers.** The city may impound or cause to be impounded any bin, container, or receptacle placed in violation of § 8.20.120 that is located on city property or located on private property with the written consent of the owner or occupant of the property where the container is located, if the same is not permanently removed from its location within the time set forth in the notice provided pursuant to subsection (A), which time shall not be less than twenty-

four (24) hours after posting of the notice, or receipt of notice if notice is provided by certified mail, or not less than six (6) business hours after telephonic notification, if such notification is provided. If the bin, container, or receptacle is impounded by the franchisee under a delegation of authority pursuant to subsection (D), the franchisee shall immediately inform the city in writing of the impoundment, promptly dispose of the contents of the bin, container, or receptacle at a permitted disposal facility, and shall store the bin, container, or receptacle in a legally permitted storage area that complies with all applicable local land use regulations. If the bin, container, or receptacle has no markings identifying the owner or setting forth the owner's telephone number, and if identification of such owner cannot be provided by the owner or operator on whose premises the bin, container, or waste receptacle is located, then the city shall be authorized to immediately remove and impound it. For purposes of this section, "business hours" shall mean the hours of 7:00 a.m. to 5:30 p.m., Monday through Friday, and Saturday 7:00 a.m. to 3:00 p.m.

(C) Disposition of impounded containers. The bin, container, or receptacle impounded shall be retrieved by the owner or representative thereof immediately after any applicable fees and charges have been paid. Such fees and charges may include, among other things, reimbursement of costs incurred for towing, transportation, disposal of contents, storage and administration. If the bin, container, or waste receptacle is not claimed within 30 days after removal and notice to the owner, or 30 days after removal if the identity of the owner is unknown, the bin, container, or waste receptacle shall be deemed abandoned property and may be disposed of in any manner authorized by law.

(D) Delegation of authority. The administrator may delegate to the franchisee the authority to provide the notice required by subsection (A) and/or the authority to impound and/or store unauthorized bins, containers or other receptacle in accordance with subsection (B). Prior to the franchisee's exercise of any such delegated authority, the franchisee shall provide the city with a written agreement in a form satisfactory to the city indemnifying and holding harmless the city against all claims and causes of action arising out of the franchisee's actions to impound and/or store bins, containers, and amending the franchise agreement to reflect that impoundments performed without full compliance with this section, or the failure to provide notice as required by this section, shall be deemed a violation of the franchise agreement. The administrator may revoke this delegation of authority at any time in his or her sole discretion, and the franchise agreement provided by the franchisee shall acknowledge that any such revocation shall not be deemed a breach of the franchise agreement.

(E) Cease placing materials in unauthorized bins. Upon posting of a written notice of violation upon an unauthorized bin, container, or receptacle pursuant to subsection (A), the customer using the container shall immediately cease placing refuse, green waste, organic waste or recyclable materials in the containers.

(F) Penalty. - Each and every person shall be deemed guilty of a separate offense for each and every day or any portion thereof during which any violation of any of the provisions of this section is committed, continued or permitted by such person and shall be deemed punishable therefore as provided in this chapter.

(G) **Levy of fees.** Any person who violates this section shall be liable to the city for all fees and charges established by resolution of the City Council and levied in connection with the collection, transportation, storage and handling of the bin, container or by the city.

(H) **Abatement.** – In addition to the penalties set forth in § 8.20.420, the violation of any of the provisions of this section shall constitute a nuisance and may be abated by the city through civil process by means of restraining order, preliminary or permanent injunction or in any other manner provided by law for the abatement of such nuisances.

8.20.230 Time of collection

There shall be no collection of solid waste before seven (7) a.m. or after six (6) p. m. in any area of the city, unless otherwise specified in the franchisee agreement.

8.20.240 Container - Residential placement.

No solid waste containers used for residential premises shall be placed out at the curb, alley, or right of way before 4:00 p.m. on the day prior to scheduled collection by the franchisee, and all containers shall be removed before 12:00 noon on the day following collection.

8.20.250 Container - Tampering with prohibited.

No person other than the owner, agent or employee of the premises shall place any substance or material in a solid waste container located on such premises or otherwise tamper or meddle or move such container or its contents.

8.20.260 Container – Maintenance.

All containers shall be kept in clean and sanitary condition by the owner or occupant of the premises where the containers are located, and keep such containers tightly covered at all times, except when solid waste is being deposited in the containers. The contents of containers shall at all times be secure against access by flies and free from leaks. If the provisions of this section are not fully complied with, the franchisee shall place a tag on the container so stating; thereafter the container shall be considered as condemned and unfit for service and in violation of the provisions of this chapter.

ARTICLE V COLLECTION OF FEES

8.20.270 Collection - Rates.

All rates for services rendered by the franchisee under this section shall be approved by ordinance or resolution of the City Council.

8.20.280 Collection - Customer subscription and change of address.

It shall be the responsibility of persons owning or occupying any premises in the city to subscribe for services from franchisee as described in this chapter and to notify the franchisee of any address change within 14 days after beginning occupancy of any premises in the city.

8.20.290 Collection - Suspension of service to commercial premises for delinquent payment.

If any person owning or occupying commercial premises does not pay for services rendered to him or her by the franchisee and is found to be in arrears, then the franchisee shall have the right to suspend service to that person upon notification by U.S. mail no later than one week prior to the discontinuance of service. This remedy is in addition to all other remedies and penalties provided for by law or in this chapter.

8.20.300 Collection - Charges as civil debt.

The charges provided for in this chapter shall be civil debts due and owing to the city and/or franchisee, as applicable, from the party responsible to make the payments as provided in this chapter, and collection thereof may be enforced pursuant to any procedures established by the policies enacted pursuant to § 8.20.110 or any other applicable law..

8.20.310 Placement of delinquent charges on tax roll.

(A) **Collection on tax roll.** Should any of the charges provided for in this chapter remain due and owing 90 days after the first billing therefore in case of bimonthly billings and 45 days in case of monthly billing, the charges maybe collected on the tax roll in the same manner, by the same persons, and at the same time as, together with and not separately from the city's general taxes.

(B) **Procedures.** Prior to the placement of delinquent charges on the tax roll, as provided in subsection (A), the following procedures shall apply

(1) The City Council shall cause a written report to be prepared prior to August 10 and filed with the City Clerk describing each parcel of property owing delinquent fees or charges for services provided by franchisee for the year.

(2) The City Clerk shall notify, by mail, the owner of each property with delinquent charges of the date and time of the hearing on the report and the city's intention to place the delinquent charges on the tax rolls.

(3) At the hearing, the City Council shall hear and consider all objections to the accuracy of the report. The City Council shall then pass a resolution either adopting or revising the charges on the report at the hearing's conclusion.

(4) By August 10 of each year, the City Clerk shall file with the city's Finance Director a copy of the report with the City Clerk's signature stating that the City Council has adopted the report. The Finance Director shall then arrange to have the charges placed onto the assessment roll.

ARTICLE VI REQUIREMENTS FOR RESIDENTIAL AND COMMERCIAL PREMISES

8.20.320 Requirements for single family waste generators.

Every person owning or occupying a single-family residential premises, except to the extent such owner or occupant satisfies the self-hauler requirements in § 8.20.340, shall:

(A) **Subscribe for services.** Subscribe and pay for the solid waste collection services of the franchisee. The franchisee shall collect all solid waste placed in the appropriate containers and in the correct location in accordance with the terms of the franchise agreement for such services.

(B) **Place in appropriate containers.** Place source separated green container organic waste in the green container; source separated recyclable materials in the blue container; and gray container waste in the gray container. Waste generators at single-family residential premises shall not place materials designated for the gray container into the green container or in the blue container and shall not otherwise place prohibited container contaminants in any container.

8.20.330 Requirements for commercial waste generators.

Every person owning, occupying or operating a commercial premises or commercial business in the city, except commercial businesses that meet the self-hauler requirements in § 8.20.340, or that have been granted a waiver by the city pursuant to § 8.20.350, shall:

(A) **Subscribe for services.** Subscribe and pay for solid waste collection services of the franchisee. The franchisee shall collect all solid waste placed in the appropriate containers and in the correct location in accordance with the terms of the franchise agreement for such services.

(B) **Place in appropriate containers.** Participate in the franchisee's organic waste collection service by placing designated materials in designated containers as set forth in this subsection. Commercial businesses shall place source separated green container organic waste in the green container; source separated recyclable materials in the blue container; and gray container waste in the gray container. Commercial businesses shall not place materials designated for the gray container into the green container or into the blue container, and shall not otherwise place prohibited container contaminants in any container.

(C) **Education.** Ensure that their employees and independent contractors are informed and educated about all recycling services available at the commercial premises. Information concerning the types of recyclable materials and organic waste that can be segregated and recycled, the location of containers for recyclable materials and organic waste, and the employees' responsibility to recycle recyclable materials and organic waste shall be distributed to all new employees when hired, to all independent contractors when retained and periodically to all other employees and independent contractors. All employees and independent contractors shall also be given appropriate information and instructions concerning any change in recycling services to the commercial premises.

(D) **Internal containers.** Provide containers owned by the commercial business for the collection of source separated green container organic waste and source separated recyclable materials in all indoor and outdoor areas where internal containers are provided for use by customers to discard materials generated by that business. Such containers do not need to be provided in restrooms. If a commercial business does not generate any of the materials that would be collected in one type of container, then the business is not required to provide that particular

container in all areas where disposal containers are provided for customers. This subsection shall not apply to multi-family residential premises and full-service restaurants. The containers provided by the commercial business shall have either:

(1) A body or lid, or both a body and lid, that conforms with the container color requirements of the franchisee.

(2) Containers with imprinted text or graphic images or labels that include language or graphic images, or both, indicating the primary material accepted and the primary materials prohibited in that container.

(E) **Prohibit container contamination.** Prohibit employees from placing prohibited container contaminants in any container to the extent practical through education, training, inspection, and/or other measures. This subsection shall not apply to multi-family residential premises.

(F) **Inspection of containers.** Inspect blue containers, green containers, and gray containers every month for container contamination and inform employees if contaminated containers are discovered and of the requirements to keep prohibited container contaminants out of those containers. This subsection shall not apply to multi-family residential premises.

(G) **Education on proper sorting.** Provide information to employees, contractors, tenants, and customers each year about organic waste recovery requirements set forth in this chapter and about proper sorting of source separated green container organic waste and source separated recyclable materials.

(H) **Information for new tenants.** Provide education information prior to or within fourteen (14) days of occupation of the premises by new tenants that describes requirements to keep source separated green container organic waste and source separated recyclable materials separate from gray container waste (when applicable) and the location of containers and the rules governing their use at the premises.

(I) **City access.** Provide or arrange access for the city or its agent to the commercial premises during all inspections conducted in accordance with § 8.20.410 to confirm compliance with the requirements of this chapter.

(J) **Additional waste reduction measures.** Nothing in this section prohibits an owner or occupant of commercial premises or a commercial business from preventing or reducing waste generation, managing organic waste on site, or using a community composting site.

8.20.340 Self-hauler requirements.

(A) **Source separation.** Self-haulers shall source separate all recyclable materials and organic waste generated on premises owned or operated by the self-hauler site from solid waste in a manner consistent with § 8.20.320 for single-family residential premises, and § 8.20.330 for

commercial businesses, or shall haul organic waste to a high diversion organic waste processing facility.

(B) **Disposal at permitted facility.** Self-haulers shall haul their source separated recyclable materials to a facility that recovers those materials; and haul their source separated green container organic waste to a solid waste facility, operation, activity, or property that processes or recovers source separated green container organic waste. Alternatively, self-haulers may haul organic waste to a high diversion organic waste processing facility.

(C) **Commercial Businesses Recordkeeping.** Self-haulers that are commercial businesses shall keep a record of the amount of refuse, recyclable materials, and organic waste delivered to each solid waste facility, operation, activity, or property that processes or recovers these materials; this record shall be subject to inspection by the city and shall be provided to the city upon request.

The records shall include the following information:

- (1) Delivery receipts and weight tickets from the entity accepting the waste.
- (2) The amount of material in cubic yards or tons transported to each entity.
- (3) If the material is transported to an entity that does not have scales on-site, or employs scales incapable of weighing the self-hauler's vehicle in a manner that allows it to determine the weight of materials received, the self-hauler is not required to record the weight of material but shall keep a record of the number of loads, and the entities that received the organic waste.

(D) **Residential Premises.** The owner or occupant of residential premises that self-hauls solid waste is not required to record or report the information required by this subsection.

8.20.350 Waiver for commercial waste generators.

(A) **De Minimis Waivers.** The city may waive a commercial business' obligation to comply with some or all of the organic waste requirements of this chapter if the commercial business provides documentation that the business generates below a certain amount of organic waste as described in § 8.20.350(A)(2) below. Commercial businesses requesting a de minimis waiver shall:

- (1) Submit an application specifying the services for which they are requesting a waiver.
- (2) Provide documentation that either:
 - (a) The total solid waste collected from the commercial business is two cubic yards or more per week and organic waste subject to collection in a green container comprises fewer than 20 gallons per week; or,

(b) The total solid waste collected from the commercial business is fewer than two cubic yards per week and organic waste subject to collection in green container comprises fewer than 10 gallons per week.

(3) Notify the city if circumstances change such that commercial business's organic waste exceeds threshold set forth in § 8.20.350(A)(2) above, in which case the waiver will be rescinded.

(4) Provide written verification of eligibility for de minimis waiver every 5 years, if the city has approved a de minimis waiver.

(B) Physical space waivers. The city may waive a commercial business' obligation to comply with some or all of the requirements set forth in this chapter pertaining to recyclable materials and/or organic waste if the city has evidence from its own staff, a franchisee, a licensed architect, or a licensed engineer demonstrating that the premises lacks adequate space for the collection containers required for compliance with the recyclable materials and/or organic waste requirements of this chapter. A commercial business may request a physical space waiver through the following process:

(1) Submit an application form specifying the type(s) of collection services for which they are requesting a physical space waiver.

(2) Provide documentation that the premises lacks adequate space for blue containers and/or green containers including documentation from the franchise, a licensed architect, or a licensed engineer.

(3) Provide written verification to the city that it is still eligible for physical space waiver every five years, if the city has approved a physical space waiver.

(C) Collection frequency waiver. The city, at its sole discretion, may allow the owner or tenant of any premises that subscribes to the franchisee's organic waste collection service to arrange for the collection of their blue container, gray container, or both once every fourteen days, rather than once per week.

(D) Review and approval of waivers by the city. Only the administrator (and not the franchisee) may grant or approve de minimis waivers, physical space waivers, or collection frequency waivers.

8.20.360 Automatic subscription to recyclable and organics collection service.

(A) Automatic subscription. The franchisee shall, upon request of the administrator, automatically arrange for the collection of recyclable materials and/or organic waste at premises owned, occupied or operated by any person violating any of the recyclables and organics recycling provisions of this chapter. The level of service shall be determined by the franchisee, and subject to approval of the administrator. Franchisee shall charge the person owning, occupying or

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operating the premises according to the terms of the franchise agreement. The owner, occupant, or operator of the premises shall be required to pay for these services pursuant to § 8.20.270 through § 8.20.310. Notwithstanding the foregoing, this section shall not apply to the extent the owner, occupant or operator of the premises is a self-hauler that meets the requirements § 8.20.340, or has been granted a waiver pursuant to § 8.20.350, or is otherwise exempt from the requirements set forth in § 8.20.320 and § 8.20.330.

(B) **Notice.** At least thirty (30) days prior to submitting such request to the franchisee, the administrator shall provide adequate written notice to the person owning, occupying or operating the premises in violation of this chapter informing such person of the violation, the actions necessary to correct the violation, and the fact that the services will be automatically provided at their expense if they do not correct the violation within such thirty (30) days. A copy of the notice shall be provided to the franchisee at the same time so that the contractor is prepared to automatically provide the services if necessary. Following such thirty (30) day period, the administrator shall notify the franchisee if compliance has not been made, and the franchisee shall thereafter, within five (5) business days, deliver to such premises containers to be used for the accumulation, segregation and collection of recyclable materials and/or organic waste generated from or at the premises, add such services to the account for such premises, and notify the person owning, occupying or operating such premises that they shall be responsible for the cost of collection services provided by the franchisee pursuant to § 8.20.270 through § 8.20.310.

ARTICLE VII EDIBLE FOOD RECOVERY

8.20.370 Requirements for commercial edible food generators.

(A) Compliance dates.

(1) Tier one commercial edible food generators must comply with the requirements of this section commencing January 1, 2022, and tier two commercial edible food generators must comply commencing January 1, 2024.

(2) Large venue or large event operators not providing food services, but allowing for food to be provided by others, shall require food facilities operating at the large venue or large event to comply with the requirements of this section, commencing January 1, 2024.

(B) **Requirements.** Commercial edible food generators shall comply with the following requirements:

(1) Arrange to recover the maximum amount of edible food that would otherwise be disposed.

(2) Contract with, or enter into a written agreement with food recovery organizations or food recovery services for: (i) the collection of edible food for food recovery; or, (ii) acceptance of the edible food that the commercial edible food generator self-hauls to the food recovery organization for food recovery.

(3) Preserve edible food for recovery, and not intentionally spoil edible food that is capable of being recovered by a food recovery organization or a food recovery service.

(4) Allow the administrator or designated entity to access the premises and review records related to edible food recovery.

(5) Keep records that include the following information:

- i. A list of each food recovery service or food recovery organization that collects or receives its edible food pursuant to a contract or written agreement.
- ii. Copies of all contracts or agreements with food recovery organizations or food recovery services.

(6) A record of the following information for each of those food recovery services or food recovery organizations:

- i. The name, address and contact information of the food recovery service or food recovery organization.
- ii. The types of food that will be collected by or self-hauled to the food recovery service or food recovery organization.
- iii. The established frequency that food will be collected or self-hauled.
- iv. The quantity of food, measured in pounds recovered per month, collected or self-hauled to a food recovery service or food recovery organization for food recovery.

(C) **Other applicable laws.** Nothing in this chapter shall be construed to limit or conflict with the protections provided by the California Good Samaritan Food Donation Act of 2017, the Federal Good Samaritan Act, or share table and school food donation guidance pursuant to Senate Bill 557 of 2017.

8.20.380 Requirements for food recovery organizations and services.

(A) **Food recovery services.** Food recovery services collecting or receiving edible food directly from commercial edible food generators, via a contract or written agreement, shall maintain the following records:

(1) The name, address, and contact information for each commercial edible food generator from which the food recovery service collects edible food.

(2) The quantity in pounds of edible food collected from each commercial edible food generator per month.

(3) The quantity in pounds of edible food transported to each food recovery organization per month.

(4) The name, address, and contact information for each food recovery organization that the food recovery service transports edible food to for food recovery.

(B) Food recovery organizations. Food recovery organizations collecting or receiving edible food directly from commercial edible food generators via a contract or written agreement, shall maintain the following records:

(1) The name, address, and contact information for each commercial edible food generator from which the food recovery organization receives edible food.

(2) The quantity in pounds of edible food received from each commercial edible food generator per month.

(3) The name, address, and contact information for each food recovery service that the organization receives edible food from for food recovery.

(C) Reporting requirements. Food recovery organizations and food recovery services that have their primary address physically located in the city and contract with or have written agreements with one or more commercial edible food generators shall report to the city the total pounds of edible food recovered in the previous calendar year from the tier one and tier two commercial edible food generators. Such food recovery services or food recovery organizations shall also provide, upon request, information regarding existing, or any new or expanded food recovery facilities or services operated or provided by the food recovery service or food recovery organization. Food recovery services and food recovery organizations shall provide the above information at least annually, and within 60 days of a request by city, unless a shorter timeframe is otherwise specified by the city.

8.20.390 Requirements for franchisees and facility operators.

(A) Requirements for franchisees. Franchisees shall meet the following requirements and standards as a condition of approval of a franchise agreement:

(1) Franchisee shall transport all solid waste that is collected in the city to a fully permitted transfer station, materials recovery facility, or disposal site that is lawfully permitted to accept and recover applicable discarded materials; provided that any franchise agreement shall provide the city with the right to designate disposal facilities and material recovery facilities to which the solid waste collected in the city shall be delivered.

(2) Notify the city in writing each year to identify the disposal facilities to which franchisee will transport all solid waste.

(B) Requirements for facility operators and community composting operations.

(1) Owners of facilities, operations, and activities that recover organic waste, including, but not limited to, composting facilities, in-vessel digestion facilities, and publicly-owned treatment works, shall, within sixty (60) days of request by the city, provide information regarding availability and potential new or expanded capacity at their facilities, operations, and activities, including information about throughput and permitted capacity necessary for planning purposes.

(2) Community composting operators shall, within sixty (60) days of request by the city, provide information to the city to support organic waste capacity planning, including, but not limited to, an estimate of the amount of organic waste anticipated to be handled at the community composting operation.

ARTICLE VIII PROCUREMENT

8.20.400 Procurement requirements.

(A) Landscaping. Any person that provides services directly to the city for landscaping maintenance, renovation, and construction shall:

(1) Use compost and mulch, as practicable, produced from recovered organic waste, for all landscaping renovations, construction, or maintenance performed for the city, whenever available, and capable of meeting quality standards.

(2) Keep and provide to the city records of procurement of recovered organic waste products (either through purchase or acquisition), upon completion of projects. Information to be provided shall include:

- (a) General description of how and where the product was used;
- (b) Source of product, including name, physical location, and contact information for each entity, operation, or facility from whom the recovered organic waste products were procured;
- (c) Type of product;
- (d) Quantity of each product; and,
- (e) Invoice or other record demonstrating purchase or procurement.

(B) Paper products. All vendors providing paper products and printing and writing paper to the city shall:

(1) If fitness and quality are equal, provide recycled-content paper products and recycled-content printing and writing paper that consists of at least 30 percent, by fiber weight, postconsumer fiber instead of non-recycled products whenever recycled paper products and

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printing and writing paper are available at the same or lesser total cost than non-recycled items or at a total cost of no more than 10% of the total cost for non-recycled items.

(2) Certify in writing, the minimum percentage of postconsumer material in the paper products and printing and writing paper offered or sold to the city. This certification requirement may be waived if the percentage of postconsumer material in the paper products, printing and writing paper, or both can be verified by a product label, catalog, invoice, or a manufacturer or vendor internet website.

(3) Certify in writing, on invoices or receipts provided, that the paper products and printing and writing paper offered or sold to the city is eligible to be labeled with an unqualified recyclable label as defined in 16 Code of Federal Regulations (CFR) § 260.12 (2013).

(4) Provide records to the city's Recycling Program Analyst, in accordance with the city's recycled-content paper procurement policy(ies) of all paper products and printing and writing paper purchases within thirty (30) days of the purchase (both recycled-content and non-recycled content, if any is purchased) made by any division or department or employee of the city. Records shall include a copy (electronic or paper) of the invoice or other documentation of purchase, written certifications as required in §8.20.390(B)(2) and §8.20.390(B)(3) for recycled-content purchases, purchaser name, quantity purchased, date purchased, and recycled content (including products that contain none), and if non-recycled content paper products or printing and writing papers are provided, include a description of why recycled-content paper products or printing and writing papers were not provided.

ARTICLE IX ENFORCEMENT

8.20.410 Inspections and investigations by city.

(A) **Inspection of containers and vehicles.** City representatives and/or its designated entity are authorized to conduct inspections and investigations, at random or otherwise, of any collection container (placed out on curb during collection day), collection vehicle loads, or transfer, processing, or disposal facility for materials collected from generators, or source separated materials to confirm compliance with this chapter by organic waste generators, commercial businesses, property owners, commercial edible food generators, haulers, self-haulers, food recovery services, and food recovery organizations, subject to applicable laws.

(B) **Access for inspections.** Regulated entities shall provide or arrange for access during all inspections (with the exception of residential property interiors) and shall cooperate with the city's representative or its designated entity during such inspections and investigations. Such inspections and investigations may include confirmation of proper placement of materials in containers, edible food recovery activities, records, or any other requirement of this chapter described herein. Failure to provide or arrange for: (i) access to an entity's premises; or (ii) access to records for any inspection or investigation is a violation of this chapter.

(C) **Public records.** Any records obtained by the city during its inspections and other reviews shall be subject to the requirements and applicable disclosure exemptions of the Public Records Act as set forth in Government Code § 6250 et seq.

(D) **Complaints.** Any person may submit to the city a written complaint, which may be anonymous, regarding an entity that may be potentially non-compliant with SB 1383 Regulations.

8.20.420 Violations – Penalty and enforcement.

(A) **Penalties.** Any person violating any of the provisions of this chapter, except §0, and § 0 through § 0, is guilty of a misdemeanor. Any person, firm or corporation violating §0, and § 0 through §0, is guilty of an infraction. Any subsequent violation of §0, and § 0 through §0 within two years of the first violation of the same section shall be a misdemeanor. Penalties for violations in this chapter are established by chapter 1.08 of this code.

(B) **Private action by franchisee.** Any franchisee may bring a private action to enjoin and prevent violations of §8.20.120 and §8.20.220 to the fullest extent allowed under California law, including but not limited to actions alleging that such violations constitute unfair competition within the meaning of the law.

(C) **Collection services.** In addition to being assessed penalties established by chapter 1.08 of this code. Any person violating any of the provisions of § 0 may also have collection services automatically provided at their expense pursuant to § 0.



Staff Report

File #: 21-0964

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Planning & Development Department

SUBJECT:

Parcel Map 37221 application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

EXECUTIVE SUMMARY:

Parcel Map 37221 (PM 37221) is an application by Griffco Land, LLC. to subdivide 2.065 acres into two lots to facilitate the development of two professional office buildings. The project site is located in the Dos Lagos Specific Plan, which accommodates mixed land uses that include residential, commercial retail, entertainment, and commercial services. The parcel map will accommodate two new commercial buildings on two separate parcels.

RECOMMENDED ACTION:

That the City Council approve PM 37221 subject to the findings and conditions as recommended by the Planning and Housing Commission and adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan.

BACKGROUND & HISTORY:

Parcel Map 37221 is a request to subdivide a two-acre property into two parcels for commercial purposes. The property is located at the southwest corner of Temescal Canyon Road and Pronio Circle. It is bordered by developments associated with The Shops at Dos Lagos shopping center, including a manmade recreational lake ("Dos Lagos lakes") to the west, and a restaurant parking lot to the south. To the north are live/work units, separated from the project site by Pronio Drive. To the west are residential units, located on the other side of Temescal Canyon Road. Presently, the property is partially developed with a parking lot.

The proposed subdivision is intended to accommodate the development of two professional medical office buildings with a combined building area of 21,400 square feet. The land use is allowed in the

Entertainment Commercial (EC) zone.

ANALYSIS:

In accordance with the site development standard under Section 4.3.2 of the Dos Lagos Specific Plan, there is no minimum lot area, width, or depth requirement for newly created commercial parcels in the EC zone. The following table summarizes the lot information for this subdivision.

TABLE 1
Proposed Lot Sizes for PM 37221

Parcel Number	Lot Area	Acreage
1	30,844	0.71
2	59,125	1.36

Parcels 1 and 2 will have vehicular access from Pronio Circle via an existing driveway located at the north perimeter of the property. The parcels will also have access from within the adjacent shopping center, which has multiple entrances located along Temescal Canyon Road.

Temescal Canyon Road is classified by the General Plan as a major arterial; and Pronio Circle is classified as a local street. Both roadways are currently capable of handling traffic volumes associated with the proposed project. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, landscaped parkway, and sidewalk. No additional widening is required for this portion of Temescal Canyon Road. The portion of Pronio Circle adjacent to the site is improved with curb and gutters, but it has a missing sidewalk along Parcel 1. The applicant is required to construct the missing sidewalk along this section of Pronio Circle.

The Dos Lagos Specific Plan requires that a 13-foot wide landscape easement be provided along the project's frontage in addition to the existing parkway within the right-of-way along Temescal Canyon Road. The applicant is providing the required landscape easement and proposes no changes to the parkway within the right-of-way.

FINANCIAL IMPACT:

The applicant paid the application processing fees of \$6,475 to cover the cost of the Parcel Map.

ENVIRONMENTAL ANALYSIS:

Per Section 15070 of the State Guidelines for Implementing the California Quality Act (CEQA) and Section 6.02 of the City's Local CEQA Guidelines, a Mitigated Negative Declaration was prepared for the project. The Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant effect on the environment.

PLANNING AND HOUSING COMMISSION ACTION:

At its meeting of October 11, 2021, the Planning and Housing Commission considered the subject matter and took the following action:

Motion was made, seconded (Sherman/Meza) and carried unanimously, that the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and Mitigation Monitoring Plan and approval of PM 37221 to the City Council, based on the findings contained in the staff report and conditions of approval. The minutes of the Planning and Housing Commission meeting are included as Exhibit 4.

PREPARED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

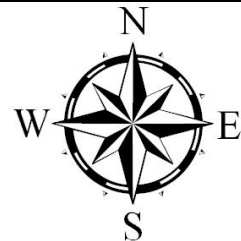
Attachments:

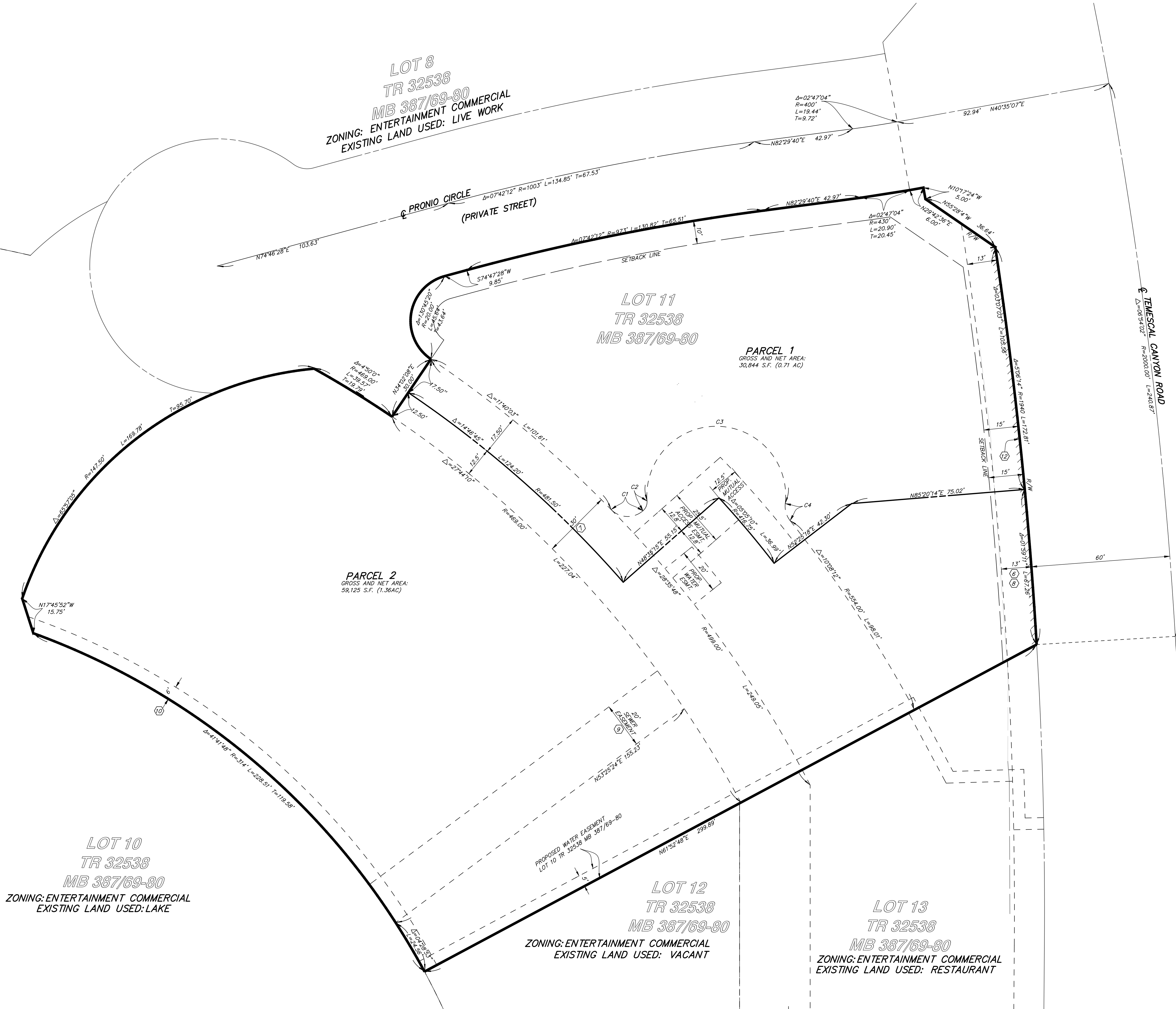
1. Exhibit 1 - Locational and zoning map
2. Exhibit 2 - Site plan for PM 37221
3. Exhibit 3 - Planning and Housing Commission staff report
4. Exhibit 4 - Draft Minutes of the Planning and Housing Commission meeting of October 11, 2021

AERIAL & LOCATIONAL MAP



PM 37221 (PM2020-0003) &
PP2020-0006
Pronio Circle & Temescal
Canyon Road





The diagrams illustrate the proposed road improvement project. The left diagram shows a cross-section of the road with a 34-foot wide travel lane, an 8-inch curb and gutter, and a 1.7% slope. The right diagram shows a similar cross-section with a 34-foot wide travel lane, an 8-inch curb and gutter, and a 1.7% slope. Both diagrams include a 13-foot landscape easement and a 5-foot meandering path.

**LAND
DEVELOPMENT
DESIGN
COMPANY, LLC**

DATE: 09/30/21	JOB NO. 4925
DRAWN BY: VAP	SCALE 1"=20'
DESIGNED BY: KJR	SHEET 1 OF 1 SHEET
CHECKED BY: KJR	



Staff Report

File #: 21-0862

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC., 2518 N. Santiago Blvd., Orange, CA 92867)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend adoption the Mitigated Negative Declaration and Mitigation Monitoring Plan and APPROVAL of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 2.065 acres

Existing Zoning: EC (Entertainment Commercial) of SP99-03

Existing General Plan: MU1 (Mixed Use Commercial/Residential)

Existing Land Use: Vacant

Proposed Land Use: Commercial Development

Surrounding Land Use and Zoning:

N: Live/Work units in the EC (Entertainment Commercial) designation of SP99-03

E: Residential developments in the R (Residential) designation of SP99-03

S: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

W: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

BACKGROUND

Parcel Map 37221 is a request to subdivide a two-acre property into two parcels for commercial purposes. The property is located at the southwest corner of Temescal Canyon Road and Pronio Circle (Exhibit 1). It is bordered by developments associated with The Shops at Dos Lagos shopping

center, including a manmade recreational lake ("Dos Lagos lakes") to the west, and a restaurant parking lot to the south. To the north are live/work units, separated from the project site by Pronio Drive. To the west are residential units, located on the other side of Temescal Canyon Road. Presently the property is partially developed with a parking lot.

The proposed subdivision is intended to accommodate the development of two professional medical office buildings with a combined building area of 21,400 square feet. The use is permitted by right under the property's underlying zone, which is Entertainment Commercial (EC). The buildings are designed per the development standards established for the Dos Lagos Specific Plan, and are being reviewed under Precise Plan 2020-0006. Both applications are being presented to the Planning and Housing Commission for concurrent approvals.

The project was preliminarily reviewed by staff on April 9, 2020 (DPR2020-0004). The applicant formally submitted the parcel map and precise plan applications on October 6, 2020. The applications were reviewed by the Project and Environmental Review Committee on October 29, 2020. The applications were determined incomplete; and staff provided the applicant a letter outlining missing items. The applicant subsequently submitted missing information on January 29, 2021 and July 21, 2021. The applications were deemed complete on September 1, 2021.

PROJECT DESCRIPTION

Attached as Exhibit 2.A is the parcel map exhibit for PM 37221. Proposed Parcel 1 is 30,844 square feet and located at the east portion of the site. Parcel 2 is 59,125 square feet and located on the west portion of the site. Both parcels have frontages on Temescal Canyon Road and Pronio Circle. Parcel 2 abuts the shopping center to the south. Each parcel is intended to accommodate a new medical office building, plus the parking spaces associated with the buildings. A proposed site plan, which is being reviewed concurrently as PP2020-0006, has been attached for reference (Exhibit 2.C).

In accordance with the site development standard under Section 4.3.2 of the Dos Lagos Specific Plan, there is no minimum lot area, width or depth requirement for newly created commercial parcels in the EC zone. The following table summarizes the lot information for this subdivision.

TABLE 1
Proposed Lot Sizes for PM 37221

Parcel Number	Lot Area	Acreage
1	30,844	0.71
2	59,125	1.36

ACCESS AND PUBLIC IMPROVEMENTS

Parcels 1 and 2 will have vehicular access from Pronio Circle via an existing driveway located at the north perimeter of the property. The parcels will also have access from within the adjacent shopping center, which has multiple entrances located along Temescal Canyon Road.

Temescal Canyon Road is classified by the General Plan as a major arterial; and Pronio Circle is classified as a local street. Both roadways are currently capable of handling traffic volumes

associated with the proposed project. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, landscaped parkway and sidewalk. No additional widening is required for this portion of Temescal Canyon Road. The portion of Pronio Circle adjacent to the site is improved with curb and gutters, but has a missing sidewalk along Parcel 1. The applicant is required to construct the missing sidewalk along this section of Pronio Circle.

SPECIAL CODE REQUIREMENTS

The Dos Lagos Specific Plan requires that a 13-foot wide landscape easement be provided along the project's frontage in addition to the existing parkway within the right-of-way along Temescal Canyon Road. The applicant is providing the required landscape easement and proposes no changes to the parkway within the right-of-way.

ENVIRONMENTAL ANALYSIS:

Per Section 15070 of the State Guidelines for Implementing the California Quality Act (CEQA) and Section 6.02 of the City's Local CEQA Guidelines, a Mitigated Negative Declaration was prepared for the project. The Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant effect on the environment (Exhibit 3).

FINANCIAL IMPACT:

The applicant paid the application processing fees to cover the cost of the parcel map review. There is no fiscal impact to the city.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

PM 37221 facilitates the development of two medical office buildings on the project site. The development fulfills the intent of the Dos Lagos Specific Plan, which permits office uses by right in the EC zone. The parcels are capable of accommodating the office buildings, landscape setbacks, parking spaces, drive aisles, fire lanes, and other applicable design features required by the Dos Lagos Specific Plan and Corona Municipal Code.

The Specific Plan prescribes no minimum lot area, width or depth requirements for newly created parcels within the EC zone. The parcels are provided with adequate vehicular access from Pronio Circle and from within the adjacent shopping center to the south of the project site. Any missing public improvements within the adjacent roadways will be constructed or guaranteed with the development of the project.

Therefore, the Planning Division recommends approval PM 37221 based on the findings listed below

and staff's recommended conditions of approval attached as Exhibit 2.B.

FINDINGS OF APPROVAL FOR PM 37221

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially significant effects on the environment, but:
 - a. The project applicant has agreed to revise the project to avoid these significant effects or to mitigate the effects to a point where it is clear that no significant effects would occur, as reflected in the Conditions of Approval attached as Exhibit 2.B.*
 - b. There is no substantial evidence before the City that the revised project may have a significant effect.*
2. Pursuant to California Government Code Section 66411.1 this division of land necessitates the inclusion of Condition of Approval for the following reasons:
 - a. The guarantee of the construction of missing improvements for Pronio Circle is necessary for the public's safe access to and around the site.*
 - b. Construction of the missing improvements on Pronio Circle is necessary for the orderly development of the surrounding areas because there is the potential that surrounding properties could be developed. Each site must contribute to the improvements so that further development would not be detrimental to the public.*
3. None of the conditions provided in Section 66474 of the California Government Code exist for the following reasons:
 - a. The proposed parcel map facilitates the development of two medical office buildings totaling 21,400 square feet. The project is consistent with the property's General Plan designation of MU1 (Mixed-Use 1), which permits the development of professional office buildings.*
 - b. The design and improvements associated with the proposed subdivision have been reviewed under Precise Plan 2020-0006 are consistent with the development standards that are established in the Dos Lagos Specific Plan for the Entertainment Commercial zone.*
 - c. The site is physically suitable for the development proposed on the project site and offers adequate access from Pronio Circle and from Temescal Canyon Road through an adjacent shopping center, as demonstrated by Exhibit 2.C of PM 37221.*
 - d. The site is physically suitable for the development of two office buildings, which are capable of meeting the development standards required by the Dos Lagos Specific Plan, as demonstrated by the project's site plan attached as Exhibit 2.C.*
 - e. The design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially injure fish or wildlife or their habitat because the project's initial study has determined that potential environmental impacts are capable of being mitigated to less than significant levels.*
 - f. The proposed subdivision will not result in adverse impact to public health, safety or*

general welfare because the project adheres to the development standards of the Dos Lagos Specific Plan in which it is located promoting orderly development of the project site and the improvements associated with the project adhere to city standards.

g. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision because the easements are being protected in place on the project site.

4. Pursuant to California Government Code Section 66464.6, the discharge of waste from the proposed subdivision into existing community sewers would not result in violation of existing requirements presented by the Santa Ana Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the Water Code for the following reason:

a. The amount of discharge to be produced by the development does not exceed the limit established by the Santa Ana Regional Water Quality Control Board as monitored by the City of Corona's Utilities Department.

5. The proposal is in conformance with the standards of the Entertainment Commercial designation of the Dos Lagos Specific Plan for the following reason:

a. The applicant's parcel map meets the development standards and other applicable code requirements under the Entertainment Commercial designation of the Dos Lagos Specific Plan and Corona Municipal Code.

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

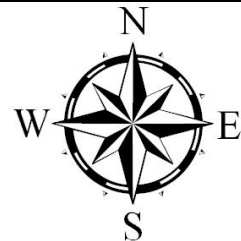
1. Locational and Zoning Map
- 2.A - Parcel Map 37221
- 2.B - Conditions of Approval
- 2.C - Site Plan
- 2.D - Applicant's letter dated October 7, 2020
- 3 - Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262

AERIAL & LOCATIONAL MAP



PM 37221 (PM2020-0003) &
PP2020-0006
Pronio Circle & Temescal
Canyon Road





Project Conditions

City of Corona

Project Number: PM2020-0003

Description: **SUDIVIDE 2.06 ACRES INTO TWO LOTS PM 37221**

Applied: **10/6/2020**

Approved:

Site Address: **TEMESCAL CYN & PRONIO CORONA, CA 0**

Closed:

Expired:

Status: **COMPLETE**

Applicant: **GRIFFCO LAND LLC**

Parent Project: **DPR2020-0004**

2518 N SANTIAGO BLVD ORANGE CA, 92867

Details: **SUBDIVIDE 2.06 ACRES INTO TWO LOTS FOR COMMERCIAL AND OFFICE USE.**

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	Dana Andrews
1. BUILDING DEPARTMENT CONDITIONS 1. At time of plan submittal, construction documents shall be prepared in accordance with current applicable Codes & Standards (2019 Codes).	
FIRE	Cindi Schmitz
1. Place Fire Department DPR comments on plans as general notes. 2. Plans shall show a minimum drive width of 28 feet. 3. Show two (2) all weather surface access ways to be approved by the Fire Marshal and construct the access way(s) to accommodate 70,000 lbs. gross vehicle weight during all phases of construction. 4. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction. 5. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s). 6. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer. 7. Meet with Corona Fire Department to determine locations of red curbing and signage by fire hydrants, fire department connections, and designated fire lanes on site.\r\r 8. A minimum fire flow of 3000 gallons per minute at 20 psi shall be provided for commercial structures.\r\r 9. If over 500 lineal feet the fire service waterline shall be looped and provided with two (2) separate points of connection. 10. Fire hydrants are to be spaced a maximum 250 feet apart.\r\r 11. This development is located in an area that requires a fire facility fee of \$231 and acre per the Corona Municipal Code. This fee is due prior to building permit issuance.\r\r 12. A public safety radio communication study is required for this project. Consult with the fire department for specific requirements for this study or our guideline is available online at coronaca.gov/fire.\r\r\r\r 13. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.\r\r	



Project Conditions

City of Corona

FIRE	Cindi Schmitz
	<p>14. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.\r\r</p> <p>15. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.\r\r</p>
PLANNING	
	<ol style="list-style-type: none"> 1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate. 2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition. 3. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees. 4. The applicant or his successor in interest shall comply with the Mitigation Measures established in the Mitigated Negative Declaration prepared for PM 37221 (PM2020-0003). 5. If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission must be contacted within 24 hours. The Native American Heritage Commission must then immediately identify the "most likely descendant(s)" of receiving notification of the discovery. The most likely descendant (s) shall then make recommendations within 48 hours, and engage in consultation concerning the treatment of the remains as provided in Public Resources Code 5097.98. 6. This project is subject to Riverside County's MSHPC (Multi-Species Habitat Conservation Plan) fee for commercial developments. This fee is payable at the time of building permit issuance .



Project Conditions

City of Corona

PLANNING

7. The applicant shall comply with the construction design features contained in the Mitigated Negative Declaration report in order to minimize the project's construction and operational impacts to localized air resources as shown below.

Construction Design Features:

1. All active construction areas shall be watered two (2) times daily.
2. Speed on unpaved roads shall be reduced to less than 15 mph.
3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.
4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.
5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.
6. Access points shall be washed or swept daily.
7. Construction sites shall be sandbagged for erosion control.
8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).
9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.
10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.
11. Replace the ground cover of disturbed areas as quickly possible.
12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.
13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.
14. Construction equipment shall be maintained in proper tune.
15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.
16. Minimize the simultaneous operation of multiple construction equipment units.
17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.
18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).
20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.
21. Utilize zero VOC and low VOC paints and solvents, wherever possible.

PUBLIC WORKS

1. The Public Works and the Department of Water and Power Conditions of Approval for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Planning and Development Department, Land Development Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.
2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.
3. Prior to map recordation or issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed subdivision will not unreasonably interfere with the use of any easement holder of the property.
4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
5. The developer shall construct or guarantee construction of the required improvements prior to recordation of the Parcel Map because the construction of the improvements is a necessary prerequisite to the orderly development of the surrounding area.
6. All conditions of approval shall be satisfied and the Parcel Map prepared and accepted by the City for recordation within 24 months of its approval, unless an extension is granted by the City Council.
7. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.



Project Conditions

City of Corona

PUBLIC WORKS

8. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.
9. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Land Development Division. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
10. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.
 - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

11. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall ensure that a property owner's association, or an alternative means of management approved by the Planning and Development Director, is established for the purpose of maintaining all private streets, common areas and private utilities associated with this project. The documents, including any necessary Covenants, Conditions and Restrictions (CC&R's), shall be subject to the review and approval of the Land Development Division and shall be recorded concurrently.
12. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:
 - a) All missing or deficient street facilities.
 - b) All missing or deficient drainage facilities.
 - c) All required grading, including erosion control.
 - d) All required sewer, water and reclaimed water facilities.
 - e) All required landscaping facilities.
 - f) All under grounding of overhead utilities, except for cables greater than 32k volts.
13. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.
14. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Land Development Division. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.
15. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Land Development Division.
16. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDI # shall be displayed on the title sheet of the grading plans.
17. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.



Project Conditions

City of Corona

PUBLIC WORKS

18. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (*Lepidospartum Squamatum*) has been completed.
19. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.
20. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.
21. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.
22. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
23. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Land Development Division for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format. Changes to the project resulting from the Final WQMP infiltration testing results may cause the project to be resubmitted at the developer's expense.
24. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.
25. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.
26. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.
27. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.
28. Prior to map recordation or approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.
29. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.
30. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.
31. Prior to map recordation or issuance of a building permit, whichever comes first, the applicant shall offer for dedication any missing street rights-of-way. Said dedication shall continue in force until the City accepts or abandons such offers. All dedications shall be free of all encumbrances and approved by the Public Works Director.
32. Prior to map recordation, the applicant shall release and relinquish all vehicular access rights to the City of Corona along Temescal Canyon Road, except at approved intersections.



Project Conditions

City of Corona

PUBLIC WORKS

33. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall include the following:
 - a) All streets and driveways shall conform to the applicable City of Corona standards.
 - b) Under grounding of existing and proposed utility lines.
 - c) All other public improvements shall conform to City of Corona standards.
34. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.
35. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.
36. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.
37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.
38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.
39. The City of Corona Department of Water and Power shall provide electric service to the development, subject to availability as determined by the Department of Water and Power.
40. The electric distribution system shall be designed, procured and installed in accordance with City of Corona Department of Water and Power Electric Distribution Standards and Service Requirements.
41. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.
42. Prior to map recordation or improvement plan approval, the developer shall relocate the existing water line through Parcel 2 to be within the proposed drive aisle, subject to the approval of the Department of Water and Power. If the water line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
43. Prior to map recordation or improvement plan approval, the developer shall relocate the existing sewer through Parcel 2 subject to the approval of the Department of Water and Power. If the sewer line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
44. Prior to issuance of any building permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.
45. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.
46. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.
47. Prior to map recordation or approval of improvement plans, the applicant shall submit a sewer study, prepared by a registered civil engineer, to the Land Development Division and Department of Water and Power for review and approval. The study shall analyze the existing and proposed sewer facilities. Results of the system analysis may require special construction for sewer systems, such as upsizing downstream sewer lines, monitoring systems, and construction of other appurtenances as necessary to serve the proposed development. Effects of the proposed development, engineering analysis and special construction requirements shall be submitted for review and approval by the Land Development Division and the Department of Water and Power. The developer shall be responsible for the design and construction of any recommendations in the approved study.

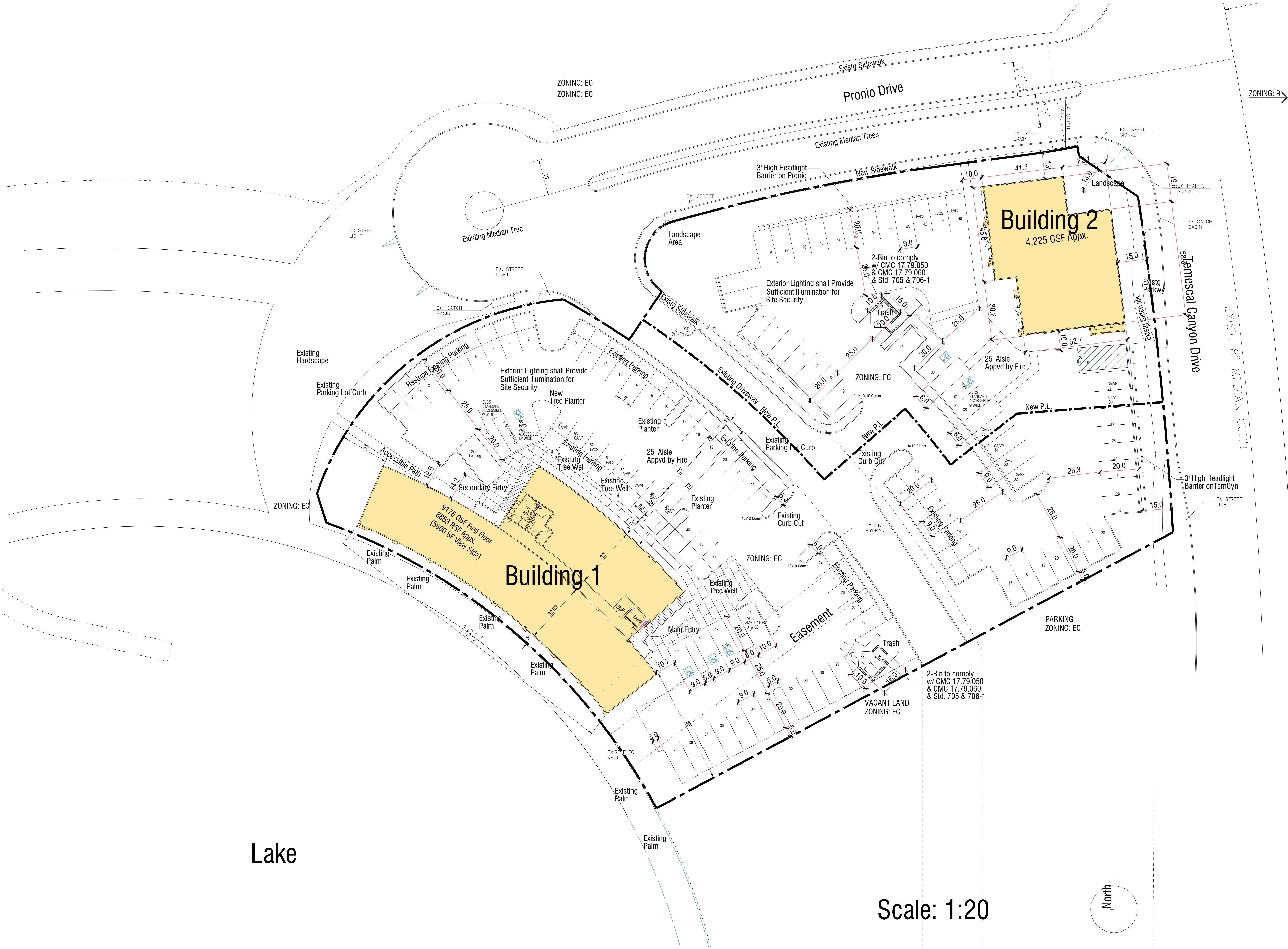


Project Conditions

City of Corona

PUBLIC WORKS

48. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.
49. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.
50. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.
51. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.
52. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.
53. Static pressures exceeding 80 psi require an individual pressure regulator.
54. The applicant shall provide a separate irrigation water service for each parcel and/ or all HOA landscaped lots, easements, or common areas as required by the Department of Water and Power.
55. Reclaimed water shall be used for any construction activity unless otherwise approved by the Department of Water and Power. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.
56. Prior to map recordation the applicant shall prepare a disclosure statement indicating that the property is subject to CC&Rs, within a Community Facilities District and/ or Landscape Maintenance District, and will be subject to an annual levy. The disclosure statement shall be submitted to the Land Development Division for review and approval and shall be recorded concurrently with the final map.
57. Prior to issuance of a Certificate of Occupancy, all proposed parkway, slope maintenance, and/or median landscaping on the plans or in these Conditions of Approval shall be constructed.
58. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
59. Prior to map recordation, issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.



REXCO DOS LAGOS COMMERCIAL CENTER

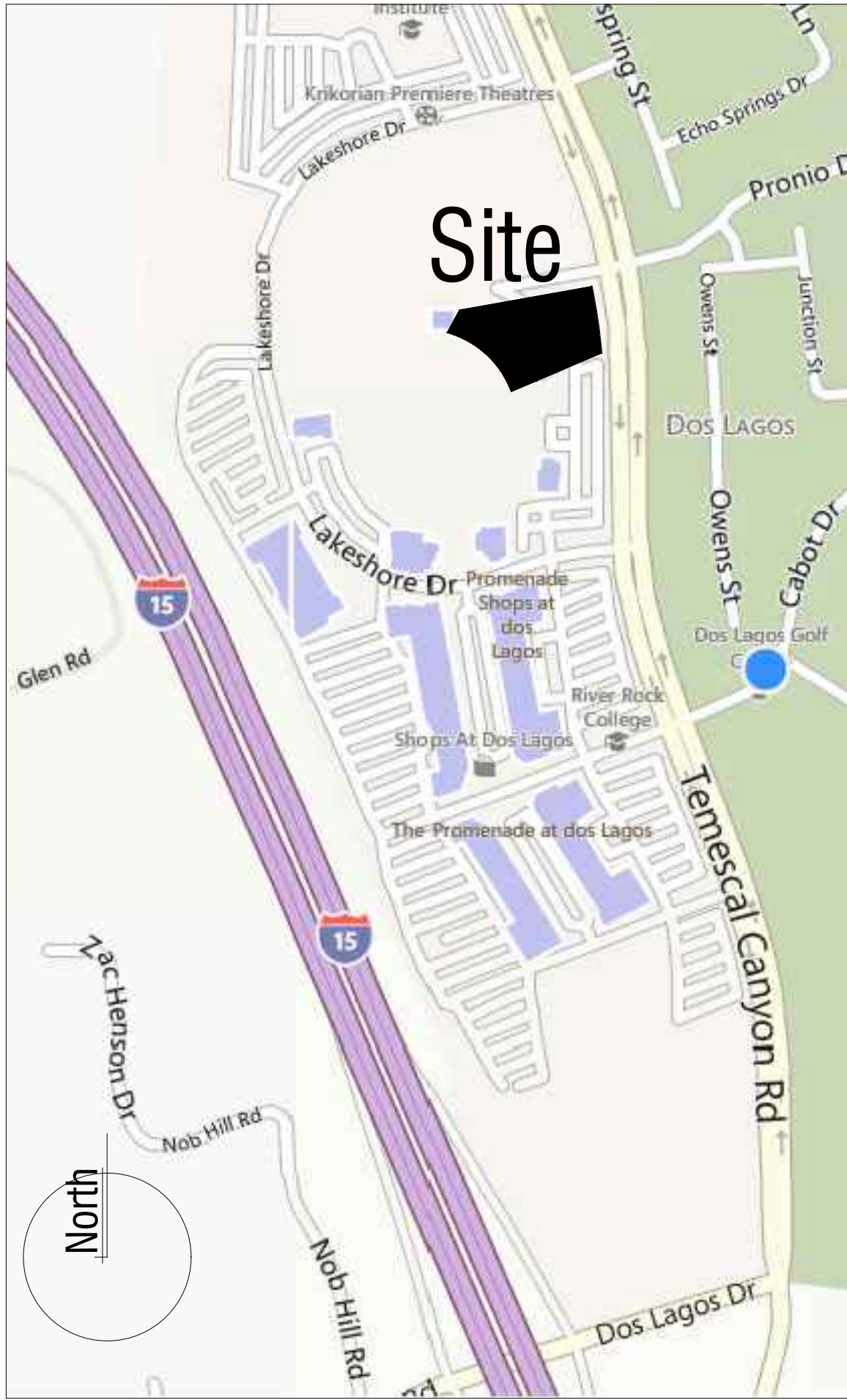
Proposer:
REXCO Development, Inc.
1285 Corona Pointe Court, Suite 102, Corona, CA 92879
Mr. Pat Tritz / Mr. Griffin Haupt - 951.898.1502

Architect/Planner:
William Hezmalhalch Architects, Inc.
680 Newport Center Dr., Ste. 300
Newport Beach, CA 92660
Mr. Ron Nestor, AIA - 949.250.0607

Site Data:
Legal Description: Lot 11 of Tract Map 32528 recorded in Book 387 of maps, pages 69-80, inclusive
Site Address: undetermined
APN: 279-460-023
Zoning: Dos Lagos Specific Plan -EC Entertainment Comm'l
General Plan: MU1
Area: 89,968.4 SF or 2.06 Acres
Coverage: 13,518 SF or 15.0%

Proposed:
Lakeside Office Bldg 1: 17,164 SF Type V-A 2-story
Building Hgt: 30' to Max. Parapet
Landscape Area: 8,052 SF
Corner Commercial Bldg 2: 4,236 SF Type V-A 1-sty
Building Hgt: 19' to Max. Parapet
Landscape Area: 11,129 SF
Total, Appx.: 21,400 SF -- Floor Area Ratio = 0.24 FAR
Total Landscape Area: 19,181 SF (21.3% of site)
Parking Req'd: 21,400 @ 5:1000 = 107 Spaces
Parking Prov'd: 56+51 = 107 Spaces
Loading Spaces Req'd: 2 Provided: 2
Trash - 2 locations, 2 bins each per Std. 705 & 706-1
All Wall or Monument Signs facing Residential must be externally illuminated

Vicinity Map



SITE PLAN

ARCHITECTS . PLANNERS . DESIGNERS



ORANGE EXHIBIT 2.C IEA 1370



DOS LAGOS COMMERCIAL
CORONA, CA

GRIFFCO LAND L.L.C.
2518 N. Santiago Blvd.
Orange, CA 92687
(951) 898-1502

October 7, 2020

Mr. Rafael Torres
Associate Planner
City of Corona
Community Development Department
400 S. Vicentia Avenue
Corona, CA 92879

Re: **DPR2020 – 0004**
Vista Dos Lagos
One (1) Office Building and One (1) Commercial Building located
On the South West Corner of Pronio Circle and
Temescal Canyon Road

Dear Mr. Torres,

Griffco land LLC is requesting a Precise Plan Review for the aforementioned project described as follows:

Proposed Land Use:

The construction of two (2) professional office buildings: one (1) 17,164 square foot office building and one (1) 4,236 square foot commercial building. The buildings are designed for medical/professional office uses. The site is on an approximate 2.06-acre parcel in the EC (entertainment commercial) zone of the Dos Lagos Specific Plan (SP99 - 03).

Surrounding Uses:

North: Dos Lagos Live/Work Community
East: Temescal Canyon Road
South: Dos Lagos Retail Center (Wood Ranch)
West: Dos Lagos Lake

Site Design / Access:

The project will include two free-standing professional/ commercial office buildings. The site will include adequate surface parking for tenants and guests. The site will have two points of access: one off Pronio Circle and the other through the Dos Lagos Retail Center. The streets will be designed to allow adequate vehicular access for tenants, visitors as well as emergency vehicles.

Architecture and Materials:

The exterior of the medical office building (building 1) will feature brick veneer and stone pilasters with clear aluminum finish. Exterior stair cases and building entries will be accented in stone veneer.

The exterior of the commercial office building (building 2) will feature a combination of brick veneer and plaster with clear aluminum finish and plaster-coated foam trim.

Parking & Access:

There will be adequate aisles for emergency access to the buildings. There will be 5 parking spaces per 1,000 sq ft of office area.

Landscaping:

Landscaping will consist of California-Friendly, low and medium water use plant material. Plants have been chosen to create a uniform theme across the site. Maintenance and longevity of plant material has been taken into consideration. Shade trees are used in the parking lot to provide shade coverage. All landscaped areas will conform to the current City of Corona Landscape Guidelines.

Comprehensive Sign Program:

Signage will consist of building signage in conformance with the signage standards set forth in the Dos Lagos Specific Plan and City of Corona Municipal Code, pursuant to a comprehensive sign program.

Griffco Land, LLC respectfully requests your consideration and approval of the proposed project. If you have any questions concerning this applications or the proposed project, please contact me at (951) 898-1502.

Respectfully submitted,

Griffco Land, LLC

Griffin Hauptert





CITY OF CORONA
MITIGATED NEGATIVE DECLARATION

NAME, DESCRIPTION AND LOCATION OF PROJECT:

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

ENTITY OR PERSON UNDERTAKING PROJECT:

Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

The City Council, having reviewed the initial study of this proposed project and the written comments received prior to the public meeting of the City Council, and having heard, at a public meeting of the Council, the comments of any and all concerned persons or entities, including the recommendation of the City's staff, does hereby find that the proposed project may have potentially significant effects on the environment, but mitigation measures or revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to a point where clearly no significant effects will occur. **Therefore, the City Council hereby finds that the Mitigated Negative Declaration reflects its independent judgment and shall be adopted.**

The Initial Study and other materials which constitute the records of proceedings, are available at the office of the City Clerk, City of Corona City Hall, 400 South Vicentia Avenue, Corona, CA 92882.

Date: _____

Mayor
City of Corona

Date filed with County Clerk: _____

EXHIBIT 3

CITY OF CORONA INITIAL STUDY / MITIGATED NEGATIVE DECLARATION

PROJECT TITLE: Vista Dos Lagos (PM 37221 and PP2020-0006)

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT LOCATION: Southwest corner of Pronio Circle and Temescal Canyon Road (APN 279-460-074) in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT PROPONENT: Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

PROJECT MAP:

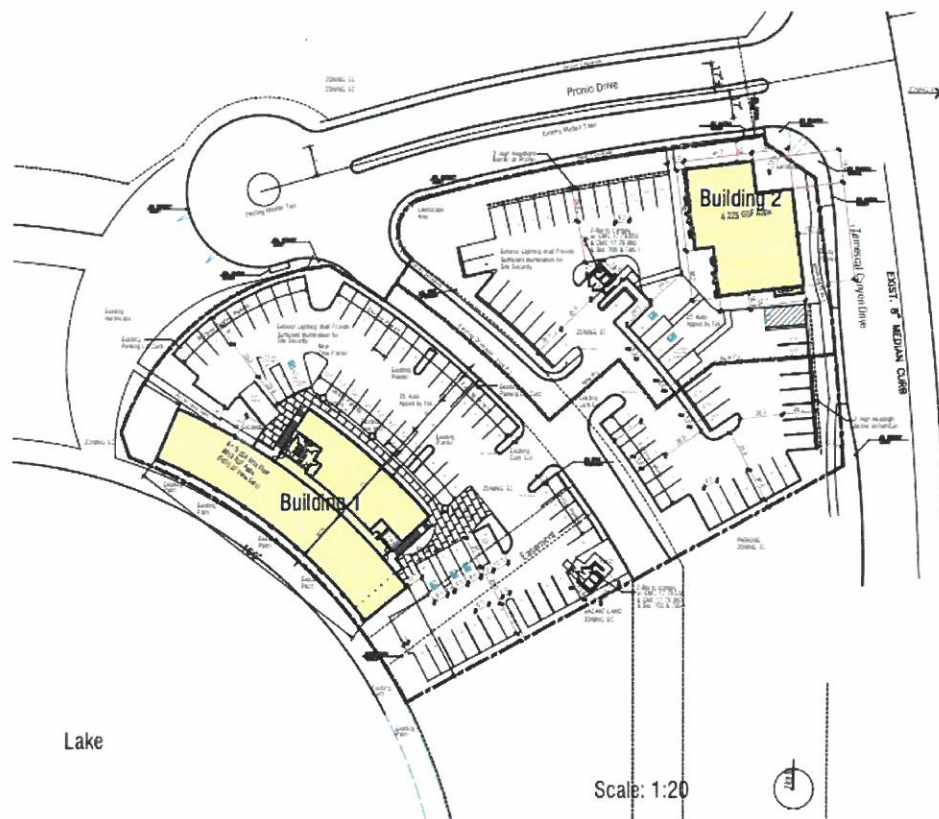


PROJECT DESCRIPTION:

The project is for the development of two new medical office buildings proposed on 2.065 acres in Planning Area 3 of the Dos Lagos Specific Plan (SP-99-03). The site is zoned Entertainment Commercial (EC) per the specific plan land use map, which permits medical office uses by right.

The project requires two applications: Parcel Map 37221 and Precise Plan 2020-0006. The parcel map, PM 37221, is a proposal to subdivide the project site into two parcels. Proposed Parcel 1 is 30,844 square feet and Parcel 2 is 59,125 square feet. The precise plan, PP2020-0006, is for the review of the site plan, architecture, and landscaping associated with the proposed project. Parcel 1 is to be developed with Building 1, which is a 17,164 square foot multi-unit medical office building. Parcel 2 is to be developed with Building 2, which is a 4,236 square foot stand-alone medical office building. The project is providing a total of 107 parking spaces, which will be shared among the tenants within the two buildings.

Site Plan



Building 1: 17,164 square feet
Building 2: 4,225 square feet

ENVIRONMENTAL SETTING:

Site Description: Presently, the site is developed with a parking lot. The project site is part of the master planned Dos Lagos community in which the Dos Lagos Specific Plan was approved for. The Specific Plan was analyzed for potential environmental impacts in the City of Corona Annexation No. 94 & Dos Lagos EIR, which was certified on June 21, 2000. In 2003, the Specific Plan area was mass and rough graded by the master developer to enable the construction of the necessary public infrastructure to support the development planned for the area.

Abutting the east side of the project site is Temescal Canyon Road, which is fully improved with roadway pavement, curb and gutter, sidewalk, and parkway adjacent to the site. Abutting to the north is Pronio Circle, which is improved

with roadway pavement, curb and gutter adjacent to the site. Sidewalks are currently missing along Pronio Circle adjacent to the project site.

Site Surroundings: Located across Temescal Canyon Road to the east of the site are single family residential condominium homes. Located across Pronio Circle to the north are live/work units. Abutting to the south and west is the development of *The Shops at Dos Lagos*, a commercial lifestyle center.

GENERAL PLAN \ ZONING:

The subject property is located within the Dos Lagos Specific Plan and zoned Entertainment Commercial, which permits for the use of medical offices. Therefore, the proposed project is consistent with the zoning of the project site.

The property has a General Plan designation of Mixed-Use 1 (MU1), which permits office uses. The MU1 designation establishes a Floor Area Ratio (FAR) limit of 2.0. The proposed office project has an FAR of 0.24, which does not exceed the site's FAR limit.

STAFF RECOMMENDATION:

The City's Staff, having undertaken and completed an initial study of this project in accordance with the City's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)", has concluded and recommends the following:

- ☐ The proposed project could not have a significant effect on the environment. **Therefore, a NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project could have a significant effect on the environment, however, the potentially significant effects have been analyzed and mitigated to below a level of significance pursuant to a previous EIR as identified in the Environmental Checklist attached. **Therefore, a NEGATIVE DECLARATION WILL BE PREPARED.**
- ☒ The Initial Study identified potentially significant effects on the environment but revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to below a level of significance. **Therefore, a MITIGATED NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project may have a significant effect on the environment. **Therefore, an ENVIRONMENTAL IMPACT REPORT is required.**
- ☐ The proposed project may have a significant effect on the environment, however, a previous EIR has addressed only a portion of the effects identified as described in the Environmental Checklist discussion. As there are potentially significant effects that have not been mitigated to below significant levels, a **FOCUSED EIR will be prepared to evaluate only these effects.**
- ☐ There is no evidence that the proposed project will have the potential for adverse effect on fish and wildlife resources, as defined in Section 711.2 of the Fish and Game Code.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The following indicates the areas of concern that have been identified as "Potentially Significant Impact" or for which mitigation measures are proposed to reduce the impact to less than significant.

- | | | |
|--|--|---|
| <input type="checkbox"/> Land Use Planning | <input type="checkbox"/> Hazards / Hazardous Materials | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Population and Housing | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geologic Problems | <input type="checkbox"/> Public Services | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Utilities | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Aesthetics | |
| <input type="checkbox"/> Transportation / Traffic | <input checked="" type="checkbox"/> Cultural Resources | |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Agricultural Resources | |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Greenhouse Gases | |

Date Prepared: September 11, 2021 Prepared By: Rafael Torres, Assistant Planner

Contact Person: Rafael Torres Phone: (951) 739-4973

AGENCY DISTRIBUTION

(check all that apply)

- _____ Responsible Agencies
- _____ Trustee Agencies (CDFG, SLC, CDPR, UC)
- _____ State Clearinghouse (CDFG, USFWS, Redev. Projects)
- _____ AQMD
- _____ Pechanga
- _____ Soboba
- _____ WQCB
- _____ Other _____

UTILITY DISTRIBUTION

_____ Southern California Edison

Southern California Edison
Adriana Mendoza-Ramos, Esq.
Region Manager, Local Public Affairs
1351 E. Francis St.
Ontario, CA 91761

Southern California Edison
Karen Cadavona
Third Party Environmental Review
2244 Walnut Grove Ave.
Quad 4C 472A
Rosemead, CA 91770

Note: This form represents an abbreviation of the complete Environmental Checklist found in the City of Corona CEQA Guidelines. Sources of reference information used to produce this checklist may be found in the City of Corona Community Development Department, 400 S. Vicentia Avenue, Corona, CA.

1. LAND USE AND PLANNING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with any land use plan/policy or agency regulation (general plan, specific plan, zoning)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with surrounding land uses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Physically divide established community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

The project site is located within the Dos Lagos Specific Plan and has a zoning of Entertainment Commercial (EC), which permits the development of office buildings building by right. The project site's General Plan designation is Mixed-Use 1, which allows for commercial uses. As the project is for the development of two medical office buildings, the project does not conflict with the site's zoning or General Plan.

b. & c.

The project site is surrounded by a man-made recreational lake to the west and commercial uses to the south. Located across Pronio Circle to the north is a live/work development, which is comprised of nontraditional residential units that have professional workspace incorporated into the units. The project's office use is considered commercial, which is compatible with the surrounding recreational and commercial land uses. The project is also compatible with the live/work units because the proposed office buildings are not expected to generate noise or other issues that would be considered obnoxious to nearby sensitive land uses. All uses would be contained inside the office buildings. Other nearby sensitive land uses include single family residential condominiums, which are located across Temescal Canyon Road to the east of the project site. These developments are located more than 150 feet from the project site, and Temescal Canyon Road provides a buffer between the residences and project site. Therefore, development of the proposed project would not conflict with the surrounding land uses nor divide the established community.

2. POPULATION AND HOUSING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Induce substantial growth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Displace substantial numbers of existing housing or people	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

The project will not induce substantial growth or displace existing housing or people because the zoning of the project site is intended for commercial uses. Also, the site contains no residential dwellings; therefore, development of the site would not displace existing housing or people. Therefore, no mitigation pertaining to this issue would be required.

3. GEOLOGIC PROBLEMS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fault /seismic failures (Alquist-Priolo zone) /Landslide/Liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Grading of more than 100 cubic yards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Grading in areas over 10% slope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Substantial erosion or loss of topsoil	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Unstable soil conditions from grading	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Expansive soils	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per the city's Property Information application, there are no known active faults crossing or projecting through the site. The site is not located in an Alquist-Priolo Earthquake Fault Zone and thus, ground rupture due to faulting is considered unlikely at this site. The project will be subject to city and county local codes, the latest California Building Code (CBC), and the engineering recommendations in the project's geotechnical investigation report prepared by South Shore Testing & Environmental (December 14, 2020). Therefore, any potential impacts related to fault/seismic failures would be reduced to a less than significant impact and no further mitigation would be necessary.

b.

The project would involve grading of more than 100 cubic yards. Adherence to the city's grading regulations and the grading specifications identified in the geotechnical investigation report would ensure a less than significant impact would occur and no further mitigation would be required.

c.

The subject site is in an area containing relatively flat mass-graded terrain that is utilized as a parking lot for the adjacent man-made lakes and commercial area. Therefore, landslides and grading on over 10% slopes are not expected to be an issue. No further mitigation would be necessary.

d. & e.

Development of the project would require the movement of on-site soils. Prior to the issuance of grading permits, the project applicant would be required to submit to the City detailed grading plans for the project site and would be required to comply with applicable city grading regulations established in the Corona Municipal Code. Furthermore, development of the site would involve more than one acre; therefore, the proposed project is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit. A Storm Water Pollution Prevention Plan (SWPPP) would also be required to address erosion and discharge impacts associated with the proposed on-site grading. Additionally, the project is required to submit a final Water Quality Management Plan (WQMP) which would identify measures to treat and/or limit the entry of contaminants into the storm drain system. Since the project is required to adhere to the City's grading regulations, obtain an NPDES Permit, and prepare an SWPPP and WQMP, impacts associated with soil erosion hazards are less than significant and no mitigation is required.

f.

The site generally consists of yellowish brown gravelly silty sand. Expansion index (EI) testing was performed by South Shore Testing & Environmental on the soil samples taken from the site. The results indicated that the EI for the onsite soils was an 11, which is considered to be non-expansive. Therefore, no further mitigation is warranted with respect expansive soils.

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than significant Impact	No Impact
4. HYDROLOGY AND WATER QUALITY:				
a. Violate water quality standards/waste discharge requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Deplete groundwater supplies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Alter existing drainage pattern	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Increase flooding hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Degrade surface or ground water quality	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Within 100-year flood hazard area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase exposure to flooding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Exceed capacity of storm water drainage system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., c., & e.

Development of the project site would increase the area of impermeable surface paving which will result in an increase in surface runoff. The applicant has submitted a preliminary Water Quality Management Plan (WQMP) prepared by Land Development Design Company, LLC. (April 17, 2019) to ensure that the project addresses potential water quality impacts. The applicant will be required to implement on site the Best Management Practices (BMPs) identified in the preliminary WQMP to minimize pollutant runoff into the City's storm water drainage system. A BMP for the project is to maintain landscaping using

minimum or no pesticides. Another BMP is to sweep sidewalks and parking areas regularly and to prevent accumulation of litter and debris. The applicant will implement underground storm water detention and infiltration systems on the north portion of the site. Prior to issuance of a grading permit, the applicant will be required to submit a final WQMP to be reviewed by the City's Land Development Division. This will result in a less than significant impact to water quality and therefore, no further mitigation is required.

b.

Per the city's Draft Temescal Subbasin Groundwater Sustainability Plan (September 2020), the project site is located in the western portion of the Temescal Groundwater Basin of the Upper Santa Ana River Valley Basin. The Temescal Groundwater Basin encompasses a surface area of 23,500 acres (37 square miles) with recharge predominantly occurring from percolation of precipitation on the valley floor and infiltration of stream flow within tributaries exiting the surrounding mountains and hills. The proposed project's ability to interfere substantially with groundwater recharge lies within the installation of impermeable surfaces, which would reduce the amount of land available for groundwater recharge. Although the development of the proposed project would result in the installation of impermeable surfaces and infrastructure, the amount of land rendered impermeable by implementation of the proposed project is less than one percent of the total area of 23,500 acres of the groundwater basin's total recharge area. The project does not present a loss of permeable surface area for the Temescal Groundwater Basin, therefore, impacts associated with this topic are considered to be less than significant and no mitigation would be required. Furthermore, the project does not propose construction of wells or direct pumping of groundwater.

f. & g.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMS), the project site is not within the 100-year or 500-year flood hazard areas. Development of the project site will not result in a flooding hazard, nor will it expose the site and surrounding area to flooding. Therefore, no impacts are anticipated with respect to flooding and no mitigation is required.

h.

The project is designed to ensure that the runoff generated by the project can be intercepted and conveyed to the existing off-site storm drain system in a safe and nondestructive manner, while adhering to regional and local design requirements, including those requirements within the project's WQMP's. Also, the proposed flows and capacities generated by the new development do not exceed the capacity of the existing stormwater system and do not increase the potential for on-site or off-site flooding. Therefore, the development of the project site would not result in exceeding the capacity of the city's storm drain system and no mitigation is warranted.

5. AIR QUALITY:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with air quality plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Violate air quality standard	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Net increase of any criteria pollutant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to pollutants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

An Air Quality & Greenhouse Gas Impact Study (RK Engineering Group, Inc., March 19, 2021) was prepared for the project to analyze potential air impacts associated with the proposed project. Emissions were calculated using the latest version of CalEEMod (v2016.3.2), which is a computer model approved by the South Coast Air Quality Management District (SCAQMD) to calculate criteria pollutant emissions. The following discusses the project's compliance to air quality plans and potential short-term and long-term air quality impacts.

a.

The project site is located within the South Coast Air Basin, an area covering approximately 6,745 square miles and bounded by the Pacific Ocean to the west and south and the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east. The Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. Air quality within the Basin is regulated by the SCAQMD which is required, pursuant to the federal Clean Air Act, to reduce emissions of criteria pollutants for which the Basin is in nonattainment. At the state level, air quality is regulated by the California Air Resources Board (CARB) and at the federal level it is the U.S. Environmental Protection Agency (EPA). The project would be subject to SCAQMD's Air Quality Management Plan (AQMP), which contains a comprehensive list of pollution

control strategies directed at reducing emissions and achieving ambient air quality standards. The 2016 AQMP is based on projections originating with county and city general plans. Since the proposed project is consistent with the City of Corona General Plan, the project would be consistent with the 2016 AQMP. Therefore, no impacts would occur with respect to AQMP implementation, and no mitigation measures are required.

b. & c.

Short-term Impacts

Construction of the project is estimated to begin in the year 2021 and expected to last approximately one year from the time permits are issued. Any project with daily regional emissions that exceed any of the regulated thresholds should be considered as having an individually and cumulatively significant air quality impact. Construction activities would include site preparation, grading, building construction, paving, and the application of architectural coatings. Construction equipment would include excavators, graders, dozers, tractors, a water truck during grading; cranes, forklifts, generators, tractors, welders during building construction; pavers, mixers, rollers and paving equipment during paving, and air compressors during architectural coatings. These activities would result in emissions of ROG, NO_x, CO, SO₂, PM₁₀, and PM_{2.5} which have regional significance thresholds established by the SCAQMD. During construction, the project is expected to comply with the regulatory construction requirements under the SCAQMD Rules. The project's estimated maximum daily construction emissions are summarized below in Table 5-A. As shown, emissions resulting from project construction would not exceed the SCAQMD regional thresholds of significance for regulated pollutants. Therefore, a less than significant impact would occur, and no mitigation is required.

TABLE 5-A
Expected Daily (Short-Term) Construction Emissions

Year	ROG	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
2020 (lb/day) Unmitigated	2.45	21.37	16.15	0.03	7.66	4.31
2021 (lb/day) Unmitigated	21.87	17.12	15.71	0.03	1.18	0.88
Significance Threshold (lb/day)	75	100	550	150	150	55
SCAQMD Impact?	NO	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Long-term Impacts

Long-term air quality impacts are associated with operational activities the proposed project that will result in emissions of ROG, NO_x, CO, SO₂, and PM₁₀. Operational emissions would be expected from the following three sources related to the long-term operations of the proposed project:

- Mobile source emissions (project vehicle trips)
- Area source emissions (usage of natural gas, landscape equipment, and architectural coatings)
- Energy source emissions (usage of electricity and natural gas for space heating and cooling, water heating, ventilation, lighting, appliances, and electronics)

The area, energy, mobile sources are calculated using CalEEMod. CalEEMod utilized the proposed land use and then estimates worst-case air quality emissions from worst-case trip generations. Also, emissions are calculated using the State of California EMFAC (Emission Factor) 2014 model, which is built into the CalEEMod. Estimates are provided for both the Summer and Winter operational months. Shown in Table 5-B, the project's expected daily long-term emissions would not exceed the SCAQMD thresholds for ROG, NO_x, CO, SO₂, and PM₁₀. Therefore, this would be less than significant, and no mitigation is required.

Table 5-B:
Expected Daily (Long-Term) Operational Emissions

	ROG	NO _x	CO	SO ₂	PM ₁₀
Summer Scenario					
Operational Emission Estimates (lb/day)	1.02	3.64	6.07	0.03	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO
Winter Scenario					
Operational Emission Estimates (lb/day)	0.94	3.65	5.25	0.02	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

d.

LSTs

A Localized Significance Thresholds (LSTs) analysis was conducted for the project. LST analyses are applicable to project sites that are five acres or less per SCAQMD. LSTs represent the maximum emissions from a project that will not cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard at the nearest residence or sensitive receptor. Sensitive receptors are defined as facilities or land uses that include members of the population that are particularly sensitive to the effects of air pollutants, such as children, the elderly, and people with illnesses. Examples of sensitive receptors are residences, schools, hospitals, and daycare centers. The California Air Regional Board (CARB), which establishes ambient air quality standards for major pollutants to protect public health, has identified the following groups of individuals as the most likely to be affected by air pollution: the elderly over 65 years of age, children under 14, athletes, and persons with cardiovascular and chronic respiratory diseases such as asthma, emphysema, and bronchitis.

Sensitive receptors near the project site include surrounding residences located north and east of the project site. In order to identify impacts to sensitive receptors, the SCAQMD recommends addressing localized significance thresholds (LSTs) for construction and operations impacts (area source only). LSTs were developed in response to SCAQMD Governing Boards' Environmental Justice Enhancement Initiative (I-4). The SCAQMD provided the Final Localized Significance Threshold Methodology to assist lead agencies in analyzing localized air impacts. The SCAQMD provides the LST screening lookup tables for one, two, and five-acre projects emitting CO, NOX, PM2.5, or PM10. The LST methodology and associated mass rates are not designed to evaluate localized impacts from mobile sources traveling over the roadways. The nearest Source Receptor Area (SRA) is located 54 meters from the site.

Tables 5-C and 5-D illustrate the project's construction and operational related localized emissions and compare the results to SCAQMD 2-Acre LST Emission Thresholds. The emissions in both tables will be below the SCAQMD thresholds. However, the results assume that the project would be complying with all standard SCAQMD rules and requirements with regard to fugitive dust control. For reference, the applicable fugitive dust control measures are listed below. These are design features, which the project is required to comply with and are included in the project conditions of approval for PP2020-0006 and PM 37221. With implementation of the dust suppression techniques, the project's construction and operational impacts to localized air resources would be less than significant.

Construction Design Features:

1. All active construction areas shall be watered two (2) times daily.
2. Speed on unpaved roads shall be reduced to less than 15 mph.
3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.
4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.
5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.
6. Access points shall be washed or swept daily.
7. Construction sites shall be sandbagged for erosion control.
8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).
9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.
10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.
11. Replace the ground cover of disturbed areas as quickly possible.
12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.
13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.
14. Construction equipment shall be maintained in proper tune.
15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.
16. Minimize the simultaneous operation of multiple construction equipment units.
17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.
18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).
20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.
21. Utilize zero VOC and low VOC paints and solvents, wherever possible.

Table 5-C: 2-Acre LST Emission Thresholds

Pollutant	LST @ 50 meters for 2 acres (lb/day)
CO	1,474
PM ₁₀ (Construction)	18
PM ₁₀ (Operation)	5
NO ₂ (Corrected utilizing NO ₂ /NO _x Ratio) Construction and Operation	200

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Table 5-D: Project Emissions

Pollutant	Project Emissions (lb/day)	Threshold	Impact
CO	64.25	1,474	No
PM ₁₀ (Construction)	12.35 (onsite)	18	No
PM ₁₀ (Operations)	1.83	5	No
NO ₂ Construction	86.9	200	No
NO ₂ Operation	3.65	200	No

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

e.

Land uses generally associated with odor complaints include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting operations, refineries, landfills, dairies, fiberglass molding facilities. The project does not contain land uses associated with emitting objectionable odors. Potential odor sources associated with the proposed project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities. However, these activities would be temporary, short-term, and intermittent in nature and would cease upon completion of the project's construction phase. Other potential odor sources associated with the project include the temporary storage of typical solid waste (refuse) associated with the project's long-term operational uses. However, it is expected that project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the City's solid waste regulations. The project would also be required to comply with SCAQMD Rule 402 to prevent occurrences of public nuisances. Therefore, odors associated with the project's construction and operations would be less than significant and no mitigation would be required.

6. TRANSPORTATION/TRAFFIC:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Increase the total daily vehicle miles traveled per service population (population plus employment) (VMT/SP) above the baseline level for the jurisdiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Cause total daily VMT within the study area to be higher than the No Project alternative under cumulative conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Change in air traffic patterns	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Traffic hazards from design features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g. Emergency access | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Conflict with alternative transportation policies | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

a.

Project access is proposed from an existing driveway located on Pronio Circle, approximately 250 feet west of Temescal Canyon Road. A secondary access will be provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Shops at Dos Lagos commercial development south of the project site.

The project is bounded by Temescal Canyon Road to the east and Pronio Circle to the north. Temescal Canyon Road is a north-south, four-lane divided roadway located east of the project site. It is classified as a major arterial street per the General Plan and is required to have an overall right-of-way width that ranges from 106 feet to 120 feet. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, parkway, and sidewalk. No additional widening is required for Temescal Canyon Road. Pronio Circle is a local street and improved with curb and gutter, but has a missing sidewalk adjacent to the project site. The applicant is conditioned to construct the missing sidewalk with the development of the project site. No additional widening is necessary for Pronio Circle. Therefore, the project would not conflict with the city's applicable traffic patterns, ordinance, or policies related to the performance of the city's circulations system, and no mitigation is warranted.

b.

The Corona Annexation No. 94 & Dos Lagos Specific Plan EIR projected 324,428 square feet of general office/business park and 531,432 square feet of light industrial/research and development uses would be developed within the Dos Lagos Specific Plan at buildout. Both land uses permit office use. Currently, Planning Areas 4 and 5 within the Specific Plan are approved for the development of three office buildings totaling 472,705 square feet. With the exception of Planning Area 3 which contains the project site, all other planning areas within the Specific Plan are already developed for commercial retail, residential, light industrial, or recreational (i.e. golf course) uses. There are no other planning areas within the Specific Plan that can accommodate the development of additional offices. Therefore, the amount of offices at that was originally analyzed in the EIR is currently underbuilt by 383,155 square feet. The project is proposing to add 21,400 square feet of office use to the Specific Plan, which would be covered under EIR since office use is underbuilt. The current proposal does not change the analysis that was considered under the EIR because the current proposal intends to develop the project site for office purposes, which is consistent with the Entertainment Commercial zoning of the project site.

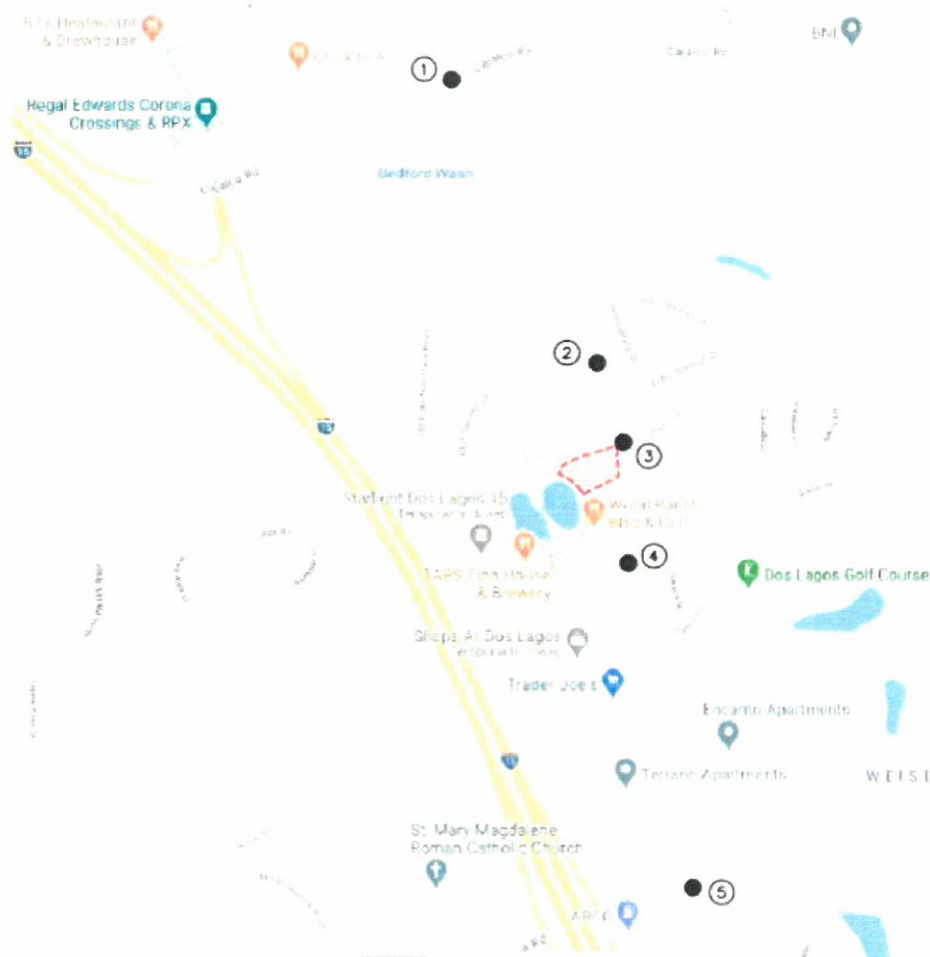
Although the city has adopted VMT thresholds pursuant to SB 743, as explained above, the proposed office project was previously analyzed in the Corona Annexation No. 94 & Dos Lagos Specific Plan EIR. All potential traffic impacts related to office use were analyzed in the EIR, and all necessary traffic mitigation identified in the EIR have been met. Therefore, a VMT analysis was not required for the project.

SB 743 does not prevent local agencies from using Level of Service (LOS) in their General Plan to determine a project's fair share participation the construction of transportation improvements outside of CEQA. The city still utilizes LOS in its General Plan. Although no longer a requirement for CEQA in determining environmental impacts associated with LOS, the city can impose conditions of approval to require construction of certain transportation infrastructure improvements or payment of a fair share toward the cost of such improvements warranted by the project. A focused traffic impact analysis (TIA) was prepared for the project by Linscott, Law & Greenspan (dated April 20, 2020) to analyze the potential LOS impacts associated with the proposed project on the surrounding area of the project site. The city considers LOS D the be minimum acceptable LOS for all intersections that consist of collector and arterial roadways.

The project is forecast to generate 758 net daily trips (one half arriving and one half departing), with 97 net trips (64 inbound, 33 outbound) produced in the AM peak hour and 60 net trips (22 inbound, 38 outbound) in the PM peak hour.

The TIA analyzed five (5) existing nearby street intersections and the project's driveway entrance on Pronio Circle. The study intersections included the following:

1. Temescal Canyon Road at Cajalco Road
2. Temescal Canyon Road at Blue Springs Drive
3. Temescal Canyon Road at Pronio Circle
4. Temescal Canyon Road at Lakeshore Drive
5. Temescal Canyon Road at Dos Lagos Drive



LL&G (April 30, 2020)

In Year 2021 without project traffic conditions, the intersection at the intersection of Temescal Canyon Road and Cajalco Road is forecast to operate at an unacceptable LOS E. In same year with project traffic conditions, the LOS at the same street intersection is also forecast to operate at an unacceptable LOS E. In order to bring the operating condition of the intersection to an acceptable level of service, the developer is required to complete the following improvements: 1) install an eastbound right-turn lane overlap traffic signal, and 2) restrict the northbound U-turn movement with signage. Alternatively, the developer may pay a fair-share cost of the total cost of constructing the recommended roadway improvements, as determined by the traffic impact analysis approved by the City. The improvements are required under Conditions 37 and 38 of the Conditions of Approval for PM 37221.

- Condition 37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.
- Condition 38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.

A queueing analysis was prepared for the left-turn lane at the intersection of Temescal Canyon Road and Pronio Drive. The left-turn lane has an existing vehicle storage of 135 feet. The traffic impact analysis determined that the existing storage of 135 feet is sufficient for Year 2021 with project traffic conditions.

e. The project site is located approximately 7.5 miles southeast of the Corona Municipal Airport. The proposed office buildings are no more than 34 feet in height. Because of the project site's distance from the airport and the proposed height of the buildings, the project would not impact air operations, nor would it cause change to air traffic patterns. Also, the project is not located within an airport land use compatibility zone. Therefore, no impact related to this issue would occur and no mitigation is required.

f.

LL&G evaluated the internal circulation in terms of vehicle-pedestrian conflicts and driveway spacing. Based on the proposed site plan, the overall layout does not create any significant vehicle-pedestrian conflict points as the parking lots are self-contained. Motorists entering and exiting the project site from the existing internal driveway will be able to do so comfortably, safely, and without undue congestion as Pronio Circle provides a circular terminus to accommodate both resident and patron traffic for proper turnaround circulation. The project site also has a secondary access from within The Shops commercial development to the south of the project. Therefore, no impacts related to traffic hazards from design features are expected.



LL&G, April 30, 2020

g.

The project design has been reviewed by the city's Fire and Police Departments for fire and emergency access; therefore no impacts are expected.

h.

The project site is located in an area that is served by the Riverside Transit Agency (RTA) and "Corona Cruiser," a Fixed Route service by the City of Corona. The RTA's Route 206 is the nearest bus line to the project site. Route 206 runs from Corona Transit Center to Promenade Mall, and traverses the project area along Temescal Canyon Road, Cajalco Road, and Dos Lagos Drive. During the AM peak hour, there is one southbound bus, and the PM peak hour, there are two northbound buses and one southbound bus. Route 206 has a bus stop at the corner of Temescal Canyon Road and Pronio Road which is the nearest bus stop to the project site. The Corona Cruiser runs along pre-designated Blue Line and Red Line fixed routes. The Corona Cruiser has a Red Line bus stop located at the intersection of Temescal Canyon Road and Pronio. This route does not traverse any of the study intersections analyzed in this report during weekdays, but the Red Line provides service to the Shops at Dos Lagos on Saturdays via Temescal Canyon Road from the north. The project would not conflict with any of the RTA or Corona Cruiser routes. Therefore, the project would not impact alternative transportation policies and no mitigation is required.

7. BIOLOGICAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Endangered or threatened species/habitat	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Riparian habitat or sensitive natural community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Adversely affects federally protected wetlands	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interferes with wildlife corridors or migratory species	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflicts with local biological resource policies or ordinances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Conflicts with any habitat conservation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., c., e., & f.

The proposed project will not impact biological resources as the project site in which the proposed development will occur was analyzed under the City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, which was a cumulative environmental analysis of the 543 acres within the plan boundary. Per the EIR, the site was historically used for mining operations. The former Owens-Illinois processing plant and silica sand mining operation occupied the central and western portion of the Dos Lagos area. In 2003, the master developer mass and rough graded the Dos Lagos project area in order to begin the construction on the public infrastructure for the entire Specific Plan. The project site was included as part of the mass and rough grading. Presently, the project site contains an asphalt parking lot that is being used by the neighboring recreational and commercial uses.

In accordance with the mitigation measures in the EIR, the master developer obtained all the required regulatory permits from the responsible agencies prior to the initial grading within the Specific Plan boundary. The master developer also mitigated the impacts to biological resources accordingly. As such, the development of the project site will not impact biological resources.

The project site is not located within a MSHCP Subunit or Criteria/Cell Group. Therefore, no Reservation Assembly Analysis is required. The nearest Criteria Cell is Cell 2507, which is located approximately 0.30 miles east of the Project site. The project site is separated from Cell 2507 by existing residential developments and roadway improvements. The project site is not located within a designated assessment area for Narrow Endemic Plant Species, Criteria Area Plant Species, amphibians, mammals, or the burrowing owl.

The applicant is required to pay applicable fees related to Riverside County's Multiple Species Habitat Conservation Plan, or MSHCP. This MSHCP is a habitat conservation plan for Western Riverside County that identifies land to be preserved for habitat for threatened, endangered or key sensitive populations of plant and wildlife species. The applicant is subject to the MSHCP mitigation fee for commercial development. This fee will be used to acquire and preserve vegetation communities and natural areas, which are known to support these sensitive species.

d.

The project site is in a developed area surrounded by a roadway, freeway, and residential and commercial developments. Therefore, developing the project site would not interfere with wildlife movement and no mitigation would be required.

8. MINERAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Loss of mineral resource or recovery site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per Figure 4.2 of the 2020-2040 General Plan Technical Background Report, the project site is not located in an oil, gas or mineral resources site. Therefore, no mitigation is warranted.

9. HAZARDS AND HAZARDOUS MATERIALS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Transport, use or disposal of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Risk of accidental release of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Hazardous materials/emissions within ¼ mile of existing or proposed school	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Located on hazardous materials site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with Airport land use plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Impair emergency response plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase risk of wildland fires	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & d.

A Phase I Environmental Site Assessment (Phase I ESA) was conducted for the project site by Property Solutions, Inc. (August 10, 2009), to evaluate the physical conditions of the project site and to uncover any hazardous wastes that may have previously been used, treated, stored, or disposed on the project site.

The site is not listed in any federal or state-reported environmental databases related to underground storage tanks, hazardous waste generation, or hazardous material releases. A field visit of the site was conducted by Property Solutions, Inc. No pits, ponds, lagoons, swales, or surface impoundments potentially containing hazardous materials were observed on the property. No above or underground storage tanks were observed during the site visit. No other potential issues of concern such as asbestos, PCB-containing materials, solid waste, or hazardous materials were observed. Therefore, impacts related to accidental release of hazardous materials is not expected and no mitigation is required.

c.

The nearest schools to the project site are El Cerrito Intermediate and Wilson Elementary School. El Cerrito Intermediate is located approximately 1.65 miles north of the project site. Wilson Elementary School is located approximately 1.85 miles west of the project site. The schools are separated from the project site by existing residential and commercial developments, highways, and roadways. Also, development of the proposed project would not include any activities that would result in hazardous emissions or handle hazardous materials, substances, or waste in a manner that could result in toxic emissions. Therefore, this would be a non-issue and no mitigation is required.

e.

The nearest airport to the project site is the Corona Municipal Airport, located approximately 7.5 miles northwest of the project site. Based on the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not within any identified safety or compatibility zone and therefore, does not conflict with the ALUCP and no mitigation is warranted.

f & g.

The project site is not located in proximity to the Cleveland National Forest, nor is it considered an area that can be described as a wildland area. The project site is an infill site located within an urbanized area. Due to the urbanized nature of the surrounding area, the proposed development would not be considered at high risk for fire hazards. Furthermore, all development within the City of Corona is required to comply with all fire code requirements associated with adequate fire access, fire flows, sprinklers, and number of hydrants. Therefore, the project would have no impact and no mitigation is required.

10. NOISE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed noise level standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure to excessive noise levels/vibrations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Permanent increase in ambient noise levels	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Temporary increase in ambient noise levels

☐☒☐☐

e. Conflict with Airport Land Use Plan noise contours

☐☐☐☒**Discussion:**

a., b., c., & d.

Long-term noise impacts will be minimal given that the proposed use is office where all operations would be conducted inside the buildings. The long-term noise impacts associated with the project would be generated from parking lot noise, mechanical HVAC equipment, and conversation/outdoor noise. The nearest sensitive area would be the existing residential condominiums across Pronio Circle approximately 60 feet from the project site. The project is subject to the City's noise standards for stationary noise under CMC Section 17.84.040(C) shown below. Thus, the project's long-term noise would have no significant impact and no mitigation is required.

CMC Section 17.84.040(C)

TABLE 1 STATIONARY NOISE SOURCE STANDARDS				
TYPE OF LAND USE	MAXIMUM ALLOWABLE NOISE LEVELS			
	Exterior Noise Level		Interior Noise Level	
	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.
Single-, Double- and Multi-Family Residential	55 dBA	50 dBA	45 dBA	35 dBA
Other Sensitive Land Uses	55 dBA	50 dBA	45 dBA	35 dBA
Commercial Uses	65 dBA	60 dBA	Not applicable	Not applicable

Short-term impacts are associated with future grading and project construction, and are reduced to a less than significant level by the city's Municipal Code. Per CMC Chapter 17.84, construction activities are prohibited between the hours of 8:00 p.m. to 7:00 a.m. Monday through Saturday, and 6:00 p.m. to 10:00 a.m. on Sundays and federal holidays. This will prevent nuisance noise impacts during sensitive time periods of early morning and nighttime for the residences located north (across Pronio Circle) of the project site. To further reduce the potential for noise impacts, a list of design features are shown below. **(Mitigation Measure 10-A)**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

Mitigation Measures:**MM 10-A**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

e.

Per the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not located in an identified airport land use compatibility zone; therefore, no impact associated within this issue would occur and mitigation is not required.

11. PUBLIC SERVICES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fire protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Police protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Parks & recreation facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Other public facilities or services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The Corona Fire Department (CFD) will provide all emergency and medical aid calls to the project site. Station 7 will provide first response and is located on Bedford Canyon Road, near Interstate 15, approximately 1.1 miles from the project site. Station 7 is located approximately 1.1 miles from the project site and should generate quick response times to the project site. Therefore, response times to the project site will not be impacted and the project site does not require the construction of new fire protection facilities.

b.
The City of Corona Police Department will provide patrol and emergency response to the project site. The Police Department presently has over 200 employees, including officers and support staff and is stationed at 730 Public Safety Way, which is approximately 6.15 miles from the project site. The City's police patrol officers work assigned zones throughout the city; therefore, officers responding to the project site can come from either the city's police station or from their assigned zone while on patrol. Therefore, police services are not anticipated to be impacted by the proposed project and the project does not require the construction of new police protection facilities.

c.
The proposed project is commercial and will not result in residential development that would lead to the generation of additional students. The applicant is required to pay the applicable development impact mitigation school fees. Therefore, no further mitigation is warranted.

d.
The development of the project site does not require the construction of new public facilities. The developer however is required to pay the city's Development Impact Fees prior to the issuance of building permits. This is enforced by city ordinance (CMC Chapter 16.23); therefore, no mitigation is warranted with respect to impacts on City and public services.

12. UTILITIES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed wastewater treatment requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Involve construction/expansion of water or wastewater treatment facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Involve construction/expansion of storm drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Sufficient water supplies/compliance with Urban Water Management Plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Adequate wastewater treatment capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Adequate landfill capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Comply with solid waste regulations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & e.
As required for all projects by the City's Utilities Department, the project is required to construct or guarantee the construction

of all necessary public water and sewer facilities needed to serve the project. All water and sewer facilities are required to be designed per the standards of the Utilities Department and Riverside County Department of Health Services and will be reviewed by the Utilities Department during the plan check process. This would reduce the impacts to less than a significant level and therefore, no further mitigation would be required.

c.

The project does not require the construction of additional storm drains or expansion of existing storm drains. The city's existing storm drains have sufficient capacity to receive flows from the project site. Therefore, no impacts are expected.

d.

As discussed under the Hydrology and Water Quality section, a preliminary WQMP was prepared for the project. As part of the project's grading permit process, the applicant is required to submit a final WQMP and the city's Public Works inspector also inspects the project site for compliance with the final approved WQMP during the on-site grading process and at time of project completion. Therefore, the project would not impact water quality or violate water quality standards and no mitigation is required.

f. & g.

Waste Management (WM) is contracted by the City of Corona as the sole hauler of solid waste and provider of recycling services. WM provides refuse collection to residential, commercial, and industrial customers. Based on the solid waste generation identified in Table 12-A, solid waste from the project would be transported to the El Sobrante landfill located at 10910 Dawson Canyon in Corona. The El Sobrante landfill accepts a maximum 16,054 tons of waste per day and has a remaining capacity of 143,977,170 tons and an estimated closure date of 2051.

TABLE 12-A

Landfill	Location	Remaining Capacity (cubic yards)	Estimated Closure Date	Maximum Daily Permitted Tonnage	Actual Average Daily Disposal, tons ¹	Residual Disposal Capacity, tons per day
El Sobrante	10910 Dawson Canyon Road Corona, CA 91719	143,977,170 ¹	2051	16,054	5,599 ⁴	10,455
Olinda Alpha	1942 North Valencia Avenue Brea, CA 92823	34,200,000 ²	2021	8,000	3,638 ⁵	4,362
Total		178,177,170	NA	24,054	9,237	14,817

Source: Table 5.19-10 Environmental Analysis – Utilities and Service System - Solid Waste of General Plan Technical Update of Corona General Plan Final Environmental Impact Report, December 2019

Per the General Plan Technical Update EIR, the County of Riverside is required to maintain 15 years identified disposal capacity or have a plan to transform or divert its waste, pursuant to AB 939. There is adequate landfill capacity in the region for solid waste that would be generated by the 2020-2040 General Plan buildout. Furthermore, new developments approved by the City would be required to contain storage areas for recyclable materials in conformance with California Public Resources Code Sections 42900 et seq., and the City of Corona Municipal Code Chapter 8.20 (Collection of Refuse and Recyclable Materials). Solid waste diversion program would continue operating and would have adequate capacity to accept all future wastes and recyclables to reduce landfilled waste. Additionally, solid waste service fees would be charged to individual property owners when services are initiated to offset operation costs associated with solid waste collection and disposal. Therefore, the project is anticipated to create a less than significant impact to landfill capacity and no mitigation would be required.

13 AESTHETICS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Scenic vista or highway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Degrade visual character of site & surroundings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Scenic resources (forest land, historic buildings within state scenic highway)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Light or glare	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

Per Figure 4-5 of the 2020-0040 City of Corona General Plan Technical Background Report, Temescal Canyon Road is not a scenic vista or highway. Development of the site will be subject to the development standards and architectural guidelines of the Dos Lagos Specific Plan which permit commercial buildings up to a maximum height of 60 feet. The buildings proposed on the project site would have the one-story corner building at a height of approximately 23 feet with the two-story lakeview terrace building at approximately 30 feet in height. Both buildings have brick and plaster finishes. The windows are tinted glass with metal awnings. Rooftop mechanical equipment will be screened from street view by parapet walls. The buildings overall are aesthetically pleasing and attractive and would not cause degradation to the area. Therefore, no mitigation with respect to the aesthetics of the development is required.

c.

The project site is not located immediately adjacent to any forest lands. There are no historic buildings located in the vicinity of the project site. No state-designated scenic highway is located within the vicinity of the project site. Therefore, the project would not impact scenic resources and no mitigation is required.

d.

A photometric analysis was prepared by Gouvis Engineering Consulting Group, Inc. to analyze the project's on-site lighting for compliance with the city's performance standard for glare and to ensure that the on-site lighting will not be a nuisance to the existing residential buildings located in the vicinity of the project site. The exterior lighting proposed for the development consists of LED wall lights on the buildings and parking lot light poles. The lighting is designed to provide vertical light distribution, reduced offsite visibility, and reduced on-site glare while providing effective security light levels.

The analysis demonstrates the project's compliance with the city's regulations pertaining to glare per Section 17.84.070 of the Corona Municipal Code, which states that "all areas of exterior lighting shall be designed to direct light downward with minimal spillover onto adjacent residences, sensitive land uses, and open space." The nearest sensitive land uses are live/work units which are located approximately 60 feet north of the project site across Pronio Circle. The analysis shows that the project's exterior lighting would result in minimal glare spillover onto Pronio Circle and the surrounding land uses. The project's lighting would not result in a significant change to the area because the project is located in an urban area that already has a significant amount of ambient lighting from street light poles and commercial and residential lighting. Furthermore, the project's proposed parking lot light poles are designed with a hood that directs light downwards. Therefore, glare effects from the project is not expected to be an issue and no mitigation is warranted.

14. CULTURAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Historical resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Archaeological resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Paleontological resource or unique geologic feature	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Disturb human remains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., & c.

Since the site was previously mass graded during the development of the Dos Lagos community, it is highly unlikely that the site would contain historical, archaeological, or paleontological resources. Also, per the paleontological resources study conducted for the project site by Cogstone (March 2016), no fossils were observed on the site during Cogstone's field survey

However, if unanticipated fossils are unearthed during construction, work should be halted in that area until a quantified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find. Also, the project is required to comply with Mitigation Measure 7 under the **Tribal Cultural Resources** section, which addresses the disturbance of human remains. Compliance with these requirements would reduce impacts to cultural resources to less than significant. (MM 14-A and MM 17-F)

Mitigation Measure:

MM 14-A If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.

15. AGRICULTURE RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Williamson Act contract	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conversion of farmland to nonagricultural use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The California Land Conservation Act of 1965, commonly referred to as the Williamson Act, enables local governments to enter into contracts with private landowners for the purpose of restricting specific parcels of land to agricultural or related open space use. In return, landowners receive property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value. The purpose of the Act is to encourage property owners to continue to farm their land, and to prevent the premature conversion of farmland to urban uses. The project site is not located within a Williamson Act contract area. Therefore, no impact to Williamson Act lands will result from the proposed development and no mitigation is required.

b.
The project site is not a designated farmland per the farmland maps compiled by the California Department of Conservation, Farmland Mapping and Monitoring Program (FMMP). For this reason, development of the project site would not result in the conversion of farmland to nonagricultural uses; therefore, there would be no impacts and no mitigation would be required.

16. GREENHOUSE GAS:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Generate greenhouse gases	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with a plan, policy or regulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.
The City of Corona adopted the City of Corona Climate Action Plan (CAP) in 2019 which utilizes the *Greenhouse Gas Emissions CEQA Thresholds and Screening Tables* to determine whether or not a project would have a significant impact on greenhouse gas emissions. The screening tables are to provide guidance in measuring GHG reductions attributable to certain design and construction measures incorporated into development projects. Projects that garner at least 100 points will be consistent with the reduction quantities anticipated in the City's CAP and would thus be considered less than significant. Utilizing the screening tables would also allow the City to meet its GHG emissions target for year 2020.

Per the CAP, small projects that are expected to emit GHG emissions that are less than 3,000 MtCO₂e (metric tons of CO₂e equivalent) are not required to utilize the screening tables as they would be expected to have a less than significant individual and cumulative impact for GHG emissions. Office projects that typically emit more than 3,000 MtCO₂e would need to have a building area of at least 162,000 square feet. Since the proposed office project's total building area is 21,400 square feet, it is anticipated that the project's GHG emissions would be less than 3,000 MtCO₂e. Therefore, the project would not need to utilize the CAP's screening tables as no impacts are expected. The project would be in compliance with the CAP and no mitigation would be required.

17. TRIBAL CULTURAL RESOURCES

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

a. The project is not located on the California Register of Historical Resources or on the City's register of historic resources and would have no impacts to the state's or city's historic resources.

b. The project is subject to tribal consultation under AB 52. The purpose of AB 52 is to ensure that local and triable governments, public agencies, and project components have information available, early in the planning process to identify and address potential adverse impacts to tribal cultural resources. The Planning and Development Department initiated the process by notifying the local Native American tribes of the proposed project through a letter of transmittal dated October 12, 2020. The Planning and Development Department received written responses from the Rincon Band of Luiseño Indians and the Soboba Band of Luiseño Indians requesting consultation on the project.

Consultation was held between the Planning and Development Department staff and Cheryl Madrigal, representative of Rincon Band of Luiseño Indians Soboba Tribe on January 6, 2021, and February 25, 2021. On March 4, 2021, Ms. Madrigal closed consultation because the project was already analyzed in the Dos Lagos Environmental Impact Report (EIR).

On January 7, 2021, consultation began with Jessica Valdez, representative for the Soboba Band of Luiseno Indians and continued until March 6, 2021. There was no further response from the tribe until Joseph Ontiveros, representative for the Soboba Tribe, responded for Ms. Valdez on August 12, 2021, requesting to continue the consultation process. Mr. Ontiveros expressed concerns with the site potentially containing tribal cultural resources due to the site being located in the vicinity of other identified tribal cultural resources, and thus, requested tribal monitoring in order to reduce impacts to tribal cultural resources. Mitigation Measures 17-A through 17-G would reduce impacts to less than significant. **(Mitigation Measures 17-A through 17-G)**

Mitigation Measures

MM 17-A Tribal Monitoring: Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.

MM 17-B Archaeological Monitoring: At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.

- a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include:
 - i. Project grading and development scheduling;
 - ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling,

safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists;

- iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources' evaluation.

MM 17-C Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Monitored grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:

- a. **Temporary Curation and Storage:** During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and
- b. **Treatment and Final Disposition:** The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Planning and Development Department with evidence of same:
 - i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;
 - ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;
 - iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and
 - iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.

MM 17-D For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.

MM 17-E Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.

MM 17-F Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by

California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.

The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).

MM 17-G Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:

- a. The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques.
- b. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens.

18. MANDATORY FINDING OF SIGNIFICANCE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fish/ wildlife population or habitat or important historical sites	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cumulatively considerable impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantial adverse effects on humans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Short-term vs. long-term goals	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., c., & d.

Based on the Initial Study, development of the proposed project would have either no impact, or potential effects of the proposal are substantiated at or mitigated to levels below thresholds of significance. Based on the analysis presented in the preceding checklist, the project has the potential to result in significant impacts under the following environmental topics:

- Noise
- Cultural Resources; and
- Tribal Cultural Resources.

However, appropriate mitigation measures have been developed. **Mitigation Measures 10-A through 17-G** successfully mitigate all identified potential impacts to less than significant levels. Therefore, project impacts to fish/wildlife population or habitat, important historical sites, cumulatively considerable impacts, substantial adverse effects on humans, or short-term vs. long-term goals are considered less than significant.

19. WILDFIRE:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Substantially impair an adopted emergency response plan or emergency evacuation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Due to slope, prevailing wind, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability or drainage changes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion

a. & b.

The project site is not located within a high fire hazard severity zone. The project site is also not adjacent to other properties that are within a high fire hazard severity zone. There are no slopes, prevailing winds, or other factors that would exacerbate wildfire risks and expose project occupants to pollutant concentrations from wildfire. Therefore, no impacts are expected as it relates to wildfire.

The properties to the south and west have also been developed for commercial purposes and developed to commercial standards that include paved concrete surfaces, paved access and commercial buildings. The proposed commercial buildings will also be constructed in accordance with the California Building Standards Code and California Fire Code which will require adequate fire suppression measures such as fire sprinklers and adequate water pressure for fire hydrants serving the project. Therefore, no impacts are expected.

c.

Paved roadway access is provided to the project from two public streets, Temescal Canyon Road and Pronio Circle. A secondary access is provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Dos Lagos Shops commercial development south of the project site. Therefore, the site has adequate access in the event to an evacuation or fire-related emergency.

d.

The project site is relatively flat and completely surrounded by urban development. The site has no significant slopes nor is it located nearby any slopes. The site is also not located in a downstream flood area. Therefore, development of the project would not expose people or structures to risks related to landslides or flooding that could occur post-fire. No impacts are expected.

20. ENERGY:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

During construction, the proposed project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. Fossil fuels used for construction vehicles and other energy-consuming equipment would be used

during site preparation, grading, paving, and building construction. The types of equipment could include gasoline- and diesel-powered construction and transportation equipment, including trucks, tractors, loaders, backhoes, excavators, graders, bulldozers, rollers, forklifts, and cranes.

Other equipment could include construction lighting, field services (office trailers), and electrically driven equipment such as pumps and other tools. Singlewide mobile office trailers, which are commonly used in construction staging areas, generally range in size from 160 square feet to 720 square feet. A typical 720-square-foot office trailer would consume approximately 9,700 kilowatt-hour (kWh) during the approximately 1.1-year construction period. Due to the temporary nature of construction and the financial incentives for developers and contractors to use energy consuming resources in an efficient manner, the construction phase of the proposed project would not result in wasteful, inefficient, and unnecessary consumption of energy. Therefore, the construction related impacts related to electricity and fuel consumption would be less than significant and no mitigation is required.

The proposed project will not conflict with or obstruct a State or Local plan for renewable energy or energy efficiency. The project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. California Code of Regulations Title 13, Sections 2449 and 2485, limit idling from both on-road and off-road diesel-powered equipment and are enforced by California Air Resources Board. The project would comply with these regulations. There are no policies at the local level applicable to energy conservation specific to the construction phase. Thus, it is anticipated that construction of the proposed plan would not conflict with or obstruct a State or local plan for renewable energy or energy efficiency. Therefore, construction-related energy plan consistency impacts would be less than significant, and no mitigation is required.

California's Renewables Portfolio Standard (RPS) requires that 33 percent of electricity retail sales be served by renewable energy sources by 2020. The proposed project would be served with gas provided by SoCalGas. SoCalGas offers renewable natural gas captured from sources like dairies, wastewater treatment plants and landfills. The proposed project would be served with electricity provided by Southern California Edison (SCE). SCE's 2017 power mix included 32 percent eligible renewable (biomass and biowaste, geothermal, eligible hydroelectric, solar, and wind), 34 percent unspecified sources of power, 20 percent natural gas, 8 percent large hydroelectric, and 6 percent nuclear. SCE also offers a Green Rate 50 percent option that sources 66 percent of its power mix from eligible renewable energy sources, and a Green Rate 100 percent option that sources 100 percent of its power mix from eligible renewable energy sources. SCE is on track to meet the California RPS of 33 percent by 2020 mandate.

Part 11, Chapter 5, of the State's Title 24 energy efficiency standards establishes mandatory measures for non-residential buildings, including material conservation and resource efficiency. The project would be required to comply with these mandatory measures. The project would also comply with the California Building Standards Code requiring proposed commercial buildings to be solar ready. Policy IU-7.7 encourages the reduction of energy consumption through passive solar building orientation as well as the installation of rooftop solar energy systems and energy-efficient technologies. The proposed project would be encouraged to comply with this policy. Other policies that promote energy conservation at the local level are voluntary. Compliance with the aforementioned mandatory measures would ensure that the proposed project would not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing energy use or increasing the use of renewable energy. Therefore, operational energy efficiency and renewable energy standards consistency impacts would be less than significant, and no mitigation is required.

21. PREVIOUS ENVIRONMENTAL ANALYSIS:

Earlier analysis may be used when one or more of the environmental effects have been adequately analyzed in an earlier EIR or Negative Declaration (Section 15063).

DOCUMENTS INCORPORATED BY REFERENCE:

1. City of Corona General Plan 2020-2040
2. City of Corona Technical Background Update EIR, 2019
3. Dos Lagos Specific Plan 99-03, June 21, 2000
4. City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, certified June 21, 2000
5. Phase 1 ESA prepared by Property Solutions, Inc. dated August 10, 2009
6. Preliminary Project Specific WQMP, prepared by Land Development Design Company, LLC. dated April 17, 2019
7. Geotechnical Update, prepared by South Shore Testing & Environmental, December 14, 2020
8. Air Quality Screening Letter by Ldn Consulting, Inc. dated April 20, 2020
9. Focused Traffic Impact Analysis Report, prepared by Linscott Law & Greenspan, April 30, 2020
10. Paleontological Resources Technical Report For The Rexco Properties, prepared by Cogstone, March 2016



MITIGATION MONITORING AND REPORTING PROGRAM CITY OF CORONA

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
	NOISE					
MM 10-A	<ol style="list-style-type: none"> 1. No impact pile driving activities shall be allowed on the project site. 2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use. 3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible. 4. Obtain a construction work permit from the City of Corona prior to starting construction. 	Condition of approval	Submittal of Grading and Construction Plans	During Grading and Construction	Planning and Land Development Divisions	
	CULTURAL RESOURCES					
MM 14-D	If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.	Condition of approval	Submittal of documentation	During grading and construction	Planning Division	
	TRIBAL CULTURAL RESOURCES					
MM 17-A	Tribal Monitoring: Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.	Condition of approval	Submittal of agreements	Prior to issuance of a grading permit	Planning Division	

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-B	<p>Archaeological Monitoring: At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.</p> <ul style="list-style-type: none"> a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include: <ul style="list-style-type: none"> i. Project grading and development scheduling; ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archaeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling, safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists; iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation. 	Condition of approval	Submittal of documentation showing that an archeologist has been retained for the project.	Prior to issuance of a grading permit	Planning and Development Dept.	Condition of approval

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C	<p>Mitigation Measures</p> <p>Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <p>a. Temporary Curation and Storage: During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and</p> <p>b. Treatment and Final Disposition: The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Corona Community Development Department with evidence of same:</p> <p>i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C Cont'	<p>ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;</p> <p>iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and</p> <p>iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-D	For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.	Condition of approval	Submittal of Phase IV monitoring report or other documentation as applicable	Within 60 days of completion of grading	Planning and Development Dept.	
MM 17-E	Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-F	Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-F Cont'	<p>The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).</p> <p>According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).</p>	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-G	<p>Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:</p> <ol style="list-style-type: none"> The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens. 	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

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City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Minutes - Draft

Monday, October 11, 2021

Council Chambers - 6:00 p.m.



**Craig Siqueland, Chair
Karen Alexander, Vice Chair
Diana Meza, Commissioner
Bridget Sherman, Commissioner
Matt Woody, Commissioner**

ROLLCALL

- Present** 3 - Vice Chair Karen Alexander, Commissioner Diana Meza, and Commissioner Bridget Sherman
- Absent** 2 - Chair Craig Siqueland, and Commissioner Matt Woody

CALL TO ORDER

Vice Chair Alexander called the meeting to order.

PLEDGE OF ALLEGIANCE

Commissioner Meza led the Pledge of Allegiance.

COMMUNICATIONS FROM THE PUBLIC

None.

MEETING MINUTES

These minutes were approved.

1. [21-0908](#) Approval of minutes for the Planning and Housing Commission meeting of August 23, 2021.

Attachments: [08232021 - Planning and Housing Comm minutes - DRAFT](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that these Minutes be approved. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

CONSENT ITEMS

2. [21-0870](#) PPE2021-0002: Application requesting a 2-year extension of time for Precise Plan 2018-0005 (PP2018-0005) for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street. (Applicant: Greg Gill).

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2576](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Staff Report for PP2018-0005](#)[Exhibit 3.B - Site Plan, approved August 26, 2019](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Applicant's letter, dated July 29, 2021](#)

Vice Chair Alexander asked to pull consent item PPE2021-0002. She asked Staff if the original conditions of approval for the project would still stand once the extension gets approved. Staff confirmed that the time extension will not alter the conditions of approval that were originally approved for the project. She also asked about the timing of when the applicant filed his paperwork, and the need to toll the project deadline. Staff clarified that the City's practice is to toll the deadline as long as a complete application is submitted before the deadline occurs.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt Resolution No. 2576 granting a two-year extension of time for PP2018-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

3. [21-0901](#) PPE2021-0001: Application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street. (Applicant: Aaron Packard)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2579](#)[Exhibit 2 - Locational & Zoning Map](#)[Exhibit 3.A - Staff Report for PPM2019-0005](#)[Exhibit 3.B - Site Plan, Approved January 21, 2020](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Letter Submitted by KWC Engineers on behalf of the Applicant](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2579 granting a two-year extension of time for PPM2019-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

PUBLIC HEARINGS

4. [21-0897](#) GPA2021-0001: General Plan Housing Element Update for Planning

Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. (Applicant: City of Corona)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2578](#)

[Exhibit 2 - Housing Element Update Draft 2021-2029](#)

[Exhibit 3- Housing Programs Revised Redlined Version](#)

[Exhibit 4 - General Plan EIR Addendum](#)

Joanne Coletta, Director, reviewed her staff report and exhibits for GPA2021-0001. She indicated that there is no significant change in the Draft Housing Element from what was presented in June. Ms. Coletta discussed the RHNA obligation and proposed locations for housing, including revisions to meet HCD and State requirements, which required staff to change from two to one housing overlay, and revisions to densities. She clarified the timeline for Housing Element approval and rezoning of housing sites, and stressed the tight timeline mandated by the State. Discussion ensued with City staff and the Commissioners regarding the timeline to meet the Housing and Community Development criteria and the Affordable Housing Overlay Zone sites. Vice-Chairman Alexander expressed concern with having additional housing to meet a buffer requirement suggested by HCD, expressing that she thinks we should just meet the minimum mandate.

Speakers Juan Munoz and Julio Flores, members of the Southwest Regional Council of Carpenters, commented that the City should require locally skilled trade work force. Joe Morgan, resident, commented on mobile home parks.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environment Impact Report (SCH#2018081039) and approval of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029. The motion carried by the following vote:

Aye: 2 - Commissioner Meza, and Commissioner Sherman

Nay: 1 - Vice Chair Alexander

5. [21-0862](#) PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Haupt of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Locational and Zoning Map](#)[Exhibit 2.A - Parcel Map](#)[Exhibit 2.B - Conditions of Approval](#)[Exhibit 2.C - Site Plan](#)[Exhibit 2.D - Applicant's letter dated October 7, 2020](#)[Exhibit 3 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for PM 37221, as well as the subsequent agenda item, PP2020-0006. Discussion ensued between City staff, the Commissioners and Applicant Griffin Hauptert regarding the probability of the center having retail uses. Vice Chair Alexander and Commissioner Meza shared their support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission recommend adopting the Mitigated Negative Declaration and Mitigated Plan and approval of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

6. [21-0861](#) PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2575](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Site Plan](#)[Exhibit 3.B - Conditions of Approval](#)[Exhibit 3.C - Parcel Map](#)[Exhibit 3.D - Grading Plan](#)[Exhibit 3.E - Elevations for Building 1](#)[Exhibit 3.F - Elevations for Building 2](#)[Exhibit 3.G - Floor Plan](#)[Exhibit 3.H - Signage](#)[Exhibit 3.I - Conceptual Landscape Plan](#)[Exhibit 3.J - Applicant's letter dated October 7, 2021](#)[Exhibit 4 - Environmental Documentation](#)

A staff report and discussion of this item was provided with the preceding agenda item, PM 37221, which is related to the project and is being processed concurrently.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 approving PP2020-0006 based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

7. [21-0905](#) V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. (Applicant: Ralph Cervantes of Pettit Engineering)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2577](#)

[Exhibit 2- Locational & Zoning Map](#)

[Exhibit 3.A - Site Plan & Patio Details](#)

[Exhibit 3.B - Conditions of Approval](#)

[Exhibit 3.C - Photographs of the site and vicinity](#)

[Exhibit 3.D - Applicant's letter dated September 20, 2021](#)

[Exhibit 4 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for V2021-0001. Vice Chair Alexander shared her support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2577 granting V2021-0001, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

WRITTEN COMMUNICATIONS

None.

ADMINISTRATIVE REPORTS

None.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

ADJOURNMENT

Vice Chair Alexander adjourned the meeting at 7:16 p.m. to the Planning and Housing Commission meeting of Monday, October 25, 2021, commencing at 6:00 p.m. in the City Hall Council Chambers.



Staff Report

File #: 21-0965

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Planning & Development Department

SUBJECT:

Precise Plan 2020-0006 is the review of two professional medical office buildings totaling 21,400 square feet on two acres, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

EXECUTIVE SUMMARY:

Precise Plan 2020-0006 (PP2020-0006) is an application by Griffco Land, LLC. for the review of the site plan and architecture of two professional medical office buildings totaling 21,400 square feet on two acres. The project site is located in the Dos Lagos Specific Plan which accommodates mixed land uses that include residential, commercial retail, entertainment, and offices. The Entertainment Commercial zone allows office, and the proposal adheres to the development standards adopted by the specific plan.

RECOMMENDED ACTION:

That the City Council:

- a. Take no action, thereby affirming the Planning and Housing Commission's action granting PP2020-0006, based on the findings contained in the staff report and conditions of approval.

OR

- b. Set the item for review at a subsequent meeting.

BACKGROUND & HISTORY:

The project site is vacant with a parking lot located on the westerly portion of the site. Development of the site is imminent per the Dos Lagos Specific Plan due to the Entertainment Commercial zone. The Dos Lagos Specific Plan has been developed in several phases throughout the years. This site is one of the few remaining parcels within the Plan that has yet to be developed.

The project site is located on the north end of The Shops at Dos Lagos shopping center at the southwest corner of Temescal Canyon Road and Pronio Circle. It is bordered by a manmade lake ("Dos Lagos lakes") to the west and a restaurant parking lot to the south. To the north are live/work units, separated from the project site by Pronio Drive. To the west are residential units, located on the other side of Temescal Canyon Road.

ANALYSIS:

Building 1 is two stories and has a total floor area of 17,164 square feet. Building 2 is 4,236 square feet and one story. The placement of the buildings and overall layout comply with the minimum building setback requirements of the Dos Lagos Specific Plan's EC zone.

The Dos Lagos Specific Plan establishes "Eclectic Mediterranean" as the underlying architectural theme for all developments within the specific plan area. However, the Specific Plan offers flexibility to developments that are located along the perimeters of the Dos Lagos lakes, provided that the architecture is reviewed through the precise plan process. The proposed project is located adjacent to the lake.

Building 1 features brick veneer with stone panels on the exterior. Building 2 proposes the same brick stone veneer material with plaster walls. Both buildings have tinted glass windows with aluminum canopies. The buildings' colors and materials are traditional, and they are compatible with the surrounding residential and commercial buildings. Both buildings are below the Specific Plan's 60-foot height limit, and all rooftop mechanical equipment will be screened by parapet walls to ensure they are not visible from streets, parking lots, or the ground level of adjacent properties.

The two buildings share parking through a reciprocal easement, and the parking lot meets with minimum requirements of Corona Municipal Code (CMC) Chapter 17.76 - Off Street Parking.

TABLE A
Parking Requirement

Building	Building Square Footage	Parking Ratio	Parking Required	Parking Provided
1	17,164	1 parking space/200 square feet of building area	86	--
2	4,236	1 parking space/200 square feet of building area	21	--
		Total	107	107

On-site circulation consists of a 30-foot wide main drive aisle located between the proposed buildings. The drive aisle connects to an existing driveway on Pronio Circle to the north, and to an existing parking lot at the adjacent Dos Logos shopping center to the south. The Dos Logos shopping Center has multiple entrances along Temescal Canyon Road.

Temescal Canyon Road is classified by the General Plan as a major arterial, and Pronio Circle is classified as a local street. Both roadways are capable of handling the traffic associated with the

proposal. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, landscaped parkway, and sidewalk. No additional widening is required for this portion of Temescal Canyon Road. The portion of Pronio Circle adjacent to the site is improved with curb and gutter, but it has a missing sidewalk where Building 2 is proposed. The applicant is required to construct the missing sidewalk.

FINANCIAL IMPACT:

The applicant paid the application processing fees of \$16,243 to cover the cost of the Precise Plan.

ENVIRONMENTAL ANALYSIS:

Per Section 15070 of the State Guidelines for Implementing the California Quality Act (CEQA) and Section 6.02 of the City's Local CEQA Guidelines, a Mitigated Negative Declaration was prepared for the project. The Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant effect on the environment.

PLANNING AND HOUSING COMMISSION ACTION:

At its meeting of October 11, 2021, the Planning and Housing Commission considered the subject matter and took the following action:

Motion was made, seconded (Meza/Sherman) and carried unanimously, that the Planning and Housing Commission adopt Resolution No. 2575 granting PP2020-0006, based on the findings contained in the staff report and conditions of approval. The minutes of the Planning and Housing Commission meeting are included as Exhibit 4.

PREPARED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

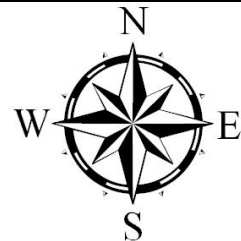
Attachments:

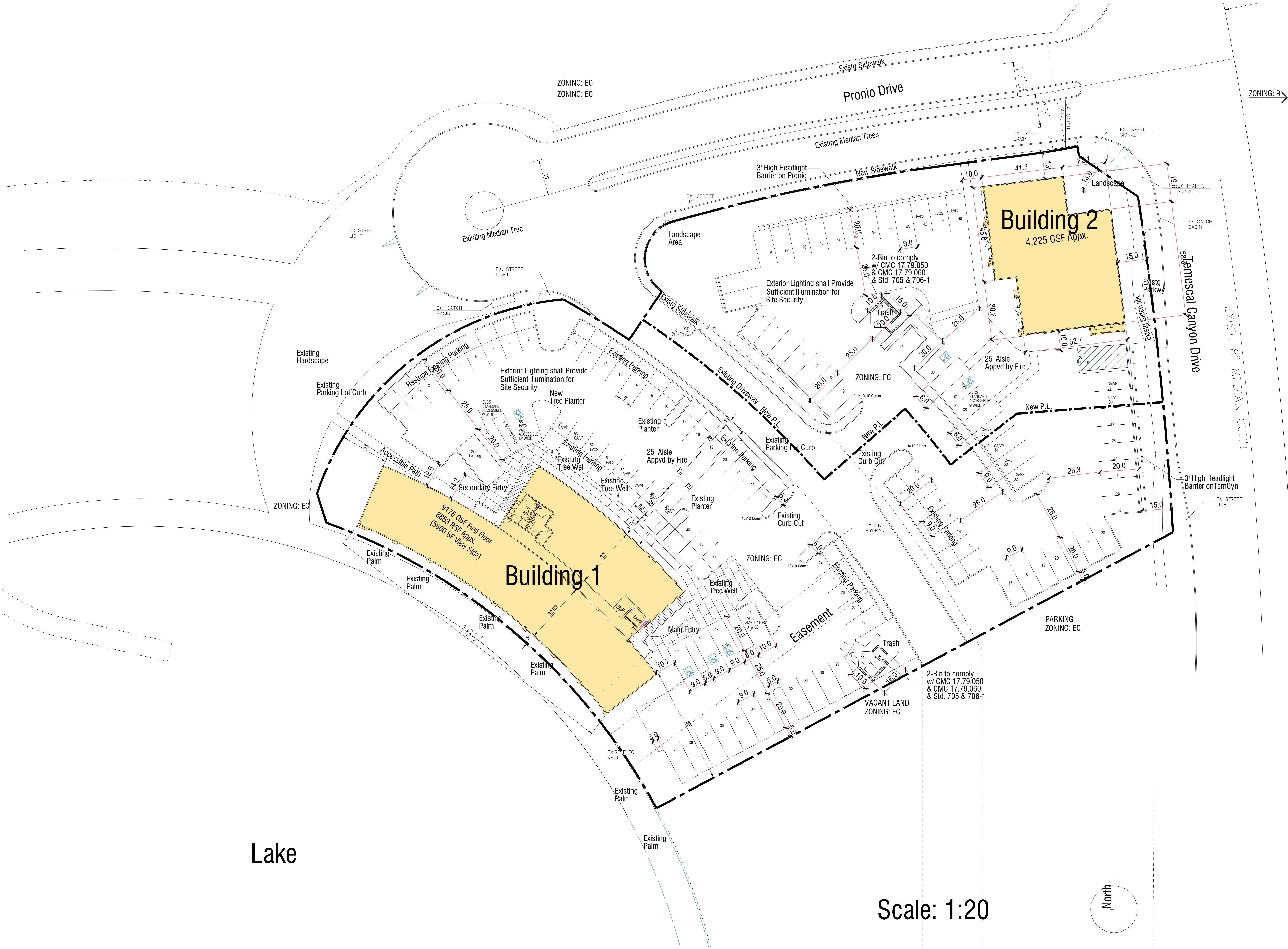
1. Exhibit 1 - Locational and zoning map
2. Exhibit 2 - Site plan for PP2020-0006
3. Exhibit 3 - Planning and Housing Commission staff report
4. Exhibit 4 - Draft minutes of the Planning and Housing Commission meeting of October 11, 2021

AERIAL & LOCATIONAL MAP



PM 37221 (PM2020-0003) &
PP2020-0006
Pronio Circle & Temescal
Canyon Road





REXCO DOS LAGOS COMMERCIAL CENTER

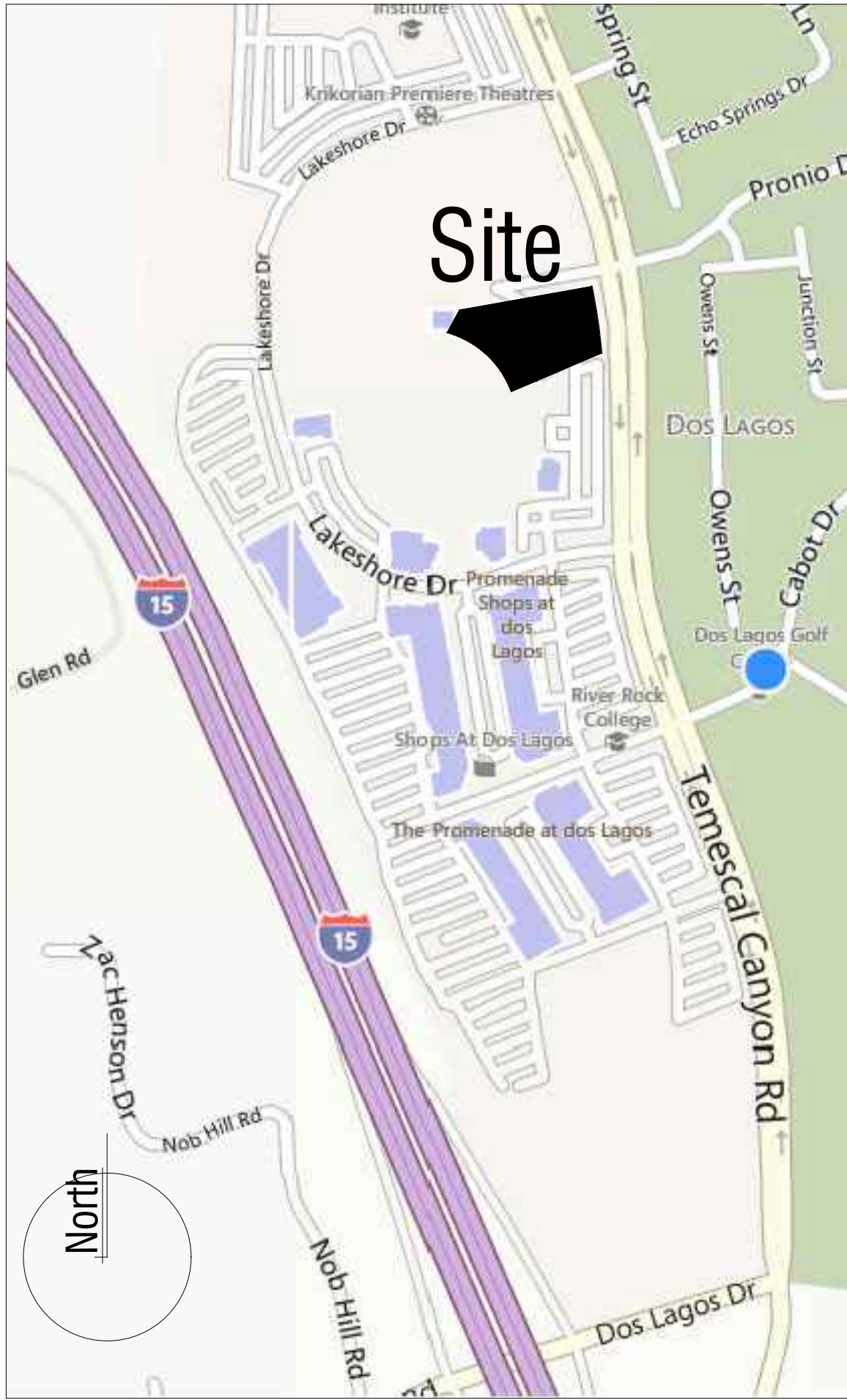
Proposer:
REXCO Development, Inc.
1285 Corona Pointe Court, Suite 102, Corona, CA 92879
Mr. Pat Tritz / Mr. Griffin Haupt - 951.898.1502

Architect/Planner:
William Hezmalhalch Architects, Inc.
680 Newport Center Dr., Ste. 300
Newport Beach, CA 92660
Mr. Ron Nestor, AIA - 949.250.0607

Site Data:
Legal Description: Lot 11 of Tract Map 32528 recorded in Book 387 of maps, pages 69-80, inclusive
Site Address: undetermined
APN: 279-460-023
Zoning: Dos Lagos Specific Plan -EC Entertainment Comm'l
General Plan: MU1
Area: 89,968.4 SF or 2.06 Acres
Coverage: 13,518 SF or 15.0%

Proposed:
Lakeside Office Bldg 1: 17,164 SF Type V-A 2-story
Building Hgt: 30' to Max. Parapet
Landscape Area: 8,052 SF
Corner Commercial Bldg 2: 4,236 SF Type V-A 1-sty
Building Hgt: 19' to Max. Parapet
Landscape Area: 11,129 SF
Total, Appx.: 21,400 SF -- Floor Area Ratio = 0.24 FAR
Total Landscape Area: 19,181 SF (21.3% of site)
Parking Req'd: 21,400 @ 5:1000 = 107 Spaces
Parking Prov'd: 56+51 = 107 Spaces
Loading Spaces Req'd: 2 Provided: 2
Trash - 2 locations, 2 bins each per Std. 705 & 706-1
All Wall or Monument Signs facing Residential must be externally illuminated

Vicinity Map



SITE PLAN

ARCHITECTS . PLANNERS . DESIGNERS

WHA.
EXHIBIT 2
ORANGE COUNTY . LOS ANGELES . BAY AREA



Staff Report

File #: 21-0861

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC., 2518 N. Santiago Blvd., Orange, CA 92867)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 APPROVING PP2020-0006 based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY:

Area of Property: 2.065 acres

Existing Zoning: EC (Entertainment Commercial) of SP99-03

Existing General Plan: MU1 (Mixed Use Commercial/Residential)

Existing Land Use: Vacant

Proposed Land Use: Commercial Development

Surrounding Land Uses and Zoning:

N: Live/Work units in the EC (Entertainment Commercial) designation of SP99-03

E: Residential developments in the R (Residential) designation of SP99-03

S: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

W: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

BACKGROUND

Precise Plan 2020-0006 is a proposal to develop two professional medical buildings on a two-acre parcel located at the southwest corner of Temescal Canyon Road and Pronio Circle. The subject site is within the Dos Lagos Specific Plan and zoned Entertainment Commercial (EC), which permits medical offices by right.

The subject property is located on the north end of The Shops at Dos Lagos shopping center (Exhibit 2), at the southwest corner of Temescal Canyon Road and Pronio Circle. It is bordered by a manmade lake ("Dos Lagos lakes") to the west and a restaurant parking lot to the south. To the north are live/work units, separated from the project site by Pronio Drive. To the west are residential units, located on the other side of Temescal Canyon Road. Presently the property is partially developed with a parking lot.

The project is associated with Parcel Map 37221, an application to subdivide the property into two parcels. PM 37221 will provide each of the proposed office buildings with its own property. Parcel Map 37221 is being reviewed concurrently with PP2020-0006.

The project was preliminarily reviewed by staff on April 9, 2020 (DPR2020-0004). The applicant formally submitted the parcel map and precise plan applications on October 6, 2020. The applications were reviewed by the Project and Environmental Review Committee on October 29, 2020. The applications were determined incomplete; and staff provided the applicant a letter outlining missing items. The applicant subsequently submitted missing information on January 29, 2021 and July 21, 2021. The applications were deemed complete on September 1, 2021.

PROJECT DESCRIPTION

Site Plan

Attached as Exhibit 3.A is the applicant's site plan. Building 1 is located at the property's west perimeter, near the lakes. Building 1 is two stories and has a total floor area of 17,164 square feet. Building 2 is located at the northeast corner of the property, near the intersection of Pronio Circle and Temescal Canyon Road. Building 2 is 4,236 square feet and one story. The placement of the buildings and overall layout comply with the minimum building setback requirements of the Dos Lagos Specific Plan's EC zone.

Each building is proposed within its own parcel, as proposed by Parcel Map 37221. The parcel proposed for Building 1 is 59,125 square feet; and the parcel for Building 2 is 30,844 square feet. A copy of the proposed parcel map is attached for reference (Exhibit 3.C).

Parking spaces and a central drive aisle is located between the buildings, and will provide vehicular access to each parcel. A trash enclosure for each of the two parcels is proposed in the parking lot.

The property's existing grade is approximately four (4) feet higher than the street grade on Temescal Canyon Road. This grade difference requires the construction of an approximately 5-foot-high retaining wall along the property's east perimeter. Retaining walls ranging of one (1) foot to four (4) feet in height are proposed in the Pronio Circle setback to accommodate an ADA walkway. All retaining walls will be constructed of decorative masonry.

Architecture and Floor Plans

The Dos Lagos Specific Plan establishes "Eclectic Mediterranean" as the underlying architectural theme for all developments within the specific plan area. However, the Specific Plan offers flexibility

to developments that are located along the perimeters of the Dos Lagos lakes, provided that the architecture is reviewed through the precise plan process. The proposed project is located adjacent to the lake.

Exhibits 3.E and 3.F illustrate the buildings' design. Building 1 features brick veneer with stone panels on the exterior. Building 2 proposes the same brick stone veneer material with plaster walls. Both buildings have tinted glass windows with aluminum canopies. The buildings' colors and materials are traditional, and are compatible with the surrounding residential and commercial buildings. Both buildings are below the Specific Plan's 60-foot height limit, and all rooftop mechanical equipment will be screened by parapet walls to ensure they are not visible from streets, parking lots or the ground level of adjacent properties.

The floor plans are shown in Exhibit 3.G. Limited details are provided at this time, as the applicant has not yet identified tenants. It is anticipated that the applicant will separate the interior floor space into separate suites. Individual tenant improvements be reviewed by staff when building permits are submitted.

Parking

Exhibit 3.A depicts the project's parking. The two buildings share parking through a reciprocal easement, and the parking lot meets with minimum requirements of Corona Municipal Code (CMC) Chapter 17.76 - Off Street Parking.

TABLE A
Parking Requirement

Building	Building Square Footage	Parking Ratio	Parking Required	Parking Provided
1	17,164	1 parking space/200 square feet of building area	86	--
2	4,236	1 parking space/200 square feet of building area	21	--
		Total	107	107

Access, Circulation and Public Improvements

On-site circulation consists of a 30-foot wide main drive aisle located between the proposed buildings. The drive aisle connects to an existing driveway on Pronio Circle to the north, and to an existing parking lot at the adjacent Dos Logos shopping center to the south. The Dos Logos shopping Center has multiple entrances along Temescal Canyon Road.

Temescal Canyon Road is classified by the General Plan as a major arterial; and Pronio Circle is classified as a local street. Both roadways are capable of handling the traffic associated with the proposal. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, landscaped parkway and sidewalk. No additional widening is required for this portion of Temescal Canyon Road. The portion of Pronio Circle adjacent to the site is improved with curb and gutter, but has a missing sidewalk where Building 2 is proposed. The applicant is

required to construct the missing sidewalk.

Landscaping

Exhibit 3.I depicts the project's conceptual landscape plan. The plan proposes seven different types of trees, with planting sizes ranging from 24 to 48 inch boxes. The trees will be planted around the perimeters of the project and throughout the parking lot to provide shade for vehicles. Screen shrubs will be provided between the parking lots and adjacent streets to buffer headlights. All landscape areas will conform to the City of Corona Landscape Guidelines and the Landscape Ordinance, which is codified under Chapter 17.70 of the CMC.

Signage

Per the Specific Plan, a commercial center under 20 acres in size is limited to no more than one project identification sign (i.e., monument or pylon sign) per street frontage. Exhibit 3.H illustrates the proposed sign program for the development. An 8-foot-high multi-tenant monument sign is proposed at the Pronio Circle entrance. The sign is designed to advertise four tenant names; however, the Specific Plan limits the number of tenant names on a monument sign to no more than three tenants. Condition 15 in the Conditions of Approval (Exhibit 3.B) require the monument sign to be revised to comply with the Specific Plan.

A second 5-foot-high multi-tenant monument sign is proposed at the corner of Temescal Canyon Road and Pronio Circle. This location is considered the Temescal Canyon frontage for signage purposes. The sign is designed to advertise three tenant names.

The proposed signage complies with the Specific Plan's sign development standards in terms of placement, height, and maximum allowable sign area. The signs have burgundy tenant panels which are supported by a dark brown colored post on one side, and a black latticed post on the other. The materials and colors of the monument signs complement the earth-toned brick and plaster of the proposed office buildings. Although the project is located adjacent to The Lakes at Dos Logos shopping center, the project is not part of the center, and therefore does not need to comply with or otherwise match the center's sign program.

ENVIRONMENTAL ANALYSIS

Per Section 15070 of the State Guidelines for Implementing the California Quality Act (CEQA) and Section 6.02 of the City's Local CEQA Guidelines, a Mitigated Negative Declaration was prepared for the project. The Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant effect on the environment (Exhibit 4).

FISCAL IMPACT:

The applicant paid the application processing fees to cover the cost of the precise plan review as required by City resolution. There is no fiscal impact to the city.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

The existing land uses that surround the project site consist of commercial retail and recreational uses. The live/work units that are located across the street from the project site are non-traditional residential units that incorporate professional workspace. The proposed office project is a passive land use that would not generate noise or undesirable activities beyond normal parking activities. The project is designed with the less-imposing one-story building placed closer to the live/work units and Temescal Canyon Road, while the two-story building is placed at the back of the property. The building height and layout result in a project that fits the scale of the neighboring developments. The offices will attract tenants and patrons to the area who will likely utilize the nearby restaurants and retail shops. Therefore, the project is not only appropriate for the site and surrounding area, but also supports the businesses in the area.

Office uses are permitted by right in the Dos Lagos Specific Plan's Entertainment Commercial (EC) zone. The Specific Plan envisioned the EC zone as having various types of active and passive uses set within a pedestrian oriented environment. Office uses complement the Specific Plan's vision, as they are within walkable distance of the lakes, the shopping center, and nearby residential developments.

The project as designed and conditioned meets all applicable development standards pertaining to building setbacks, parking, landscaping, and signage. The project has adequate vehicular access from the adjacent streets. The architecture for the buildings includes materials and colors that are compatible with the surrounding developments. Although the Specific Plan does not require developments that are located lakeside to the Dos Lagos lakes to comply with the Specific Plan's adopted Eclectic Mediterranean theme, the buildings include comparable elements in terms of colors and materials. This allows the buildings to fit in with the character of the area while maintaining a unique identity.

The project has been analyzed pursuant to the California Environmental Quality Act (CEQA). A Mitigated Negative Declaration is proposed for adoption, as all potential environmental impacts associated with the project are capable of being mitigated to less than significant.

The Planning Division recommends approval of PP2020-0006 based on the findings listed below and staff's recommended conditions of approval (Exhibit 3.B).

FINDINGS OF APPROVAL FOR PP2020-0006

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially

significant effects on the environment, but:

- a. The project applicant has agreed to revise the project to avoid these significant effect, or to mitigate the impacts so that no significant effects would occur, as reflected in the Conditions of Approval attached as Exhibit 3.B.*
 - b. As revised or mitigated, there is no substantial evidence before the City that the revised project may have a significant effect.*
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code exist in reference to PP2020-0006 for the following reasons:
 - a. The proposal is consistent with the MU1 (Mixed Use 1) land use designation of the General Plan because this land use permits neighborhood serving commercial and office uses.*
 - b. The proposal complies with the EC (Entertainment Commercial) zone within the Dos Lagos Specific Plan (SP99-03) because office uses are permitted by right, and the site plan has been designed in accordance with the development standards imposed by the EC zone.*
 - c. The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As described in Finding #1, the project is being mitigated to a level of impact that is less than significant.*
 - d. The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as shown in Exhibits 3.A through 3.I of this report.*
 - e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the subject property. The building height and layout of the buildings fit the scale of the neighboring developments. Furthermore, the adjacent roadways are capable of handling the traffic volume attributed to the project, and all missing public improvements will be constructed or guaranteed with this project.*
 - f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood, and is compatible with existing developments in the area because the architectural design of the project incorporates colors and material complementary to the Eclectic Mediterranean architectural style, which is the architectural theme established by the Dos Lagos Specific Plan for new developments. This results in a development site that is harmonious, orderly and attractive to the area.*
 - g. As demonstrated by the project's architectural and landscape plans, the design of the proposed development will provide a desirable environment for its occupants, the visiting public, and neighbors through the use of materials, texture, and color that are aesthetically appealing and durable.*

3. The proposal is consistent with the General Plan for the following reasons:
- a. The proposed office project implements the General Plan's Mixed Use 1 designation, which allows standalone commercial and office buildings.*
 - b. The project has a Floor Area Ratio (FAR) of 0.24, which does not exceed the General Plan's maximum FAR limit of 2.0 established for the Mixed Use 1 designation.*
 - c. General Plan Policy LU-13.1 encourages the accommodation of mixed-use projects that integrate housing with retail, office, and other uses within the same structure or on the same site, or the development of the property exclusively for commercial and office uses in accordance with the land use plan's designations and applicable density standards and design and development policies. While the project itself is not a mixed-use development, the project is located in an environment surrounded by a mix of uses, including a retail shopping center, publicly accessible lakes and residential dwellings. The proposed project meets the intent of Land Use Policy 13.1.*
4. The proposal is consistent with the intent and objectives of the Dos Lagos Specific Plan (SP99-03) for the following reasons:
- a. The proposed office project is designed per the development standards of the Dos Lagos Specific Plan, as shown by Exhibits 3.A through 3.J.*
 - b. Per Section 3.4.3 of the Dos Lagos Specific Plan, the environmental setting of Planning Area 3 is intended to be a pedestrian-oriented lakeside village environment with various land uses, including restaurants, theaters, shops, hotels, venues, cafes, residential apartments and condominium, and professional offices. The office project meets the intent of Planning Area 3 and contributes to the completion of this planning area.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

- 1. Resolution No. 2575
- 2. Locational and Zoning Map
- 3.A - Site Plan
- 3.B - Conditions of Approval
- 3.C - Parcel Map
- 3.D - Grading Plan
- 3.E - Elevations for Building 1
- 3.F - Elevations for Building 2
- 3.G - Floor Plans

- 3.H - Signage
- 3.I - Conceptual Landscape Plan
- 3.J - Applicant's letter dated October 7, 2020
- 4. Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2575

APPLICATION NUMBER: PP2020-0006

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN FOR THE REVIEW OF TWO PROFESSIONAL MEDICAL OFFICE BUILDINGS TOTALING 21,400 SQUARE FEET, LOCATED AT THE SOUTHWEST CORNER OF TEMESCAL CANYON ROAD AND PRONIO CIRCLE IN THE ENTERTAINMENT COMMERCIAL (EC) DESIGNATION OF THE DOS LAGOS SPECIFIC PLAN (SP99-03), AND CONSIDERATION OF A MITIGATED NEGATIVE DECLARATION REGARDING POTENTIAL ENVIRONMENTAL IMPACTS ASSOCIATED WITH THE PROPOSED PROJECT. (APPLICANT: GRIFFIN HAUPERT OF GRIFFCO LAND, LLC.)

WHEREAS, the application to the City of Corona, California, for a Precise Plan under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03), and consideration of a Mitigated Negative Declaration regarding potential environmental impacts associated with the proposed project.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PP2020-0006 on October 11, 2021, as required by law; and

WHEREAS, at the conclusion of the hearing the Planning and Housing Commission, pursuant to CEQA Guidelines Section 15070, adopted the Mitigated Negative Declaration prepared for PP2020-0006, because the information contained in the MND, the initial study and the administrative records for this project, including all written and oral evidence provided during the comment period and presented to the Planning and Housing Commission, the Commission finds that potential environmental impacts of this project are either no impact or less-than-significant.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan as set forth in Corona Municipal Code Section 17.91.070 do exist in reference to PP2020-0006, based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the PP2020-0006 on certain conditions of approval and the findings set forth below, and adoption of the MND.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this PP2020-0006, the Planning and Housing Commission has reviewed and considered the information contained in the MND, the initial study and the administrative records for this Precise Plan, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the MND, the initial study and the administrative record, including all written and oral evidence presented to the Planning and Housing Commission, the Commission finds that potential environmental impacts of this PP2020-0006 are either no impact or less-than-significant.

SECTION 2. Precise Plan Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.070 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially significant effects on the environment, but:
 - a. *The project applicant has agreed to revise the project to avoid significant effect, or to mitigate the impacts so that no significant effects would occur, as reflected in the Conditions of Approval attached to the staff report as Exhibit 3.B.*
 - b. *As revised or mitigated, there is no substantial evidence before the City that the revised project may have a significant effect.*
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code exist in reference to PP2020-0006 for the following reasons:
 - a. *The proposal is consistent with the MUI (Mixed Use 1) land use designation of the General Plan because the land use designation permits neighborhood serving commercial and office uses.*
 - b. *The proposal complies with the EC (Entertainment Commercial) zone within the Dos Lagos Specific Plan (SP99-03), because office uses are permitted by right, and the*

site plan has been designed in accordance with the development standards imposed by the EC zone.

- c. The proposal has been reviewed in compliance with the California Environmental Quality Act (CEAQ) and all applicable requirements and procedures of the act have been followed. As described in Finding #1, the project is being mitigated to a level of impact that is less than significant.*
- d. The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as shown in Exhibits 3.A through 3.I of this report.*
- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the subject property. The building height and layout of the buildings fit the scale of the neighboring developments. Furthermore, the adjacent roadways are capable of handling the traffic volume attributed to the project, and all missing public improvements will be constructed or guaranteed with this project.*
- f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood, and is compatible with existing developments in the area because the architectural design of the project incorporates colors and material complementary to the Eclectic Mediterranean architectural style, which is the architectural theme established by the Dos Lagos Specific Plan for new developments. This results in a development site that is harmonious, orderly and attractive to the area.*
- g. As demonstrated by the project's architectural and landscape plans, the design of the proposed development will provide a desirable environment for its occupants, the visiting public, and neighbors through the use of materials, texture, and color that are aesthetically appealing and durable.*

3. The proposal is consistent with the General Plan for the following reasons:

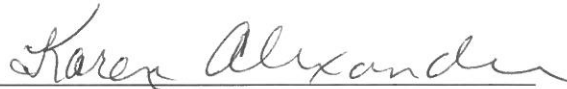
- a. The proposed office project implements the General Plan's Mixed Use 1 designation, which allows standalone commercial and office buildings.*
- b. The project has a Floor Area Ratio (FAR) of 0.24, which does not exceed the General Plan's maximum FAR limit of 2.0 established for the Mixed Use 1 designation.*
- c. General Plan Policy LU-13.1 encourages the accommodation of mixed-use projects that integrate housing with retail, office, and other uses within the same structure or on the same site, or the development of the property exclusively for commercial and office uses in accordance with the land use plan's designations and applicable density standards and design and development policies. While the project itself is not a mixed-use development, the project is located in an environment surrounded by a mix of uses, including a retail shopping center, publicly accessible lakes and residential dwellings. The proposed project meets the intent of Land Use Policy 13.1.*

4. The proposal is consistent with the intent and objectives of the Dos Lagos Specific Plan (SP99-03) for the following reasons:

- a. The proposed office project is designed per the development standards of the Dos Lagos Specific Plan, as shown by Exhibits 3.A through 3.J.*
- b. Per Section 3.4.3 of the Dos Lagos Specific Plan, the environmental setting of Planning Area 3 is intended to be a pedestrian-oriented lakeside village environment with various land uses, including restaurants, theaters, shops, hotels, venues, cafes, residential apartments and condominium, and professional offices. The office project meets the intent of Planning Area 3 and contributes to the completion of this planning area.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan.

Adopted this 11th day of October, 2021.



Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES: Alexander, Meza & Sherman

NOES: None

ABSENT: Siqueland & Woody

ABSTAINED: None

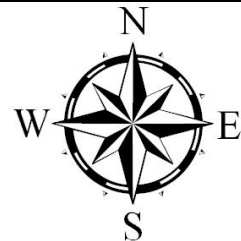


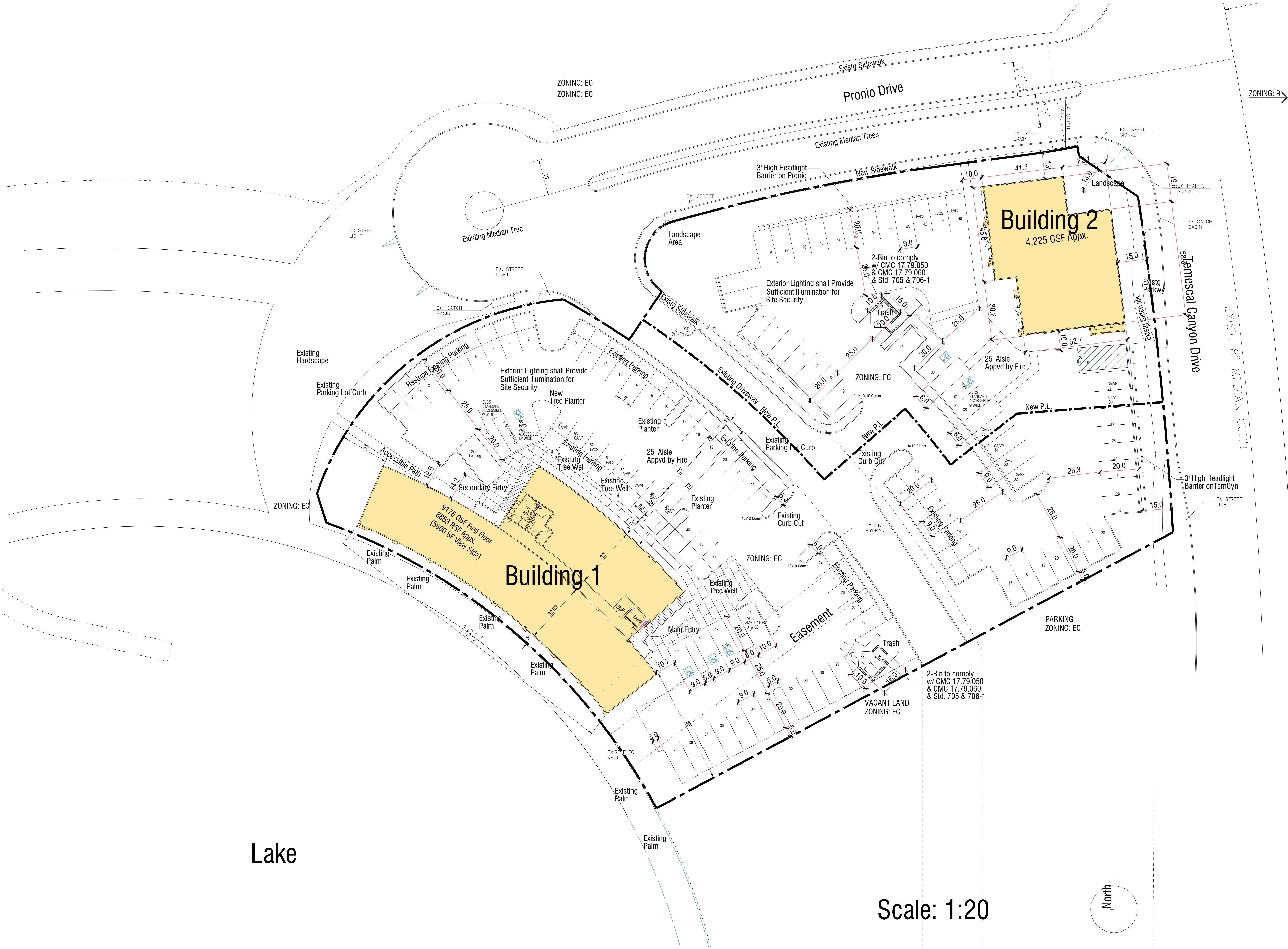
Stella West
Secretary, Planning and Housing Commission
City of Corona, California

AERIAL & LOCATIONAL MAP



PM 37221 (PM2020-0003) &
PP2020-0006
Pronio Circle & Temescal
Canyon Road





REXCO DOS LAGOS COMMERCIAL CENTER

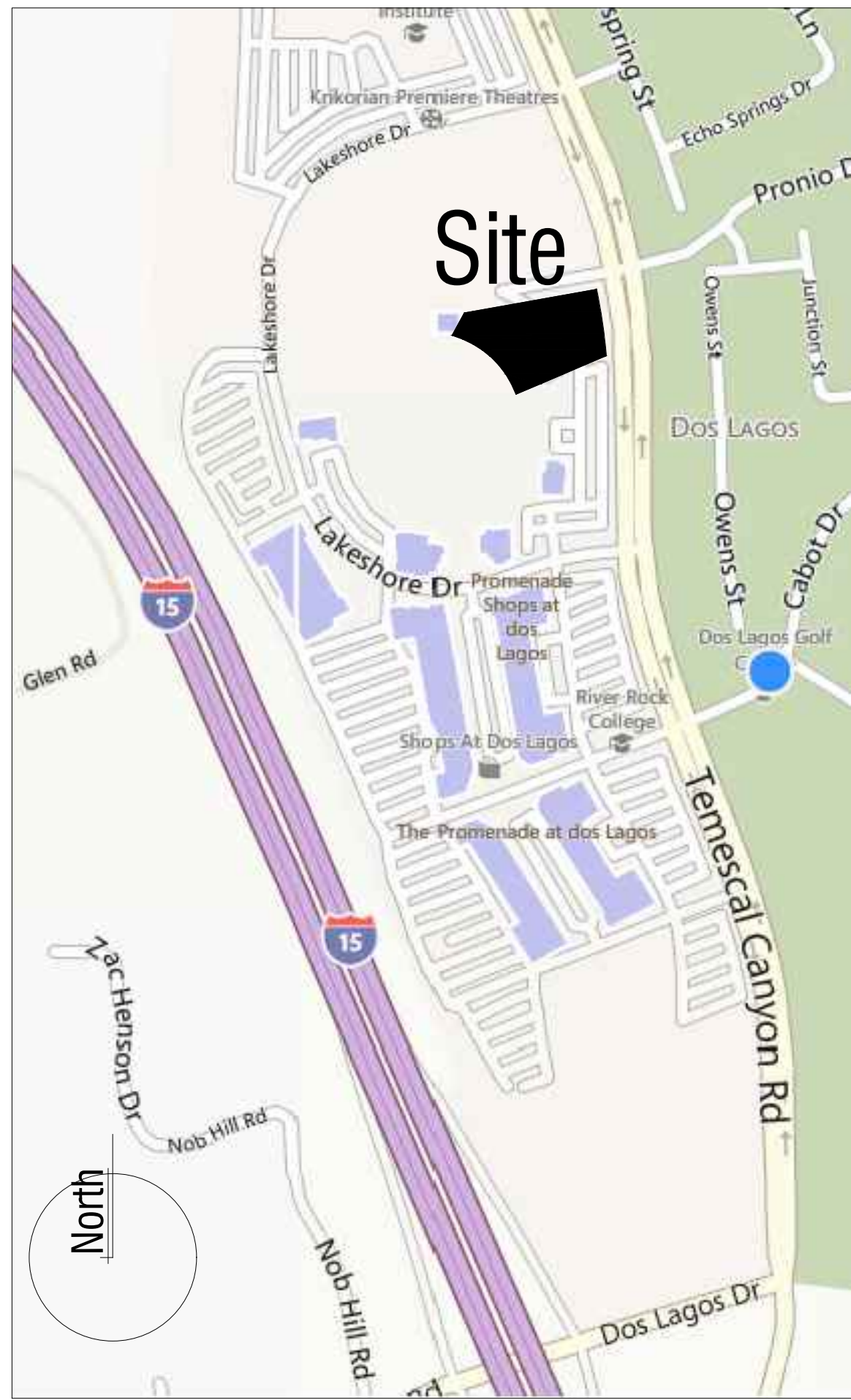
Proposer:
REXCO Development, Inc.
1285 Corona Pointe Court, Suite 102, Corona, CA 92879
Mr. Pat Tritz / Mr. Griffin Haupt - 951.898.1502

Architect/Planner:
William Hezmalhalch Architects, Inc.
680 Newport Center Dr., Ste. 300
Newport Beach, CA 92660
Mr. Ron Nestor, AIA - 949.250.0607

Site Data:
Legal Description: Lot 11 of Tract Map 32528 recorded in Book 387 of maps, pages 69-80, inclusive
Site Address: undetermined
APN: 279-460-023
Zoning: Dos Lagos Specific Plan -EC Entertainment Comm'l
General Plan: MU1
Area: 89,968.4 SF or 2.06 Acres
Coverage: 13,518 SF or 15.0%

Proposed:
Lakeside Office Bldg 1: 17,164 SF Type V-A 2-story
Building Hgt: 30' to Max. Parapet
Landscape Area: 8,052 SF
Corner Commercial Bldg 2: 4,236 SF Type V-A 1-sty
Building Hgt: 19' to Max. Parapet
Landscape Area: 11,129 SF
Total, Appx.: 21,400 SF -- Floor Area Ratio = 0.24 FAR
Total Landscape Area: 19,181 SF (21.3% of site)
Parking Req'd: 21,400 @ 5:1000 = 107 Spaces
Parking Prov'd: 56+51 = 107 Spaces
Loading Spaces Req'd: 2 Provided: 2
Trash - 2 locations, 2 bins each per Std. 705 & 706-1
All Wall or Monument Signs facing Residential must be externally illuminated

Vicinity Map



SITE PLAN

ARCHITECTS . PLANNERS . DESIGNERS

WHA.
EXHIBIT 3.A
ORANGE COUNTY . LOS ANGELES . BAY AREA



Project Conditions

City of Corona

Project Number: PP2020-0006

Description: 17,164 SQ FT & 4,236 SQ FT COMMERCIAL/OFFICE BUILDINGS

Applied: 10/6/2020

Approved:

Site Address: TEMESCAL CYN & PRONIO CORONA, CA 0

Closed:

Expired:

Status: COMPLETE

Applicant: GRIFFCO LAND LLC

Parent Project: DPR2020-0004

2518 N. SANTIAGO BLVD ORANGE CA, 92867

Details: (1) 17,164 SQUARE FOOT OFFICE BUILDING AND (1) 4,236 SQUARE FOOT COMMERCIAL BUILDING ON 2.06 ACRES.

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	Dana Andrews
<ol style="list-style-type: none">BUILDING DEPARTMENT CONDITIONSAt time of plan submittal, construction documents shall be prepared in accordance with current applicable Codes & Standards (2019 Codes). Provide current list of applicable Codes & Standards. Provide full Scope of Work.Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.Roofing material shall be Class A.Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.Upon tenant improvement plan check submittal there may be additional Building Department requirements.Separate Permits are Required for all Walls, Fences, Paving, Signage, Solar PV Systems & Trash Enclosures. Identify all items to be installed Under Separate Permits for the project on front of plans.Comply with the Corona Burglary Ordinance # 15.52; see Corona Municipal Code @ https://codelibrary.amlegal.com/codes/corona/latest/overview)All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.Provide the minimum number of EV, clean air, and carpool/vanpool parking spaces; minimum shade trees, bicycle parking and other site facilities as required by the California Green Building Standards Code.An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.	



Project Conditions

City of Corona

BUILDING	Dana Andrews
	<p>15. Trash and recycling enclosures shall be accessible per CBC chapter 11B and meet Public Works Department minimum dimensions for the City's waste hauler. Contact William Carasco (DWP-Waste Management) @ 951-279-3598 to confirm requirements for Commercial applications. Provide enlarged plans and details for construction of trash/recycling enclosures</p> <p>16. All fees, including but not limited to, occupancy fees, property development tax, and school fees must be paid in full prior to issuance of building permits. Any development impact fees that apply to the project must be paid in full prior to NIC or CofO issuance.</p> <p>17. Provide list of Deferred Submittals for the project. Deferred Submittals shall be submitted to Building Dept for Review & Approval before beginning installation.</p> <p>18. Provide List of Required Special Inspections Per 2019 CBC Section 1705 & Required Structural Observations for the project.</p> <p>19. This Project requires a Pre-Construction Meeting with your Building Inspector. Prior to requesting any inspections, contact the Building Inspection Supervisor at 951-736-2250 to determine the inspector assigned to the project and to schedule your pre-construction meeting.</p>
FIRE	Cindi Schmitz
	<p>1. FIRE DEPARTMENT CONDITIONS</p> <p>2. Place Fire Department DPR comments on plans as general notes.</p> <p>3. Any revised site plan shall be submitted to the Fire Department for screen check approval prior to building plan submittal.</p> <p>4. Plans shall show a minimum drive width of 28 feet.</p> <p>5. Show two (2) all weather surface access ways to be approved by the Fire Marshal and construct the access way(s) to accommodate 70,000 lbs. gross vehicle weight during all phases of construction.</p> <p>6. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</p> <p>7. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s).</p> <p>8. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer.</p> <p>9. Meet with Corona Fire Department to determine locations of red curbing and signage by fire hydrants, fire department connections, and designated fire lanes on site.\r\r</p> <p>10. A minimum fire flow of 3000 gallons per minute at 20 psi shall be provided for commercial structures.\r\r</p> <p>11. If over 500 lineal feet the fire service waterline shall be looped and provided with two (2) separate points of connection.</p> <p>12. Fire hydrants are to be spaced a maximum 250 feet apart.\r\r</p> <p>13. The developer shall meet with Corona Fire Department prior to construction to determine the location of; Fire Department connections for sprinkler systems, post indicator valves, etc.\r\r\r</p> <p>14. This development is located in an area that requires a fire facility fee of \$231 and acre per the Corona Municipal Code. This fee is due prior to building permit issuance.\r\r\r</p> <p>15. A public safety radio communication study is required for this project. Consult with the fire department for specific requirements for this study or our guideline is available online at coronaca.gov/fire.\r\r\r Building 2 only.</p> <p>16. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.\r\r</p>



Project Conditions

City of Corona

FIRE	Cindi Schmitz
	<p>17. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.\r\r</p> <p>18. Fire extinguishers shall be provided prior to occupancy. Fire extinguishers shall bear a California State Fire Marshal's service tag; it shall be appropriately rated for the hazard; it shall be mounted so that the top of the extinguisher is no higher than five (5) feet above floor level; and shall be located such that the travel distance to an extinguisher does not exceed seventy-five (75) feet.\r</p> <p>19. Storage, Use and Dispensing of hazardous materials shall be in accordance with the California Building and Fire Code.\r\r</p> <p>20. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.\r\r</p>
PLANNING	Rafael Torres
	<p>1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</p> <p>2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.</p> <p>3. All development and use of this site shall conform to the requirements of the EC (Entertainment Commercial) designation of the Dos Lagos Specific Plan (SP99-03) and the applicable codes of the Corona Municipal Code.</p> <p>4. The project shall comply with the approved exhibits and conditions of approval for PP2020-0006.</p> <p>5. The developer or successor in interest shall comply with the mitigation measures established in the Mitigated Negative Declaration for PP2020-0006.</p> <p>6. Approval of PP2020-0006 is conditional upon the privileges being utilized by the securing of the first permit within two (2) years of the effective date of this precise plan approval, and if construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have elapsed.</p> <p>7. Landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal, the developer shall submit a landscape deposit in the amount of \$2,500 to the Planning Division which will be applied towards landscape plan check and inspection services to be provided by a landscape consultant. Any money left remaining at the completion of the project will be reimbursed to the developer. Please note, this deposit is separate from the Building Division's landscape plan check submittal fee.</p>



Project Conditions

City of Corona

PLANNING	Rafael Torres
	<ol style="list-style-type: none"> 8. The applicant shall, prior to issuance of a building permit, submit landscape plans prepared by a licensed landscape architect for review and approval by the Community Development Department. Plans shall be prepared in accordance with the state and local city guidelines. 9. Prior to the issuance of a certificate of occupancy for commercial building, the on-site landscaping, parkways, walls and fences shall be installed per the approved plans. 10. Prior to the start of earthwork on the project site, the developer shall send grading and construction notices to the nearby businesses closest to the project site. The notice shall provide contact information for construction concerns involving noise and dust. 11. The developer shall install a perimeter chain link fence with a dust tamer screening during grading and construction. 12. All fences and walls shall be submitted for plan-check under a separate submittal. <p>All block and retaining walls shall be constructed of decorative masonry as approved by the Community Development Department and treated with an anti-graffiti coating.</p> <ol style="list-style-type: none"> 13. The applicant's monument sign plans shall demonstrate compliance with CMC Section 17.70.030, 17.70.040 and 17.70.050 as they pertain to the corner cut-of regulations to ensure adequate vehicle and pedestrian visibility. 14. A sign permit shall be obtained from the Planning and Building divisions prior to the installation of any signs on the project site. 15. All signage shall be constructed in accordance with the sign criteria in the Dos Lagos Specific Plan (SP99-03) and the applicable codes of the Corona Municipal Code (CMC). Each monument sign shall adhere to the maximum number of tenant panel faces of three (3) in accordance to the Dos Lagos Specific Plan. 16. All trash enclosures shall be constructed of decorative masonry such as splitface or slumpstone block, stucco finish, or other decorative material to match buildings as approved by the Community Development Department. 17. Trash enclosures shall not encroach into the 10-foot corner cut-off area adjacent to parking spaces and drive aisles for vehicle visibility. Trash enclosures shall meet the trash enclosure standards in the Corona Municipal Code Chapter 17.79 and shall also be designed to accommodate an organic waste bin per CMC Chapter 8.20. 18. The applicant shall incorporate a trellis or solid cover over the trash enclosure to secure the trash enclosure from unwanted access. 19. This project is subject to the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) fee under the category of Commercial. This fee shall be paid at time of building permit issuance.



Project Conditions

City of Corona

PLANNING	Rafael Torres
<p>20. The applicant shall comply with the construction design features contained in the Mitigated Negative Declaration report in order to minimize the project's construction and operational impacts to localized air resources as shown below.</p> <p>Construction Design Features:</p> <ol style="list-style-type: none">1. All active construction areas shall be watered two (2) times daily.2. Speed on unpaved roads shall be reduced to less than 15 mph.3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.6. Access points shall be washed or swept daily.7. Construction sites shall be sandbagged for erosion control.8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.11. Replace the ground cover of disturbed areas as quickly possible.12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.14. Construction equipment shall be maintained in proper tune.15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.16. Minimize the simultaneous operation of multiple construction equipment units.17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.21. Utilize zero VOC and low VOC paints and solvents, wherever possible.	
PUBLIC WORKS	



Project Conditions City of Corona

1. The Public Works and the Department of Water and Power Conditions of Approval for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Planning and Development Department, Land Development Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.
 2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.
 3. Prior to map recordation or issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed subdivision will not unreasonably interfere with the use of any easement holder of the property.
 4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
 5. The developer shall construct or guarantee construction of the required improvements prior to recordation of the Parcel Map because the construction of the improvements is a necessary prerequisite to the orderly development of the surrounding area.
 6. All conditions of approval shall be satisfied and the Parcel Map prepared and accepted by the City for recordation within 24 months of its approval, unless an extension is granted by the City Council.
 7. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.
 8. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.
 9. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Land Development Division. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
 10. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.
 - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
- Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
11. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall ensure that a property owner's association, or an alternative means of management approved by the Planning and Development Director, is established for the purpose of maintaining all private streets, common areas and private utilities associated with this project. The documents, including any necessary Covenants, Conditions and Restrictions (CC&R's), shall be subject to the review and approval of the Land Development Division and shall be recorded concurrently.
 12. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall finish the construction



Project Conditions City of Corona

or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:

- a) All missing or deficient street facilities.
- b) All missing or deficient drainage facilities.
- c) All required grading, including erosion control.
- d) All required sewer, water and reclaimed water facilities.
- e) All required landscaping facilities.
- f) All under grounding of overhead utilities, except for cables greater than 32k volts.

13. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.

14. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Land Development Division. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.

15. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Land Development Division.

16. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDID # shall be displayed on the title sheet of the grading plans.

17. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.

18. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (*Lepidospartum Squamatum*) has been completed.

19. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.



Project Conditions

City of Corona

PUBLIC WORKS

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20. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.

21. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.

22. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.

23. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Land Development Division for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format. Changes to the project resulting from the Final WQMP infiltration testing results may cause the project to be resubmitted at the developer's expense.

24. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.

25. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.

26. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.

27. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.

28. Prior to map recordation or approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.

29. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.



Project Conditions

City of Corona

PUBLIC WORKS

3.

30. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.

31. Prior to map recordation or issuance of a building permit, whichever comes first, the applicant shall offer for dedication any missing street rights-of-way. Said dedication shall continue in force until the City accepts or abandons such offers. All dedications shall be free of all encumbrances and approved by the Public Works Director.

32. Prior to map recordation, the applicant shall release and relinquish all vehicular access rights to the City of Corona along Temescal Canyon Road, except at approved intersections.

33. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall include the following:

- a) All streets and driveways shall conform to the applicable City of Corona standards.
- b) Under grounding of existing and proposed utility lines.
- c) All other public improvements shall conform to City of Corona standards.

34. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.

35. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.

36. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.

37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.

38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.

39. The City of Corona Department of Water and Power shall provide electric service to the development, subject to availability as determined by the Department of Water and Power.



Project Conditions

City of Corona

PUBLIC WORKS

4. 40. The electric distribution system shall be designed, procured and installed in accordance with City of Corona Department of Water and Power Electric Distribution Standards and Service Requirements.
41. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.
42. Prior to map recordation or improvement plan approval, the developer shall relocate the existing water line through Parcel 2 to be within the proposed drive aisle, subject to the approval of the Department of Water and Power. If the water line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
43. Prior to map recordation or improvement plan approval, the developer shall relocate the existing sewer through Parcel 2 subject to the approval of the Department of Water and Power. If the sewer line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
44. Prior to issuance of any building permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.
45. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.
46. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.
47. Prior to map recordation or approval of improvement plans, the applicant shall submit a sewer study, prepared by a registered civil engineer, to the Land Development Division and Department of Water and Power for review and approval. The study shall analyze the existing and proposed sewer facilities. Results of the system analysis may require special construction for sewer systems, such as upsizing downstream sewer lines, monitoring systems, and construction of other appurtenances as necessary to serve the proposed development. Effects of the proposed development, engineering analysis and special construction requirements shall be submitted for review and approval by the Land Development Division and the Department of Water and Power. The developer shall be responsible for the design and construction of any recommendations in the approved study.
48. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.
49. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.



Project Conditions City of Corona

PUBLIC WORKS

5. 50. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.
51. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.
52. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.
53. Static pressures exceeding 80 psi require an individual pressure regulator.
54. The applicant shall provide a separate irrigation water service for each parcel and/ or all HOA landscaped lots, easements, or common areas as required by the Department of Water and Power.
55. Reclaimed water shall be used for any construction activity unless otherwise approved by the Department of Water and Power. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.
56. Prior to map recordation the applicant shall prepare a disclosure statement indicating that the property is subject to CC&Rs, within a Community Facilities District and/ or Landscape Maintenance District, and will be subject to an annual levy. The disclosure statement shall be submitted to the Land Development Division for review and approval and shall be recorded concurrently with the final map.
57. Prior to issuance of a Certificate of Occupancy, all proposed parkway, slope maintenance, and/or median landscaping on the plans or in these Conditions of Approval shall be constructed.
58. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
59. Prior to map recordation, issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.

PARCEL MAP 37221

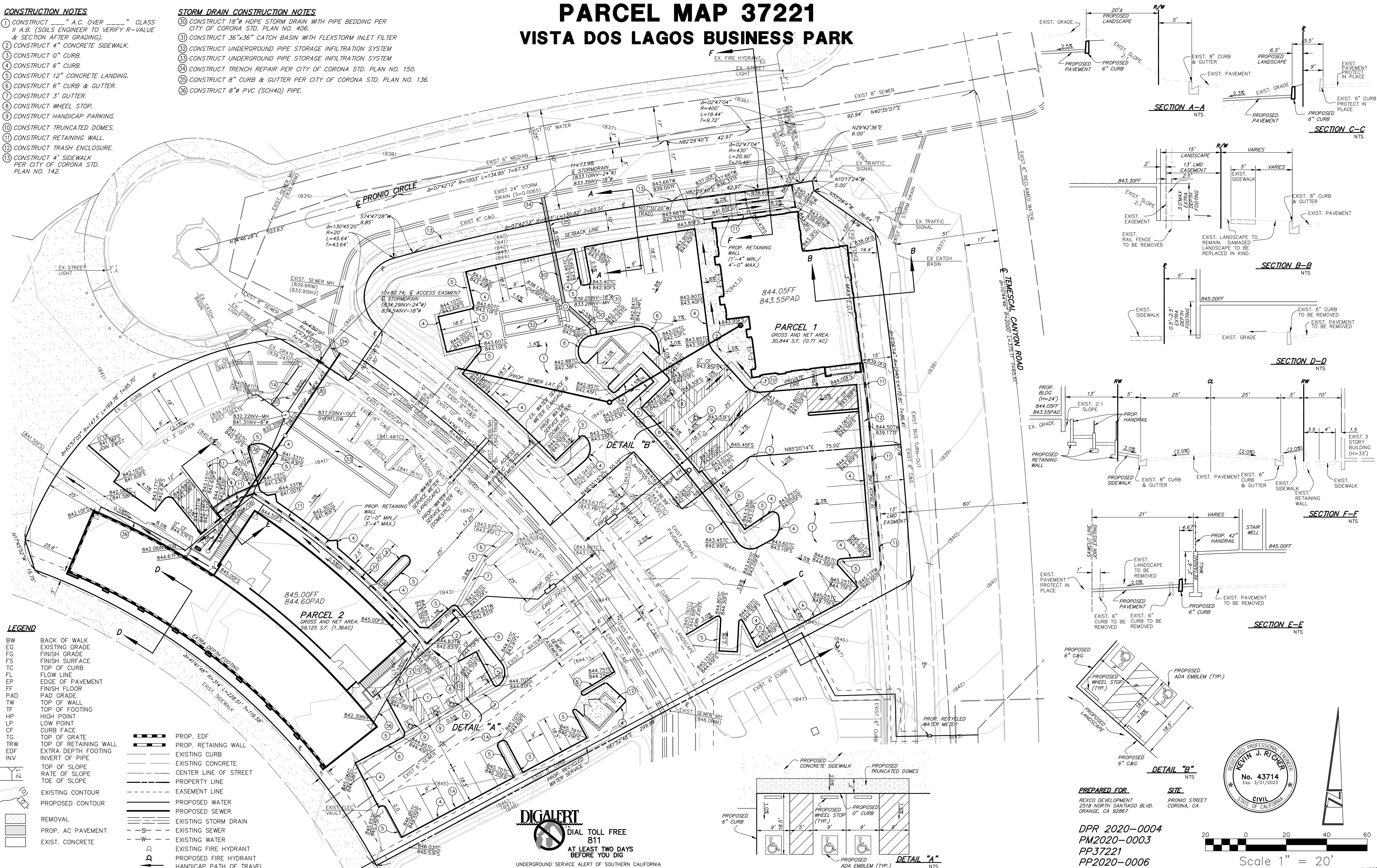
VISTA DOS LAGOS BUSINESS PARK

CONSTRUCTION NOTES

1. CONSTRUCT 18" A.C. OVER CLASS II A.B. (SOILS ENGINEER TO VERIFY R-VALUE & SECTION AFTER GRADING).
2. CONSTRUCT 4" CONCRETE SIDEWALK.
3. CONSTRUCT 0" CURB.
4. CONSTRUCT 6" CURB.
5. CONSTRUCT 12" CONCRETE LANDING.
6. CONSTRUCT 6" CURB & GUTTER.
7. CONSTRUCT 3" GUTTER.
8. CONSTRUCT WHEEL STOP.
9. CONSTRUCT HANDICAP PARKING.
10. CONSTRUCT TRUNCATED DOMES.
11. CONSTRUCT RETAINING WALL.
12. CONSTRUCT TRASH ENCLOSURE.
13. CONSTRUCT 4" SIDEWALK PER CITY OF CORONA STD. PLAN NO. 142.

STORM DRAIN CONSTRUCTION NOTES

30. CONSTRUCT 18" HDPE STORM DRAIN WITH PIPE BEDDING PER CITY OF CORONA STD. PLAN NO. 406.
31. CONSTRUCT 36"x36" CATCH BASIN WITH FLEXSTORM INLET FILTER.
32. CONSTRUCT UNDERGROUND PIPE STORAGE INFILTRATION SYSTEM.
33. CONSTRUCT UNDERGROUND PIPE STORAGE INFILTRATION SYSTEM.
34. CONSTRUCT TRENCH REPAIR PER CITY OF CORONA STD. PLAN NO. 150.
35. CONSTRUCT 8" CURB & GUTTER PER CITY OF CORONA STD. PLAN NO. 136.
36. CONSTRUCT 8" PVC (SCH40) PIPE.



LEGEND

- BW BACK OF WALK
- EG EXISTING GRADE
- FG FINISH GRADE
- FS FINISH SURFACE
- TC TOP OF CURB
- FL FLOW LINE
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- PAD PAD GRADE
- TW TOP OF WALL
- TF TOP OF FOOTING
- HP HIGH POINT
- LP LOW POINT
- CF CURB FACE
- TG TOP OF GRADE
- TRW TOP OF RETAINING WALL
- EDF EXTRA DEPTH FOOTING
- INV INVERT OF PIPE
- TOP OF SLOPE
- RATE OF SLOPE
- TOE OF SLOPE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- REMOVAL
- PROP. AC PAVEMENT
- EXIST. CONCRETE
- PROP. EDF
- PROP. RETAINING WALL
- EXISTING CURB
- EXISTING CONCRETE
- CENTER LINE OF STREET
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED WATER
- PROPOSED SEWER
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- HANDICAP PATH OF TRAVEL



DIAL TOLL FREE
811
AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

LAND DEVELOPMENT DESIGN COMPANY, LLC 2313 E. PHILADELPHIA ST., UNIT F ONTARIO, CA 91761 (909) 930-1466 FAX (909) 930-1468 PLANNING • CIVIL • SURVEYING	Designed by KJR	Drawn by JCQ	Checked by KJR	Reference plans for these improvements	Date	By	REVISIONS	App'd	BENCH MARK USC&GS B.M. #5316 ELEV. = 907.518 FT Scale 1" = 20'	Engineering Planning Fire	Approved by: Savat Khampou City Engineer R.C.E. No. 62019	Date	CITY OF CORONA PRELIMINARY GRADING PLAN PRONIO BUSINESS PARK	Drawing No. JN4925 Sh. 1 of 1
	PLANS PREPARED UNDER SUPERVISION OF Date 08/24/21	KEVIN J. RICHER R.C.E. No. 43714	Exp. 3-31-23											

R2020-0004



LAKESIDE BLDG

REXCO
DEVELOPMENT

DOS LAGOS COMMERCIAL

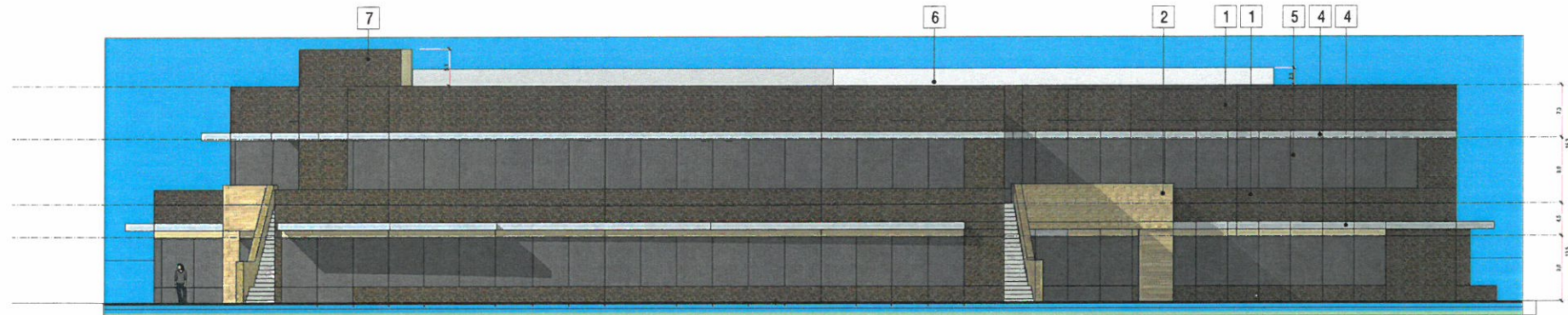
CORONA, CA

© 2020 WILLIAM HEZMALHALCH ARCHITECTS, INC. dba WHA.

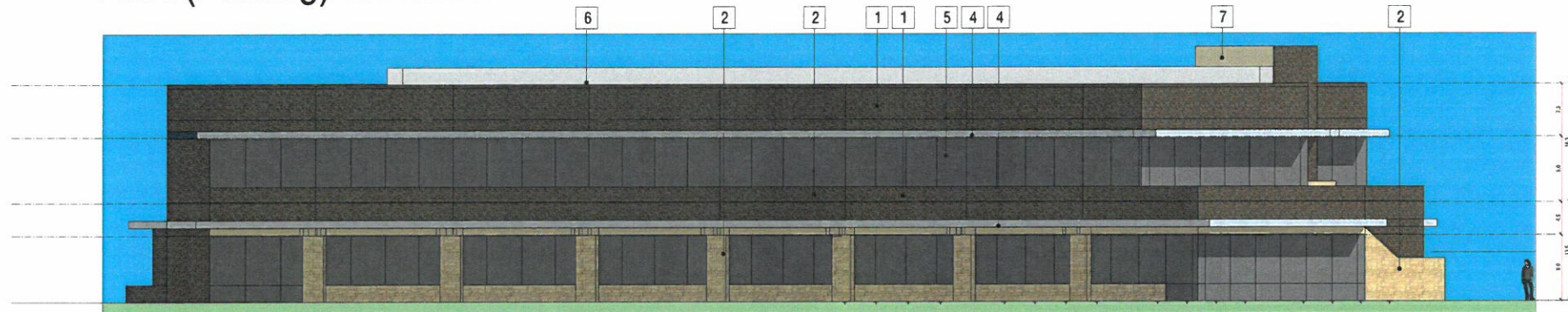
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ARCHITECTS . PLANNERS . DESIGNERS

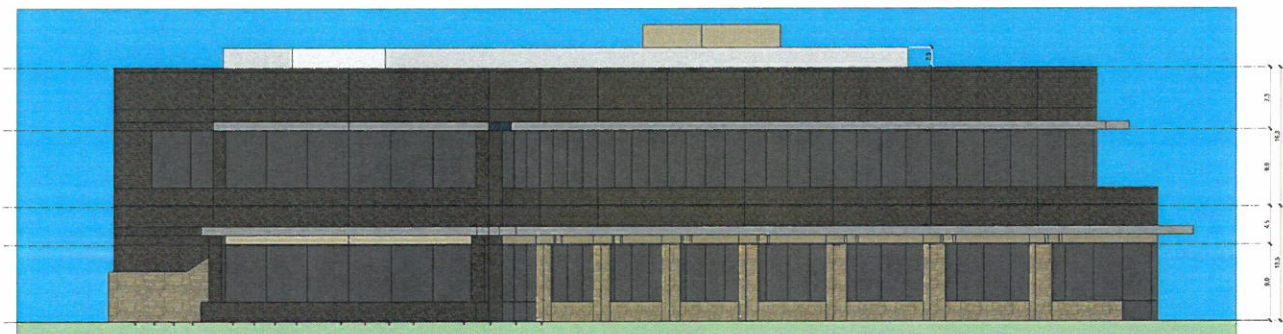
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EXHIBIT 3.E



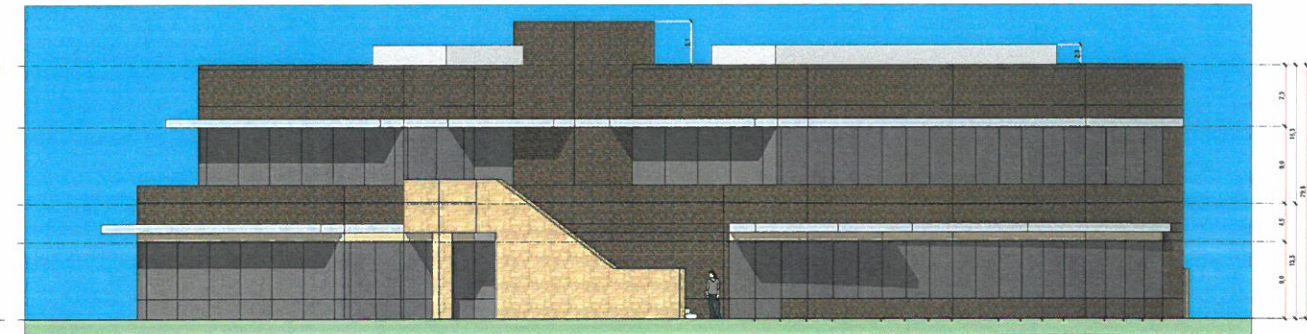
East (Parking) Elevation



West (Lake) Elevation



South Elevation



North Elevation

- ELEVATION NOTES
- 1 BRICK VENEER
 - 2 STONE PANEL ACCENT
 - 3 STONE PILASTER
 - 4 CLEAR ALUM. FINISH HEADER & SUN CANOPIES
 - 5 TINTED GRAYLITE GLASS
 - 6 ROOF-MOUNTED MECH EQUIPMENT BEHIND PARAPET OR MECH SCREEN, SET BACK FROM PERIMETER
 - 7 ELEVATOR OVERRIDE

VISTA DOS LAGOS



WEST ELEVATION

SCALE: 1/4" = 1'-0"

2



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"


1

- | | | | |
|--|---|--|---|
| <p>1. ALL STUD WALLS & CEILINGS EXTENDING INTO
 SLOFT WALLS WILL BE PREGRANULATED WITH GYPSO
 REFER TO DETAIL SHEETS FOR FIRE PARTITION
 CONSTRUCTION DETAILS AND NOTES</p> <p>2. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2"
 FROM WINDOW OR DOOR OPENINGS INTO
 OPENINGS SHALL BE FINISHED WITH TOP OF FINISH
 FLOOR SLAB AT FIRST FLOOR.</p> <p>3. PAINT METAL REVEALS TO MATCH COLOR OF
 CLUSTERS.</p> <p>4. REFER TO DETAIL FOR PERIMETER WINDOW AND DOOR
 MOUNTING, INCLUDING ALL REQUIRED MATERIALS
 ALL HORIZONTAL PLASTER SURFACES 3' OR MORE IN
 DEPTH WILL RECEIVE SELF-ADHESIVE FLASHING
 WEATHERBANDING LAPPED 6" MIN. WITH BUILDING
 PAPER ON ALL SIDES PRIOR TO THE APPLICATION OF
 WEATHERBANDING.</p> <p>5. FOAM PROJECTIONS MAY BE USED UP TO 4" THICK. 2X
 ORD DRAPINGS IS REQUIRED AT ALL OTHER
 CONDITIONS.</p> <p>6. PROVIDE 2" LAYERS OF GRADE "B" BUILDING PAPER ON
 ALL WEATHERED WALLS RECEIVING EXTERIOR
 PLASTER.</p> | <p>7. ALL BUILDING DOWNPOUTS TO DISCHARGE
 PER CIVIL DRAWINGS.</p> <p>8. 1. STRUCTURAL MEMBERS SHOWN IN ARCHITECTURAL
 DRAWINGS SHALL BE DIAGONAL BRACING AND SHOULD
 BE RELEED UPON AN ACTUAL REPRESENTATION
 OF THE STRUCTURAL MEMBERS SHOWN IN ARCHITECTURAL
 DRAWINGS FOR SPECIFIC LOCATIONS AND SIZES.</p> <p>9. 2. COLORS AND FINISH MATERIALS INDICATE
 APPROXIMATE COLOR AND MATERIALIZATION.
 THE CONTRACTOR WILL PROVIDE FURTHER
 SPECIFICATIONS FOR THE CONDITIONS INDICATED
 OF THE ACTUAL FINISH MATERIALS IN THE TEXTURE
 AND FINISH FOR THE SERVICES. CLIENT AND
 ARCHITECT WILL REVIEW COMMENT AND FOR
 APPROVED MATERIALS PRIOR TO INSTALLATION OF
 MATERIAL ON BUILDINGS.</p> <p>10. ALL COLOR CHANGES WILL OCCUR AT INSIDE
 CORNERS UNLESS OTHERWISE NOTED.</p> <p>11. INSIDE CORNER</p> <p>12. PROVIDE FELD COLORS AND ACCENT/TRIM
 COLORS PER COLOR CONSULTANT'S COLOR
 FLOORING DRAWINGS.</p> | <p>13. HORIZONTAL & VERTICAL CONTROL JOINTS IN
 EXTERIOR EXPOSED PLASTER LOCATE WHERE
 THERE IS AN ELEVATION CHANGE OR WHERE
 INSTALL, TO SEGREGATE AREAS THAT ARE
 NOT MORE THAN 100.00' OR ON HORIZONTAL
 JOINTS NOT MORE THAN 10' HIGHER THAN
 THE JOINT. HORIZONTAL JOINTS SHALL NOT
 EXCEED 18 FEET IN EITHER DIRECTION OR A
 MAXIMUM OF 10' HIGHER THAN THE JOINT.
 HORIZONTAL JOINTS SHALL WRAP OUTSIDE
 CORNERS AND BE RELEED UPON AN ACTUAL
 REPRESENTATION OF THE STRUCTURAL MEMBERS
 CORNER ALLS WALLS THAT RETURN TO A
 PLASTER BEYOND. REFER TO DETAIL. HEAD 18.</p> <p>14. INSTALL EXTERIOR WALL PENETRATIONS
 INCLUDING AC UNREST, GAS LINE PENETRATION,
 AND SPECIAL WALLS PER DETAIL 12/AD 3.1
 ON BRAD 3 AS APPLICABLE.</p> <p>15. INSTALL SELF-ADHESIVE MEMBRANE FLASHING
 OVER ALL WEATHERBANDING FLASHING
 OF BUILDING PAPER.</p> | <p>16. METAL CEILING CAP AT CAP.</p> <p>17. COST ESTIMATE PLASTER SYSTEM
 PER 1/2" THICK OF GRADE "B"
 BUILDING PAPER OVER WOOD SHIP
 JOINTS. PROVIDE 2" LAYERS OF GRADE "B"
 BUILDING PAPER ON ALL WEATHERED
 WALLS RECEIVING EXTERIOR PLASTER.
 APPROVAL BY ARCHITECT
 ADDRESS BACK VIEW
 PROVIDE SAMPLE FOR REVIEW AND
 APPROVAL BY ARCHITECT</p> <p>18. EXTERIOR WALLS</p> <p>19. STORMPORT OPENING
 REFER TO DETAIL FOR
 FOR OPENABLE DOOR
 LANYARD.</p> <p>20. CONTROL JOINTS</p> <p>21. METAL SIGNAGE AREA</p> |
|--|---|--|---|

- IN BLDG PAPER, PROVIDE (2) LAYERS OF WEATHERING RECEIVING EXTERIOR PLASTER, 1/2" THICK. PROVIDE SAMPLE FOR REVIEW & APPROVAL BY ARCHITECT.

- | | | |
|----|-----|---|
| 9 | (X) | EP's FOAM TRIM OF BROWN COAT, SAND FINISH PLASTER |
| 10 | (X) | FOAM TRIM
EP's SHAPED FOAM OF BROWN COAT AND SMOOTH FINISH |
| 11 | (X) | FOUNDATION SCHED:
REFER TO EXTERIOR ELEVATIONS FOR CONDITIONS
WHERE OCCURS |
| 12 | (X) | SUPPER WITH OVERFLOW: |
| 13 | (X) | DOWNSPOUT:
RECTANGULAR PRE-FINISHED ALUM. DOWNSPOUT.
OUTLET FIB CIVIL PLANS |
| 14 | (X) | EXTERIOR SHELF |
| 15 | | BUILDING INSULATION:
REFER TO NOTE #16 AND ENERGY FORMS FOR INSULATION AND ENERGY
COMPLIANCE REQUIREMENTS |
| 16 | | CONCRETE SLAB:
REFER TO STRUCTURAL DRAWINGS |

- | | | |
|----|---|--|
| 17 | X | BY OTHER. REFER TO STRUCTURAL DRAWINGS. CEILING NOT BE ENCLOSED. |
| 18 | X | BUILD UP ROOFING
REFER TO ROOF PLAN |
| 19 | X | ROOF ACCESS LADDER:
REFER TO ROOF PLAN |
| 20 | X | EXTERIOR METAL DOOR:
REFER TO DOOR SCHEDULE ON SHEET A-SCH1. |
| 21 | X | FIRE RISER ROOM
VERIFY LOCATIONS WITH PLUMBING AND FIRE SPRINKLER PLANS |
| 22 | X | ELECTRICAL
VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY |
| 23 | X | MECH
VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY |
| 24 | X | EXTERIOR SHIELD AT UTILITIES: |

- | | | |
|----|---|---|
| 26 |  | LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON
COMPRESSOR ISOLATION RAILS |
| 27 | | |
| 28 | | |
| 29 | | |
| 30 | | |
| 31 | | |
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| 42 |

NOTES

KEYNOTES

All Rights Reserved

EXHIBIT 3.F

Owner:
REXCO
DEVELOPMENT
2518 NORTH SANTIAGO BLVD.
ORANGE, CA 92867

VISTA DOS LAGOS RETAIL
TEMESCAL CANYON ROAD
CORONA, CALIFORNIA

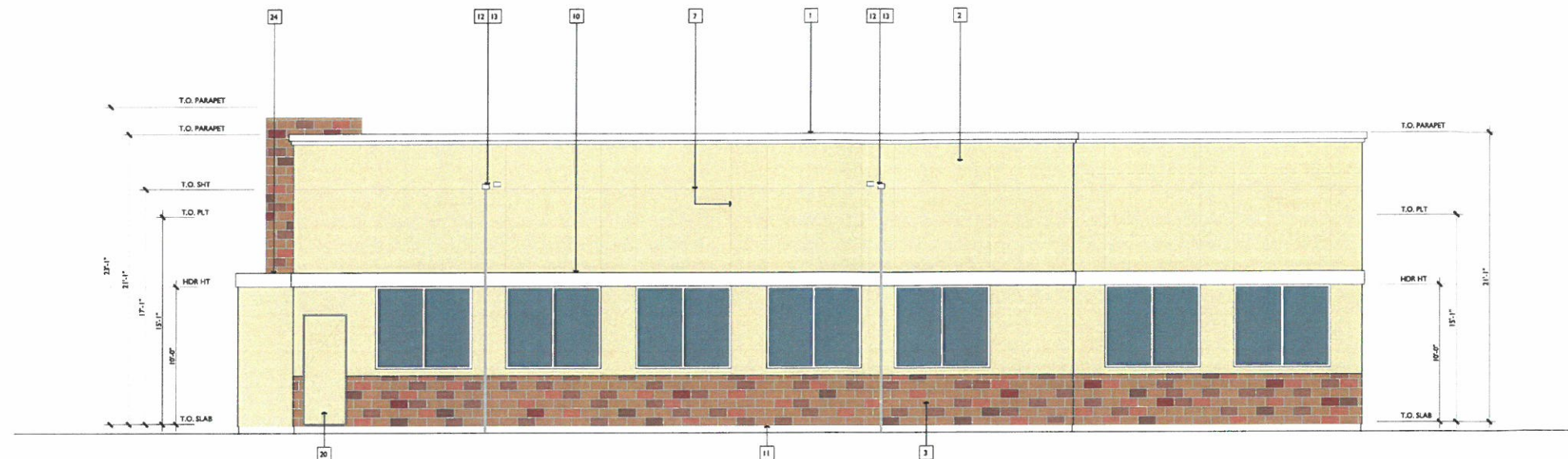
NOVEMBER 11, 2020
Revisions

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications, of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions advising such perceived errors or omissions shall be required from the architect prior to the client or client subcontractors proceeding with the work. The client will be responsible for any defects in construction if these provisions are not followed.



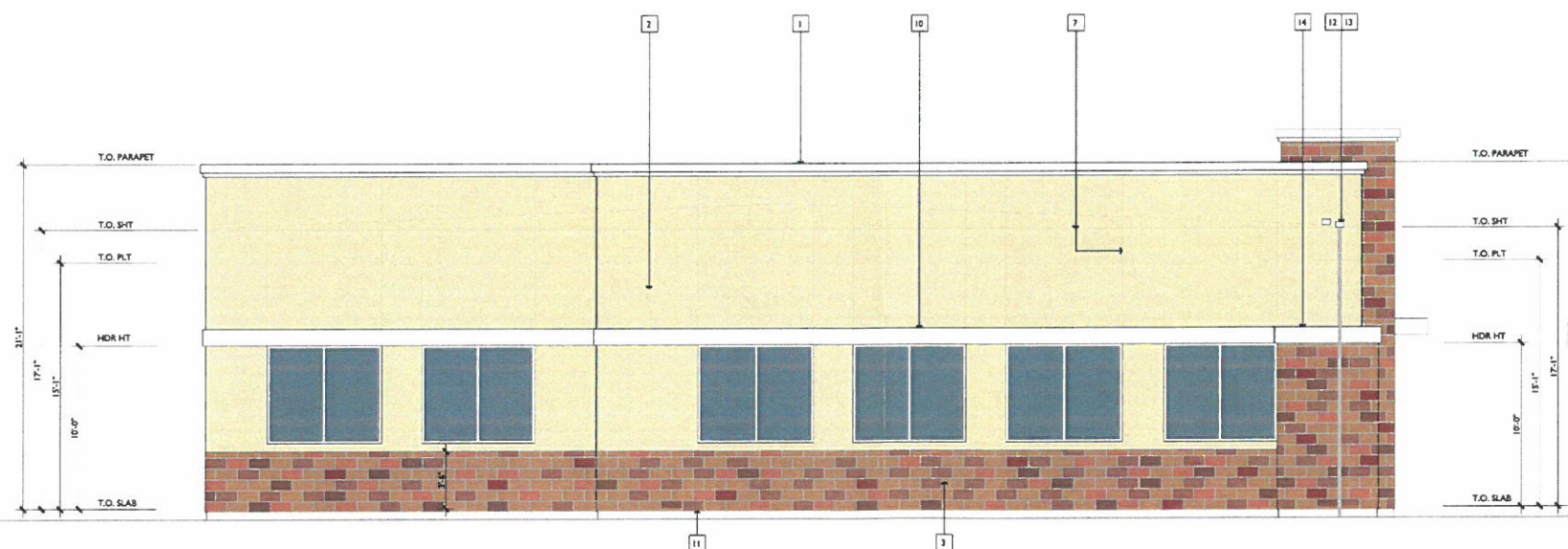
BUILDING EXTERIOR ELEVATIONS

VISTA DOS LAGOS



EAST ELEVATION

SCALE: 1/4" = 1'-0" 2



NORTH ELEVATION

SCALE: 1/4" = 1'-0" 1

- ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYP-90 PRIOR TO SOFFIT INSTALLATION.
- REFER TO DETAIL SHEETS FOR FIRE PARTITION CONSTRUCTION DETAILS AND NOTES.
- DUCT TERMINATION TO OCCUR MINIMUM 3'-0" FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT PER C.M.C.
- ALL DIMENSIONS SHOWN ARE FROM TOP OF FINISH FLOOR SLAB AT FIRST FLOOR.
- PAINT METAL REVEALS TO MATCH COLOR OF ADJACENT PLASTER WALLS.
- REFER TO DETAIL FOR MINIMUM WINDOW AND DOOR MOISTURE BARRIER INSTALLATION REQUIREMENTS.
- ALL HORIZONTAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE SELF-ADHESIVE FLASHING WEATHERBOARD LAPPED MINIMUM 3" WITH BUILDING PAPER ON ALL SIDES PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
- FOAM PROJECTIONS MAY BE USED UP TO 4" THICK 2X WOOD FRAMING IS REQUIRED AT ALL OTHER CONDITIONS.
- PROVIDE (2) LAYERS OF GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
- ALL BUILDING DOWNSPOUTS TO DISCHARGE PER CIVIL DRAWINGS.
- STRUCTURAL MEMBERS SHOWN IN ARCHITECTURAL SECTIONS ARE DIAGNOSTIC AND SHOULD NOT BE RELIED UPON AS AN ACTUAL REPRESENTATION OF STRUCTURAL MEMBERS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LOCATIONS AND SIZES.
- COLORS AND FINISH MATERIALS INDICATE APPROPRIATE COLOR AND MATERIAL RANGE. THE CONTRACTOR WILL PROVIDE FIELD MOCK-UPS IN THE QUANTITIES INDICATED OF THE ACTUAL FINISH MATERIALS IN THE TEXTURE, COLOR AND FOR SERIES SPECIFIED. CLIENT AND ARCHITECT WILL REVIEW COMMENT AND FOR APPROVE MOCK-UPS PRIOR TO INSTALLATION OF MATERIAL ON BUILDINGS.
- ALL COLOR CHANGES WILL OCCUR AT INSIDE CORNERS UNLESS OTHERWISE NOTED.
- OUTSIDE CORNER
- INSIDE CORNER
- PROVIDE FIELD COLORS AND ACCENT/TRIM COLORS PER COLOR CONSULTANT'S COLOR BLOCKING DRAWINGS.
- HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER LOCATE WHERE INDICATED ON ELEVATIONS. IN AREAS NOT ELEVATED, INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS & NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WEAR OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 14(A)1.6.
- INSTALL EXTERIOR WALL PENETRATIONS INCLUDING A/C LINESET, GAS LINE PENETRATION, AND SIMILAR WALL VENTS PER DETAIL 12(A)1.3 OR 12(A)1.3 AS APPLICABLE.
- INSTALL SELF-ADHESIVE MEMBRANE FLASHING OVER ALL SEISMIC STRAPS PRIOR TO APPLICATION OF BUILDING PAPER.
- PROVIDE INSULATION PER TITLE 24 SHEETS.

KEYNOTES

- PARAPET: METAL COPING AT CAP.
- LOCAL EXTERIOR PLASTER SYSTEM: MIN. 3/8" THICK OF GRADE "D" PER. BLDG PAPER, PROVIDE (2) LAYERS OF BUILDING PAPER OVER WOOD SHEATHING RECEIVING EXTERIOR PLASTER. 1600 SAND FLOAT FINISH W/ 100% ACRYLIC PAINT. PROVIDE SAMPLE FOR REVIEW & APPROVAL BY ARCHITECT.
- ADHERED BRICK VENEER: 1/2" THICK BRICK VENEER OVER SCRATCH COAT INSTALLED PER MFR. SPEC. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT.
- EXTERIOR WALLS:
- STAIRSPRINT OPENING: REFER TO DOOR SCHEDULE ON SHEET A-SCH1. REFER TO FLOOR PLAN FOR OPERABLE DOOR LOCATIONS. PROVIDE FLASHING PER DETAIL A-WYING.
- CONTROL JOINTS:
- RETAIL STORAGE AREA: SEPARATE APPROVAL AND PERMIT REQUIRED. PROVIDE ELECTRICAL FOR FUTURE LIGHTING.
- STUCCO SOFFIT (TRIM WHERE OCCURS): EPS FOAM TRIM OR BROWN COAT SAND FINISH PLASTER.
- FOAM TRIM: EPS SHAPED FOAM OR BROWN COAT AND SMOOTH FINISH.
- FOUNDATION SCREEDS: REFER TO EXTERIOR ELEVATIONS FOR CONDITIONS WHERE OCCURS.
- SCUPPER WITH OVERFLOW:
- DOWNSPOUT: RECTANGULAR PRE-FINISHED ALUM. DOWNSPOUT. OUTLET PER CIVIL PLANS.
- EXTERIOR SHELF:
- BUILDING INSULATION: REFER TO NOTE #16 AND ENERGY FORMS FOR INSULATION AND ENERGY COMPLIANCE REQUIREMENTS.
- CONCRETE SLAB: REFER TO STRUCTURAL DRAWINGS.
- OPEN WEB & ROOF TRUSSES: BY OTHER, REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.
- BUILT UP ROOFING: REFER TO ROOF PLAN.
- ROOF ACCESS LADDER: REFER TO ROOF PLAN.
- EXTERIOR METAL DOOR: REFER TO DOOR SCHEDULE ON SHEET A-SCH1.
- FIRE RISER ROOM: VERIFY LOCATIONS WITH PLUMBING AND FIRE SPRINKLER PLANS.
- ELECTRICAL: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY.
- PIPE: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY.
- EXTERIOR SHELF AT UTILITIES:
- GAS METERS:
- A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.

NOTES



www.summarch.com

5256 South Mission Road
Suite 404
Bonsall CA 92003
760.724.1198

Owner:

REXCO
DEVELOPMENT
2518 NORTH SANTIAGO BLVD.
ORANGE, CA 92867

VISTA DOS LAGOS RETAIL
TEMESCAL CANYON ROAD
CORONA, CALIFORNIA

NOVEMBER 11, 2020
Revisions

3.5 The client acknowledges that the architect is not responsible for the design of any mechanical, electrical, plumbing, or other systems that may be required for the project. The client shall be responsible for obtaining all necessary permits and approvals for the project. The client shall be responsible for the design of any mechanical, electrical, plumbing, or other systems that may be required for the project. The client shall be responsible for obtaining all necessary permits and approvals for the project.



BUILDING
EXTERIOR
ELEVATIONS
AA-5



Front From Southwest (from Parking)



From Northeast, Corner of Temescal & Pronio

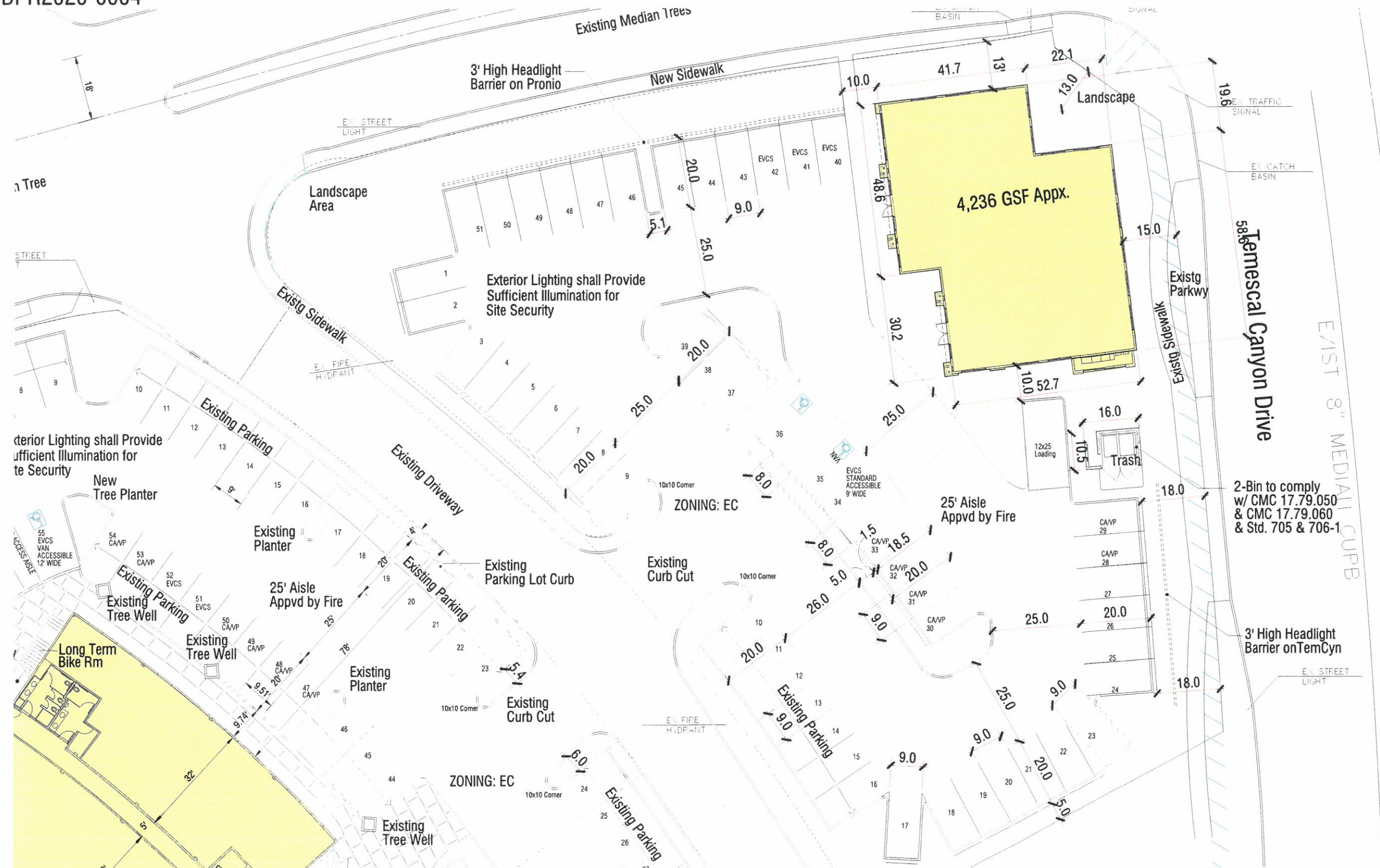


From North - Prono Drive



Front From West (from Parking)

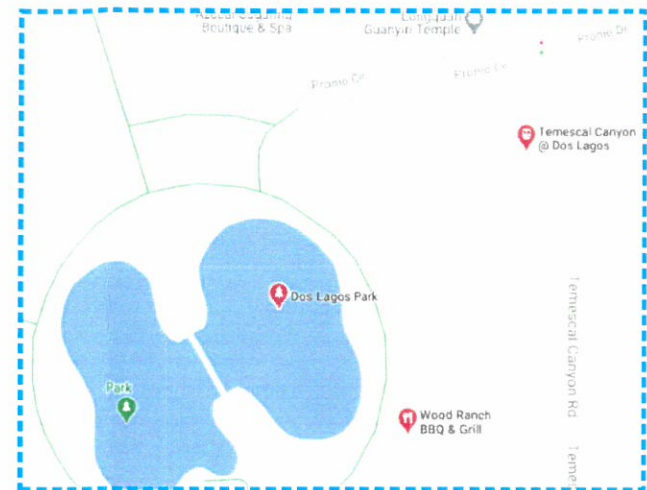




CORNER BLDG #2 FLOOR PLAN

Scope of Work

- A NEW S/F NON-ILLUM. MONUMENT SIGN
- B NEW S/F NON-ILLUM. WAYFINDING SIGN



VICINITY MAP

NOTE:

ALL NEW SIGNAGE TO CONNECT TO CLIENT PROVIDED ELECTRICAL CIRCUITS

REXCO CORONA - CORONA, CA. - SITE PLAN

SCALE: 1" = 60'-0"

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National Sign & Marketing Corporation
13580 5th St., Chino, CA 91710
Tel 909.591.4742 Fax 909.591.9792
e-mail : sales@nsmc.com
Lic# 745030 - Exp. 01/31/22

Project: REXCO CORONA - Vista Dos Lagos
Address: DOS LAGOS DR. & TEMESCAL CANYON RD. CORONA, CA 92883
Phone: _____ **Account Mgr.** S. Rosenbloom
Designer: Araiza, G. **Scale:** Noted **Date:** 02/02/2021

Client Approval: _____
Date: _____

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.



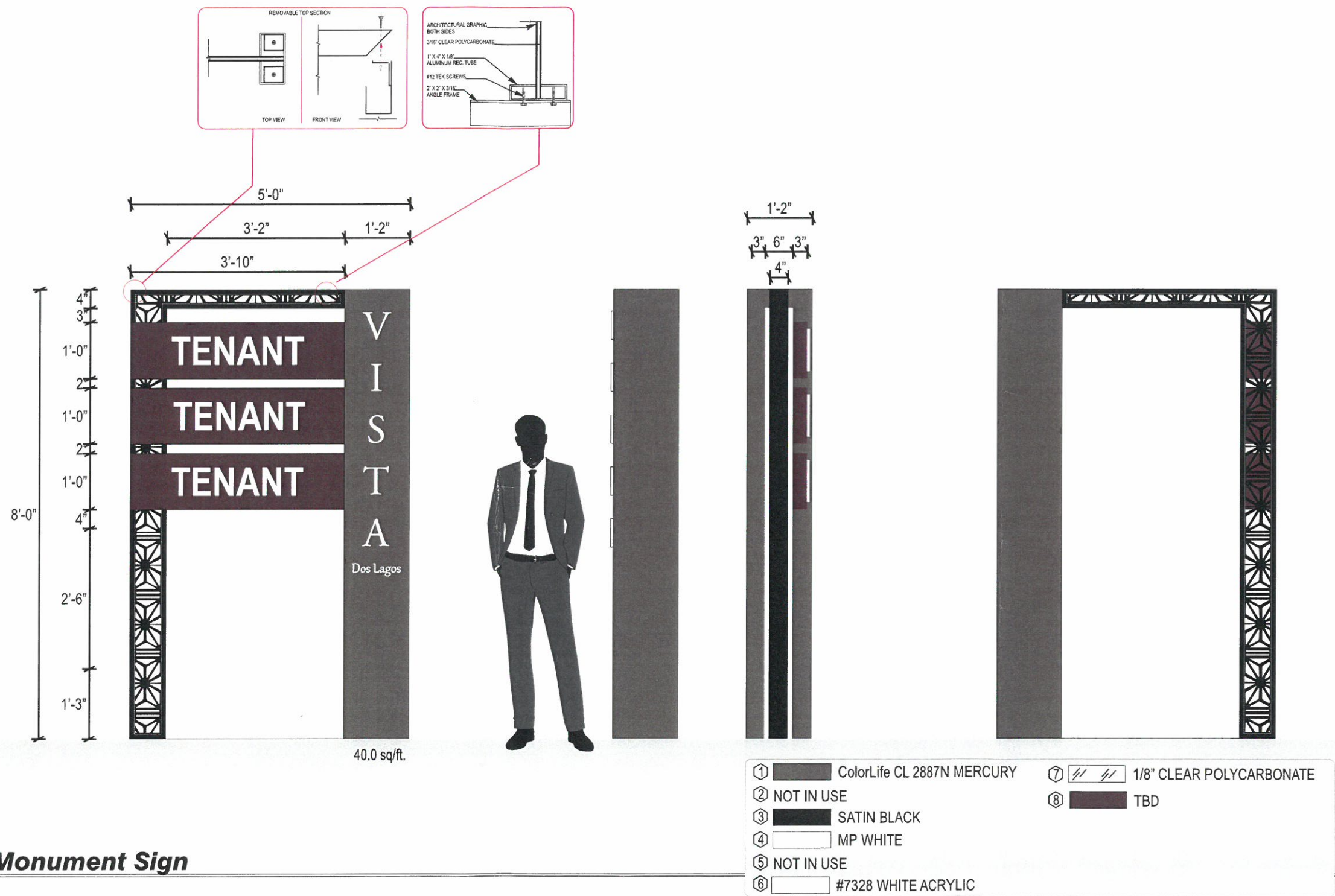
Drawing Number
29064



EXHIBIT 3.H

Specifications:

MAIN CABINET	
MAIN CABINET:	2" X 2" X 3/16" ALUMINUM ANGLE FRAME SKINNED WITH .063 ALUMINUM WITH LIGHT TEX-COTE FINISH PAINTED 4 DIFFERENT PROJECT COLORS AS SHOWN WITH 1/2" WHITE ACRYLIC COPY STUD MOUNTED TO PANELS. CENTER ID LOGO TO BE DIGITAL PRINT APPLIED FIRST SURFACE
COPY:	"VISTA" 1/2" ACRYLIC #7328 FCO "DOS LAGOS" TO BE ROUTED OUT WITH WHITE ACRYLIC BACK UP.
ARCHITECTURAL GRAPHIC	
LATTICE:	D/F .090 ROUTED OUT ALUMINUM BETWEEN 1" X 4" X 1/8" ALUMINUM REC. FRAME PAINTED SATIN BLACK WITH SMOOTH FINISH WITH A CLEAR POLYCARBONATE PANEL SANDWICHED IN BETWEEN.
TENANT PANELS	
TENANTS:	3" DEEP X .080" PAN FORMED FACES PAINTED BURGANDY (TBD) SMOOTH FINISH WITH 1/2" WHITE ACRYLIC COPY STUD MOUNTED TO PANELS



A NEW S/F NON-ILLUM. MAIN ENTRY SIGN

New S/F Non-Illuminated Monument Sign

SCALE: 1/2" = 1'-0"

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National Sign & Marketing Corporation
13580 5th St., Chino, CA 91710
Tel 909.591.4742 Fax 909.591.9792
e-mail : sales@nsmc.com
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Project: REXCO CORONA - Vista Dos Lagos
Address: DOS LAGOS DR. & TEMESCAL CANYON RD. CORONA, CA 92883
Phone: _____ **Account Mgr.** S. Rosenbloom
Designer: Araiza, G. **Scale:** Noted **Date:** 02/02/2021

Client Approval: _____
Date: _____
This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

Drawing Number
29064

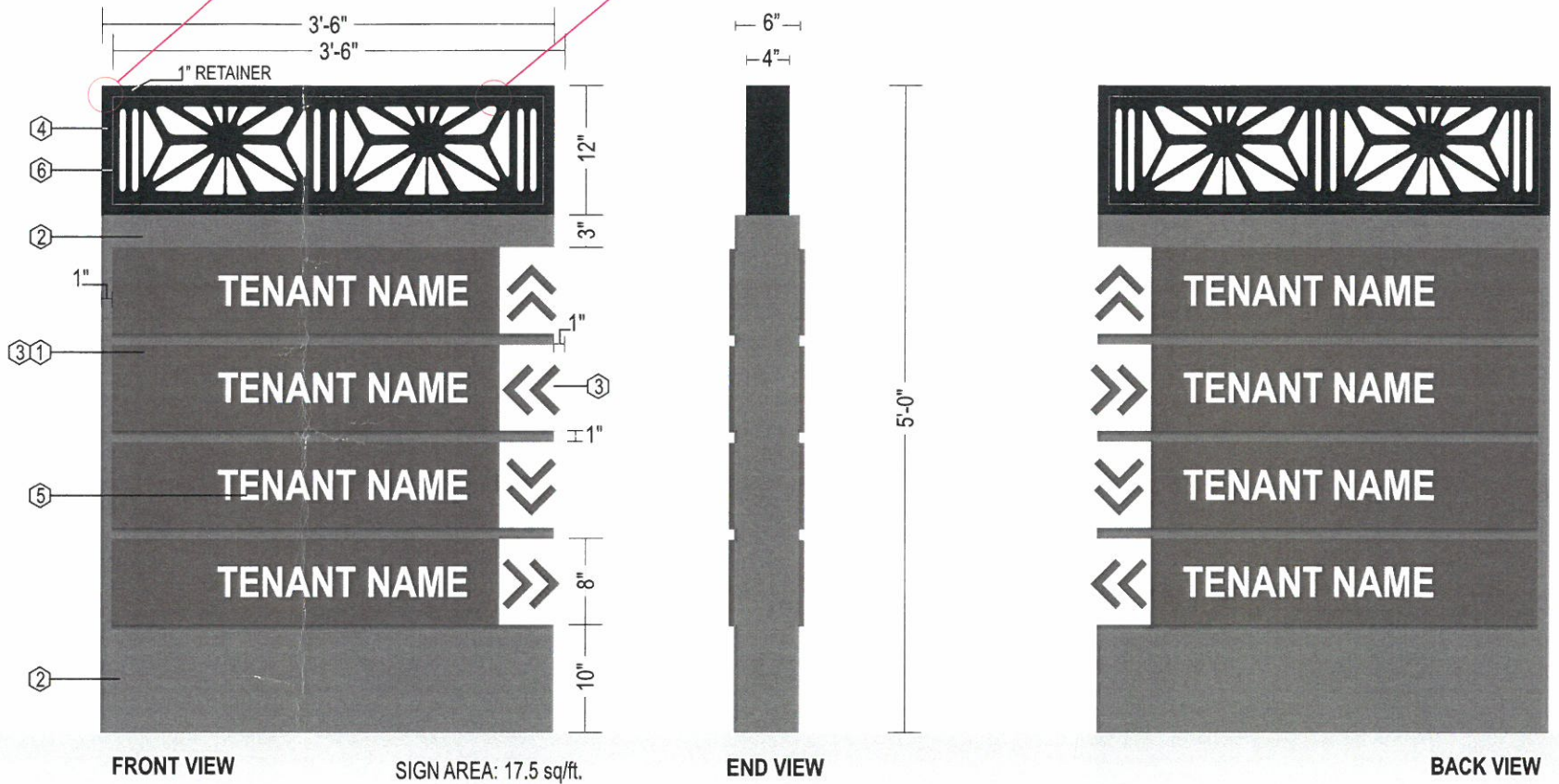
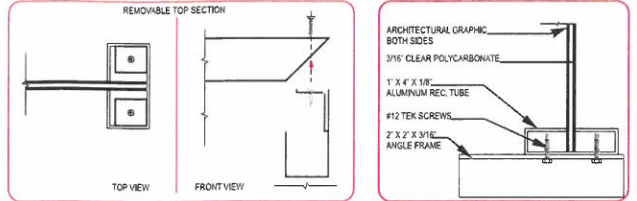
VISEO
ELECTRONIC SIGNS

Specifications:

MAIN CABINET:		MAIN CABINET
		1.5" X 1.5" X 1/8" ALUMINUM ANGLE FRAME SKINNED WITH .063 ALUMINUM WITH LIGHT TEX-COTE FINISH PAINTED DIFFERENT COLORS AS SHOWN.
LATTICE:		DECORATIVE MESH ELEMENT
		D/F .090 ROUTED OUT ALUMINUM BETWEEN 2" X 4" X 1/8" ALUMINUM REC. FRAME PAINTED SATIN BLACK WITH SMOOTH FINISH WITH A CLEAR POLYCARBONATE PANEL SANDWICHED IN BETWEEN.
TENANTS:		TENANT PANELS
		1/2" WHITE ACRYLIC PAINTED AS SHOWN WITH 3M WHITE VINYL AND ARROW GRAPHICS APPLIED FIRST SURFACE. STUD MOUNTED TO SIGN FACE.

ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS

- ① ColorLife CL 2887N MERCURY
- ② ColorLife CL 3216A BRAINCHILD
- ③ #7328 WHITE ACRYLIC
- ④ SATIN BLACK
- ⑤ 3M 7725-10 WHITE VINYL
- ⑥ 3M 7725-12 BLACK VINYL



B NEW D/F NON-ILLUM. WAYFINDING SIGN

NEW D/F NON-ILLUMINATED WAYFINDING SIGN

SCALE: 3/4" = 1'-0"

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National Sign & Marketing Corporation
13580 5th St., Chino, CA 91710
Tel 909.591.4742 Fax 909.591.9792
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Project: REXCO CORONA - Vista Dos Lagos
Address: DOS LAGOS DR. & TEMESCAL CANYON RD. CORONA, CA 92883
Phone: _____ **Account Mgr.** S. Rosenbloom
Designer: Araiza, G. **Scale:** Noted **Date:** 02/02/2021

Client Approval:

Date: _____

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.



Drawing Number
29064



VISEO
ELECTRONIC SIGNS



TREE PALETTE			
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	LAGERSTROEMIA INDICA 'GLENDDORA WHITE' GLENDDORA WHITE CRAPE MYRTLE MULTI-TRUNK	48"BOX	M
	LAGERSTROEMIA X 'TUSCARORA' RED CRAPE MYRTLE	36"BOX	M
	PHOENIX DACTYLIFERA DATE PALM	18' BTH	L
	PLATANUS X ACERIFOLIA 'BLOODGOOD' LONDON PLANE TREE	36"BOX	M
	QUERCUS AGRIFOLIA COAST LIVE OAK	48"BOX	L
	RHUS LANCEA AFRICAN SUMAC	15 GAL	L
	TRISTANIA CONFERTA BRISBANE BOX	24"BOX	M
EXISTING TREES TO REMAIN	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	LAGERSTROEMIA SP. CRAPE MYRTLE	-	
	TIPUANA TIPU TIPU TREE	-	
	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	-	

SHRUB / GROUNDCOVER PALETTE			
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	AGAVE DESMETIANA 'VARIEGATA' VARIEGATED AGAVE	15 GAL	L
	CALLISTEMON VIMINALIS 'LITTLE JOHN' DWARF WEEPING BOTTLEBRUSH	15 GAL	L
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	L
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	L
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GAL	L
	STRELITZIA JUNCCEA NARROW-LEAFED BIRD OF PARADISE	5 GAL	L

CORNER ACCENT PALETTE			
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	AGAVE DESMETIANA 'VARIEGATA' VARIEGATED AGAVE	15 GAL	L
	LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS PRIVET	15 GAL	M
	RHAPHIOLEPIS INDICA 'BALLERINA' BALLERINA INDIAN HAWTHORN	5 GAL	M
	ROSA X 'NOASCHNEE' TM FLOWER CARPET WHITE GROUNDCOVER ROSE	5 GAL	M
	ROSA X 'NOATRAUM' TM FLOWER CARPET PINK ROSE	5 GAL	M
	STRELITZIA REGINAE BIRD OF PARADISE	5 GAL	M

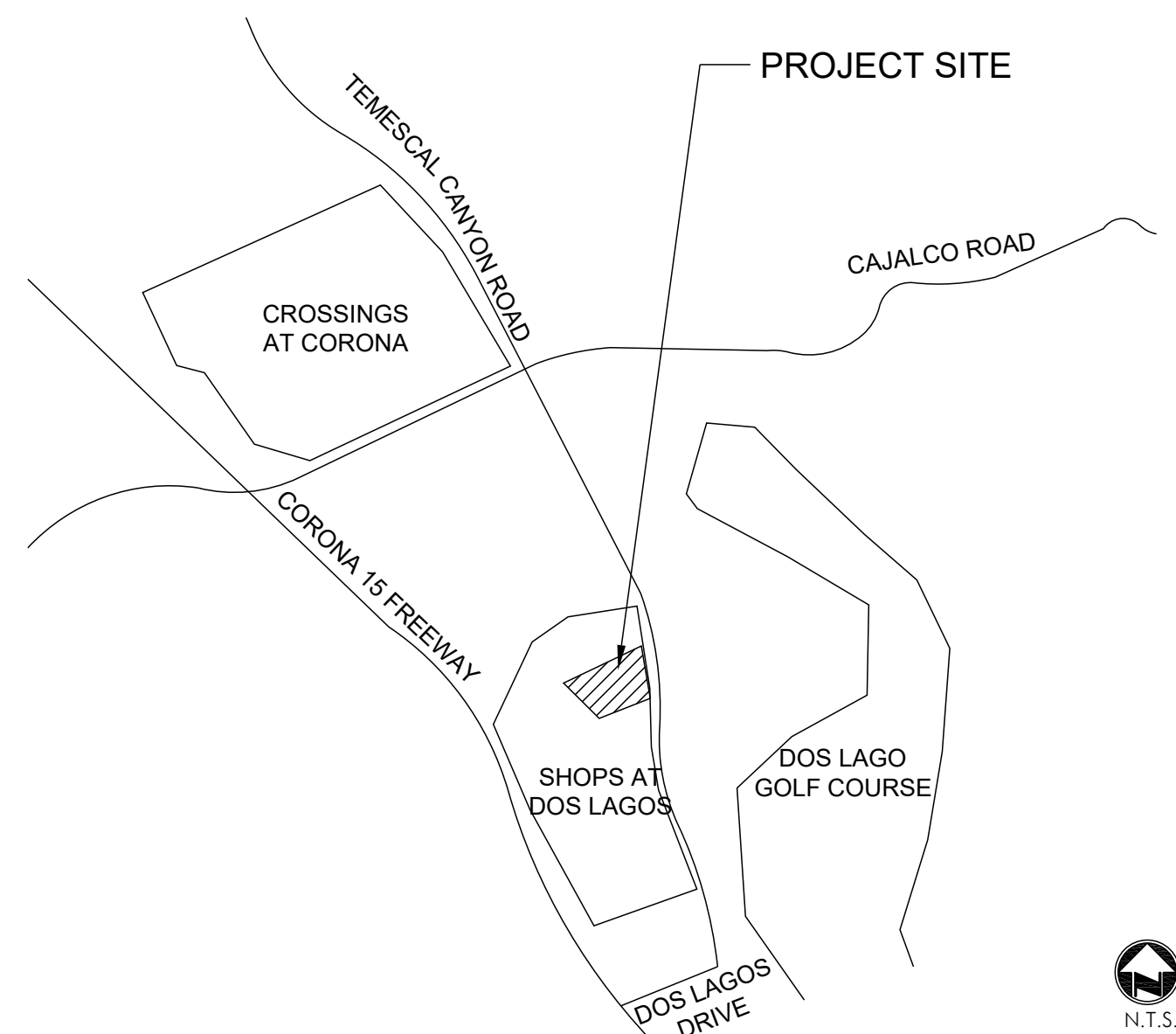
WATER EFFICIENT LANDSCAPE WORKSHEET							DATE:	12/18/2020
PROJECT: Vista Dos Lagos								
This worksheet is filed out by the project applicant and it is a required element of the Landscape Documentation Package.								
Reference Evapotranspiration (ET ₀)							56.37	
Conversion Factor							0.82	
Hydrozone # (Planting Description)*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF x IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas								
Low Water Use Plantings	0.2	Drip	0.81	0.25	178,463	44,066	154,000	
Moderately Low Water Use Plantings	0.4	Drip	0.81	0.49	15,733	7,777	27,148	
TOTALS					19,419	51,833	181,150	
Special Landscape Areas								
Turf areas				1	0	0	0	
perks					0	0	0	
Irrigated w/ recycled water				1	0	0	0	
Water features				1	0	0	0	
TOTALS					0	0	0	
						ETWU Total	181,150	
						Maximum Allowed Water Allowance (MAWA)**	305,407	
MAWA								
ETAF for residential areas is .55 or .45 for commercial areas								
MAWA =	ET ₀ *	Conv Factor *	(ETAF)	*	LA	+	(1-ETAF) *	SLA)
	56.37	0.82	0.45	*	19,419	+	0.55	0
MAWA=	305,407							
ETAF Calculations								
Regular Landscape Areas					All Landscape Areas			
Total ETAF x Area					Total ETAF x Area			
5,183					5,183			
Total Area					Total Area			
19,419					19,419			
Average ETAF					Sitewide ETAF			
0.27					0.27			
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								

CONCEPT STATEMENT

LANDSCAPE CONCEPT:
This landscape will consist of California-Friendly, low and medium water use plant material. All plants have been chosen from the low or medium water use category according to WUCOLS. Plants have been chosen to create a uniform theme across the site consisting of formal massings of attractive and textural sub-tropical, lush plantings backed by evergreen clipped and manicured hedges against the building and screening the parking lots. Shade trees will be used to provide shade coverage for much of the site. Large accent trees are located at major project entries and where enhanced planting areas are located to better welcome visitors. Maintenance and longevity of plant material has been taken into consideration. Root panels and barriers will be utilized on all trees necessary, consistent with all standards and specifications. A 3" layer of bark mulch will be used in all landscape areas. All landscape areas will conform to the current City of Corona Landscape Guidelines.

IRRIGATION CONCEPT:
The irrigation design will incorporate the latest in smart irrigation technologies. All new planter areas will include drip line. All planters will use drip line with an irrigation efficiency of .8. A smart irrigation controller with a rain shut off device will also be incorporated. Bark mulch will be used to retain moisture and reduce evaporation and an irrigation schedule will be provided to program the controller. Two irrigation schedules shall be prepared, one for plant establishment and one for after plant establishment. All new irrigation systems will comply with all current City of Corona Landscape Guidelines.

VICINITY MAP



VISTA DOS LAGOS



310 NORTH JOY STREET | CORONA, CA 92879
T: 951.737.1124 | F: 951.737.6551

CONCEPTUAL LANDSCAPE PLAN

PREPARED FOR REXCO DEVELOPMENT

2518 NORTH SANTIAGO BLVD ORANGE, CA 92667 PH: (951) 898-1502
01/25/2021

GRIFFCO LAND L.L.C.
2518 N. Santiago Blvd.
Orange, CA 92687
(951) 898-1502

October 7, 2020

Mr. Rafael Torres
Associate Planner
City of Corona
Community Development Department
400 S. Vicentia Avenue
Corona, CA 92879

Re: **DPR2020 – 0004**
Vista Dos Lagos
One (1) Office Building and One (1) Commercial Building located
On the South West Corner of Pronio Circle and
Temescal Canyon Road

Dear Mr. Torres,

Griffco land LLC is requesting a Precise Plan Review for the aforementioned project described as follows:

Proposed Land Use:

The construction of two (2) professional office buildings: one (1) 17,164 square foot office building and one (1) 4,236 square foot commercial building. The buildings are designed for medical/professional office uses. The site is on an approximate 2.06-acre parcel in the EC (entertainment commercial) zone of the Dos Lagos Specific Plan (SP99 - 03).

Surrounding Uses:

North: Dos Lagos Live/Work Community
East: Temescal Canyon Road
South: Dos Lagos Retail Center (Wood Ranch)
West: Dos Lagos Lake

Site Design / Access:

The project will include two free-standing professional/ commercial office buildings. The site will include adequate surface parking for tenants and guests. The site will have two points of access: one off Pronio Circle and the other through the Dos Lagos Retail Center. The streets will be designed to allow adequate vehicular access for tenants, visitors as well as emergency vehicles.

EXHIBIT 3.J

Architecture and Materials:

The exterior of the medical office building (building 1) will feature brick veneer and stone pilasters with clear aluminum finish. Exterior stair cases and building entries will be accented in stone veneer.

The exterior of the commercial office building (building 2) will feature a combination of brick veneer and plaster with clear aluminum finish and plaster-coated foam trim.

Parking & Access:

There will be adequate aisles for emergency access to the buildings. There will be 5 parking spaces per 1,000 sq ft of office area.

Landscaping:

Landscaping will consist of California-Friendly, low and medium water use plant material. Plants have been chosen to create a uniform theme across the site. Maintenance and longevity of plant material has been taken into consideration. Shade trees are used in the parking lot to provide shade coverage. All landscaped areas will conform to the current City of Corona Landscape Guidelines.

Comprehensive Sign Program:

Signage will consist of building signage in conformance with the signage standards set forth in the Dos Lagos Specific Plan and City of Corona Municipal Code, pursuant to a comprehensive sign program.

Griffco Land, LLC respectfully requests your consideration and approval of the proposed project. If you have any questions concerning this applications or the proposed project, please contact me at (951) 898-1502.

Respectfully submitted,

Griffco Land, LLC

Griffin Hauptert





CITY OF CORONA
MITIGATED NEGATIVE DECLARATION

NAME, DESCRIPTION AND LOCATION OF PROJECT:

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

ENTITY OR PERSON UNDERTAKING PROJECT:

Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

The City Council, having reviewed the initial study of this proposed project and the written comments received prior to the public meeting of the City Council, and having heard, at a public meeting of the Council, the comments of any and all concerned persons or entities, including the recommendation of the City's staff, does hereby find that the proposed project may have potentially significant effects on the environment, but mitigation measures or revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to a point where clearly no significant effects will occur. **Therefore, the City Council hereby finds that the Mitigated Negative Declaration reflects its independent judgment and shall be adopted.**

The Initial Study and other materials which constitute the records of proceedings, are available at the office of the City Clerk, City of Corona City Hall, 400 South Vicentia Avenue, Corona, CA 92882.

Date: _____

Mayor
City of Corona

Date filed with County Clerk: _____

EXHIBIT 4

CITY OF CORONA INITIAL STUDY / MITIGATED NEGATIVE DECLARATION

PROJECT TITLE: Vista Dos Lagos (PM 37221 and PP2020-0006)

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT LOCATION: Southwest corner of Pronio Circle and Temescal Canyon Road (APN 279-460-074) in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT PROPONENT: Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

PROJECT MAP:

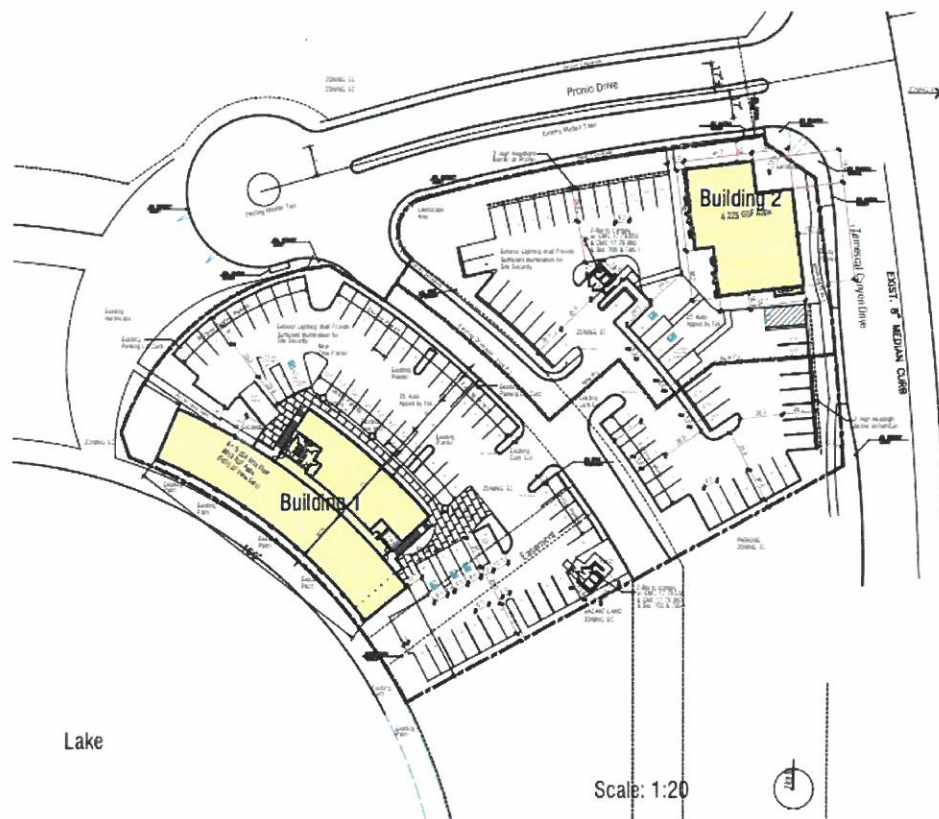


PROJECT DESCRIPTION:

The project is for the development of two new medical office buildings proposed on 2.065 acres in Planning Area 3 of the Dos Lagos Specific Plan (SP-99-03). The site is zoned Entertainment Commercial (EC) per the specific plan land use map, which permits medical office uses by right.

The project requires two applications: Parcel Map 37221 and Precise Plan 2020-0006. The parcel map, PM 37221, is a proposal to subdivide the project site into two parcels. Proposed Parcel 1 is 30,844 square feet and Parcel 2 is 59,125 square feet. The precise plan, PP2020-0006, is for the review of the site plan, architecture, and landscaping associated with the proposed project. Parcel 1 is to be developed with Building 1, which is a 17,164 square foot multi-unit medical office building. Parcel 2 is to be developed with Building 2, which is a 4,236 square foot stand-alone medical office building. The project is providing a total of 107 parking spaces, which will be shared among the tenants within the two buildings.

Site Plan



Building 1: 17,164 square feet
Building 2: 4,225 square feet

ENVIRONMENTAL SETTING:

Site Description: Presently, the site is developed with a parking lot. The project site is part of the master planned Dos Lagos community in which the Dos Lagos Specific Plan was approved for. The Specific Plan was analyzed for potential environmental impacts in the City of Corona Annexation No. 94 & Dos Lagos EIR, which was certified on June 21, 2000. In 2003, the Specific Plan area was mass and rough graded by the master developer to enable the construction of the necessary public infrastructure to support the development planned for the area.

Abutting the east side of the project site is Temescal Canyon Road, which is fully improved with roadway pavement, curb and gutter, sidewalk, and parkway adjacent to the site. Abutting to the north is Pronio Circle, which is improved

with roadway pavement, curb and gutter adjacent to the site. Sidewalks are currently missing along Pronio Circle adjacent to the project site.

Site Surroundings: Located across Temescal Canyon Road to the east of the site are single family residential condominium homes. Located across Pronio Circle to the north are live/work units. Abutting to the south and west is the development of *The Shops at Dos Lagos*, a commercial lifestyle center.

GENERAL PLAN \ ZONING:

The subject property is located within the Dos Lagos Specific Plan and zoned Entertainment Commercial, which permits for the use of medical offices. Therefore, the proposed project is consistent with the zoning of the project site.

The property has a General Plan designation of Mixed-Use 1 (MU1), which permits office uses. The MU1 designation establishes a Floor Area Ratio (FAR) limit of 2.0. The proposed office project has an FAR of 0.24, which does not exceed the site's FAR limit.

STAFF RECOMMENDATION:

The City's Staff, having undertaken and completed an initial study of this project in accordance with the City's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)", has concluded and recommends the following:

- ☐ The proposed project could not have a significant effect on the environment. **Therefore, a NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project could have a significant effect on the environment, however, the potentially significant effects have been analyzed and mitigated to below a level of significance pursuant to a previous EIR as identified in the Environmental Checklist attached. **Therefore, a NEGATIVE DECLARATION WILL BE PREPARED.**
- ☒ The Initial Study identified potentially significant effects on the environment but revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to below a level of significance. **Therefore, a MITIGATED NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project may have a significant effect on the environment. **Therefore, an ENVIRONMENTAL IMPACT REPORT is required.**
- ☐ The proposed project may have a significant effect on the environment, however, a previous EIR has addressed only a portion of the effects identified as described in the Environmental Checklist discussion. As there are potentially significant effects that have not been mitigated to below significant levels, a **FOCUSED EIR will be prepared to evaluate only these effects.**
- ☐ There is no evidence that the proposed project will have the potential for adverse effect on fish and wildlife resources, as defined in Section 711.2 of the Fish and Game Code.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The following indicates the areas of concern that have been identified as "Potentially Significant Impact" or for which mitigation measures are proposed to reduce the impact to less than significant.

- | | | |
|--|--|---|
| <input type="checkbox"/> Land Use Planning | <input type="checkbox"/> Hazards / Hazardous Materials | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Population and Housing | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geologic Problems | <input type="checkbox"/> Public Services | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Utilities | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Aesthetics | |
| <input type="checkbox"/> Transportation / Traffic | <input checked="" type="checkbox"/> Cultural Resources | |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Agricultural Resources | |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Greenhouse Gases | |

Date Prepared: September 11, 2021 Prepared By: Rafael Torres, Assistant Planner

Contact Person: Rafael Torres Phone: (951) 739-4973

AGENCY DISTRIBUTION

(check all that apply)

- _____ Responsible Agencies
- _____ Trustee Agencies (CDFG, SLC, CDPR, UC)
- _____ State Clearinghouse (CDFG, USFWS, Redev. Projects)
- _____ AQMD
- _____ Pechanga
- _____ Soboba
- _____ WQCB
- _____ Other _____

UTILITY DISTRIBUTION

_____ Southern California Edison

Southern California Edison
Adriana Mendoza-Ramos, Esq.
Region Manager, Local Public Affairs
1351 E. Francis St.
Ontario, CA 91761

Southern California Edison
Karen Cadavona
Third Party Environmental Review
2244 Walnut Grove Ave.
Quad 4C 472A
Rosemead, CA 91770

Note: This form represents an abbreviation of the complete Environmental Checklist found in the City of Corona CEQA Guidelines. Sources of reference information used to produce this checklist may be found in the City of Corona Community Development Department, 400 S. Vicentia Avenue, Corona, CA.

1. LAND USE AND PLANNING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with any land use plan/policy or agency regulation (general plan, specific plan, zoning)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with surrounding land uses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Physically divide established community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

The project site is located within the Dos Lagos Specific Plan and has a zoning of Entertainment Commercial (EC), which permits the development of office buildings building by right. The project site's General Plan designation is Mixed-Use 1, which allows for commercial uses. As the project is for the development of two medical office buildings, the project does not conflict with the site's zoning or General Plan.

b. & c.

The project site is surrounded by a man-made recreational lake to the west and commercial uses to the south. Located across Pronio Circle to the north is a live/work development, which is comprised of nontraditional residential units that have professional workspace incorporated into the units. The project's office use is considered commercial, which is compatible with the surrounding recreational and commercial land uses. The project is also compatible with the live/work units because the proposed office buildings are not expected to generate noise or other issues that would be considered obnoxious to nearby sensitive land uses. All uses would be contained inside the office buildings. Other nearby sensitive land uses include single family residential condominiums, which are located across Temescal Canyon Road to the east of the project site. These developments are located more than 150 feet from the project site, and Temescal Canyon Road provides a buffer between the residences and project site. Therefore, development of the proposed project would not conflict with the surrounding land uses nor divide the established community.

2. POPULATION AND HOUSING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Induce substantial growth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Displace substantial numbers of existing housing or people	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

The project will not induce substantial growth or displace existing housing or people because the zoning of the project site is intended for commercial uses. Also, the site contains no residential dwellings; therefore, development of the site would not displace existing housing or people. Therefore, no mitigation pertaining to this issue would be required.

3. GEOLOGIC PROBLEMS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fault /seismic failures (Alquist-Priolo zone) /Landslide/Liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Grading of more than 100 cubic yards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Grading in areas over 10% slope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Substantial erosion or loss of topsoil	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Unstable soil conditions from grading	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Expansive soils	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per the city's Property Information application, there are no known active faults crossing or projecting through the site. The site is not located in an Alquist-Priolo Earthquake Fault Zone and thus, ground rupture due to faulting is considered unlikely at this site. The project will be subject to city and county local codes, the latest California Building Code (CBC), and the engineering recommendations in the project's geotechnical investigation report prepared by South Shore Testing & Environmental (December 14, 2020). Therefore, any potential impacts related to fault/seismic failures would be reduced to a less than significant impact and no further mitigation would be necessary.

b.

The project would involve grading of more than 100 cubic yards. Adherence to the city's grading regulations and the grading specifications identified in the geotechnical investigation report would ensure a less than significant impact would occur and no further mitigation would be required.

c.

The subject site is in an area containing relatively flat mass-graded terrain that is utilized as a parking lot for the adjacent man-made lakes and commercial area. Therefore, landslides and grading on over 10% slopes are not expected to be an issue. No further mitigation would be necessary.

d. & e.

Development of the project would require the movement of on-site soils. Prior to the issuance of grading permits, the project applicant would be required to submit to the City detailed grading plans for the project site and would be required to comply with applicable city grading regulations established in the Corona Municipal Code. Furthermore, development of the site would involve more than one acre; therefore, the proposed project is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit. A Storm Water Pollution Prevention Plan (SWPPP) would also be required to address erosion and discharge impacts associated with the proposed on-site grading. Additionally, the project is required to submit a final Water Quality Management Plan (WQMP) which would identify measures to treat and/or limit the entry of contaminants into the storm drain system. Since the project is required to adhere to the City's grading regulations, obtain an NPDES Permit, and prepare an SWPPP and WQMP, impacts associated with soil erosion hazards are less than significant and no mitigation is required.

f.

The site generally consists of yellowish brown gravelly silty sand. Expansion index (EI) testing was performed by South Shore Testing & Environmental on the soil samples taken from the site. The results indicated that the EI for the onsite soils was an 11, which is considered to be non-expansive. Therefore, no further mitigation is warranted with respect expansive soils.

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than significant Impact	No Impact
4. HYDROLOGY AND WATER QUALITY:				
a. Violate water quality standards/waste discharge requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Deplete groundwater supplies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Alter existing drainage pattern	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Increase flooding hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Degrade surface or ground water quality	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Within 100-year flood hazard area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase exposure to flooding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Exceed capacity of storm water drainage system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., c., & e.

Development of the project site would increase the area of impermeable surface paving which will result in an increase in surface runoff. The applicant has submitted a preliminary Water Quality Management Plan (WQMP) prepared by Land Development Design Company, LLC. (April 17, 2019) to ensure that the project addresses potential water quality impacts. The applicant will be required to implement on site the Best Management Practices (BMPs) identified in the preliminary WQMP to minimize pollutant runoff into the City's storm water drainage system. A BMP for the project is to maintain landscaping using

minimum or no pesticides. Another BMP is to sweep sidewalks and parking areas regularly and to prevent accumulation of litter and debris. The applicant will implement underground storm water detention and infiltration systems on the north portion of the site. Prior to issuance of a grading permit, the applicant will be required to submit a final WQMP to be reviewed by the City's Land Development Division. This will result in a less than significant impact to water quality and therefore, no further mitigation is required.

b.

Per the city's Draft Temescal Subbasin Groundwater Sustainability Plan (September 2020), the project site is located in the western portion of the Temescal Groundwater Basin of the Upper Santa Ana River Valley Basin. The Temescal Groundwater Basin encompasses a surface area of 23,500 acres (37 square miles) with recharge predominantly occurring from percolation of precipitation on the valley floor and infiltration of stream flow within tributaries exiting the surrounding mountains and hills. The proposed project's ability to interfere substantially with groundwater recharge lies within the installation of impermeable surfaces, which would reduce the amount of land available for groundwater recharge. Although the development of the proposed project would result in the installation of impermeable surfaces and infrastructure, the amount of land rendered impermeable by implementation of the proposed project is less than one percent of the total area of 23,500 acres of the groundwater basin's total recharge area. The project does not present a loss of permeable surface area for the Temescal Groundwater Basin, therefore, impacts associated with this topic are considered to be less than significant and no mitigation would be required. Furthermore, the project does not propose construction of wells or direct pumping of groundwater.

f. & g.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMS), the project site is not within the 100-year or 500-year flood hazard areas. Development of the project site will not result in a flooding hazard, nor will it expose the site and surrounding area to flooding. Therefore, no impacts are anticipated with respect to flooding and no mitigation is required.

h.

The project is designed to ensure that the runoff generated by the project can be intercepted and conveyed to the existing off-site storm drain system in a safe and nondestructive manner, while adhering to regional and local design requirements, including those requirements within the project's WQMP's. Also, the proposed flows and capacities generated by the new development do not exceed the capacity of the existing stormwater system and do not increase the potential for on-site or off-site flooding. Therefore, the development of the project site would not result in exceeding the capacity of the city's storm drain system and no mitigation is warranted.

5. AIR QUALITY:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with air quality plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Violate air quality standard	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Net increase of any criteria pollutant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to pollutants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

An Air Quality & Greenhouse Gas Impact Study (RK Engineering Group, Inc., March 19, 2021) was prepared for the project to analyze potential air impacts associated with the proposed project. Emissions were calculated using the latest version of CalEEMod (v2016.3.2), which is a computer model approved by the South Coast Air Quality Management District (SCAQMD) to calculate criteria pollutant emissions. The following discusses the project's compliance to air quality plans and potential short-term and long-term air quality impacts.

a.

The project site is located within the South Coast Air Basin, an area covering approximately 6,745 square miles and bounded by the Pacific Ocean to the west and south and the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east. The Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. Air quality within the Basin is regulated by the SCAQMD which is required, pursuant to the federal Clean Air Act, to reduce emissions of criteria pollutants for which the Basin is in nonattainment. At the state level, air quality is regulated by the California Air Resources Board (CARB) and at the federal level it is the U.S. Environmental Protection Agency (EPA). The project would be subject to SCAQMD's Air Quality Management Plan (AQMP), which contains a comprehensive list of pollution

control strategies directed at reducing emissions and achieving ambient air quality standards. The 2016 AQMP is based on projections originating with county and city general plans. Since the proposed project is consistent with the City of Corona General Plan, the project would be consistent with the 2016 AQMP. Therefore, no impacts would occur with respect to AQMP implementation, and no mitigation measures are required.

b. & c.

Short-term Impacts

Construction of the project is estimated to begin in the year 2021 and expected to last approximately one year from the time permits are issued. Any project with daily regional emissions that exceed any of the regulated thresholds should be considered as having an individually and cumulatively significant air quality impact. Construction activities would include site preparation, grading, building construction, paving, and the application of architectural coatings. Construction equipment would include excavators, graders, dozers, tractors, a water truck during grading; cranes, forklifts, generators, tractors, welders during building construction; pavers, mixers, rollers and paving equipment during paving, and air compressors during architectural coatings. These activities would result in emissions of ROG, NO_x, CO, SO₂, PM₁₀, and PM_{2.5} which have regional significance thresholds established by the SCAQMD. During construction, the project is expected to comply with the regulatory construction requirements under the SCAQMD Rules. The project's estimated maximum daily construction emissions are summarized below in Table 5-A. As shown, emissions resulting from project construction would not exceed the SCAQMD regional thresholds of significance for regulated pollutants. Therefore, a less than significant impact would occur, and no mitigation is required.

TABLE 5-A
Expected Daily (Short-Term) Construction Emissions

Year	ROG	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
2020 (lb/day) Unmitigated	2.45	21.37	16.15	0.03	7.66	4.31
2021 (lb/day) Unmitigated	21.87	17.12	15.71	0.03	1.18	0.88
Significance Threshold (lb/day)	75	100	550	150	150	55
SCAQMD Impact?	NO	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Long-term Impacts

Long-term air quality impacts are associated with operational activities the proposed project that will result in emissions of ROG, NO_x, CO, SO₂, and PM₁₀. Operational emissions would be expected from the following three sources related to the long-term operations of the proposed project:

- Mobile source emissions (project vehicle trips)
- Area source emissions (usage of natural gas, landscape equipment, and architectural coatings)
- Energy source emissions (usage of electricity and natural gas for space heating and cooling, water heating, ventilation, lighting, appliances, and electronics)

The area, energy, mobile sources are calculated using CalEEMod. CalEEMod utilized the proposed land use and then estimates worst-case air quality emissions from worst-case trip generations. Also, emissions are calculated using the State of California EMFAC (Emission Factor) 2014 model, which is built into the CalEEMod. Estimates are provided for both the Summer and Winter operational months. Shown in Table 5-B, the project's expected daily long-term emissions would not exceed the SCAQMD thresholds for ROG, NO_x, CO, SO₂, and PM₁₀. Therefore, this would be less than significant, and no mitigation is required.

Table 5-B:
Expected Daily (Long-Term) Operational Emissions

	ROG	NO _x	CO	SO ₂	PM ₁₀
Summer Scenario					
Operational Emission Estimates (lb/day)	1.02	3.64	6.07	0.03	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO
Winter Scenario					
Operational Emission Estimates (lb/day)	0.94	3.65	5.25	0.02	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

d.

LSTs

A Localized Significance Thresholds (LSTs) analysis was conducted for the project. LST analyses are applicable to project sites that are five acres or less per SCAQMD. LSTs represent the maximum emissions from a project that will not cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard at the nearest residence or sensitive receptor. Sensitive receptors are defined as facilities or land uses that include members of the population that are particularly sensitive to the effects of air pollutants, such as children, the elderly, and people with illnesses. Examples of sensitive receptors are residences, schools, hospitals, and daycare centers. The California Air Regional Board (CARB), which establishes ambient air quality standards for major pollutants to protect public health, has identified the following groups of individuals as the most likely to be affected by air pollution: the elderly over 65 years of age, children under 14, athletes, and persons with cardiovascular and chronic respiratory diseases such as asthma, emphysema, and bronchitis.

Sensitive receptors near the project site include surrounding residences located north and east of the project site. In order to identify impacts to sensitive receptors, the SCAQMD recommends addressing localized significance thresholds (LSTs) for construction and operations impacts (area source only). LSTs were developed in response to SCAQMD Governing Boards' Environmental Justice Enhancement Initiative (I-4). The SCAQMD provided the Final Localized Significance Threshold Methodology to assist lead agencies in analyzing localized air impacts. The SCAQMD provides the LST screening lookup tables for one, two, and five-acre projects emitting CO, NOX, PM2.5, or PM10. The LST methodology and associated mass rates are not designed to evaluate localized impacts from mobile sources traveling over the roadways. The nearest Source Receptor Area (SRA) is located 54 meters from the site.

Tables 5-C and 5-D illustrate the project's construction and operational related localized emissions and compare the results to SCAQMD 2-Acre LST Emission Thresholds. The emissions in both tables will be below the SCAQMD thresholds. However, the results assume that the project would be complying with all standard SCAQMD rules and requirements with regard to fugitive dust control. For reference, the applicable fugitive dust control measures are listed below. These are design features, which the project is required to comply with and are included in the project conditions of approval for PP2020-0006 and PM 37221. With implementation of the dust suppression techniques, the project's construction and operational impacts to localized air resources would be less than significant.

Construction Design Features:

1. All active construction areas shall be watered two (2) times daily.
2. Speed on unpaved roads shall be reduced to less than 15 mph.
3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.
4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.
5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.
6. Access points shall be washed or swept daily.
7. Construction sites shall be sandbagged for erosion control.
8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).
9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.
10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.
11. Replace the ground cover of disturbed areas as quickly possible.
12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.
13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.
14. Construction equipment shall be maintained in proper tune.
15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.
16. Minimize the simultaneous operation of multiple construction equipment units.
17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.
18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).
20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.
21. Utilize zero VOC and low VOC paints and solvents, wherever possible.

Table 5-C: 2-Acre LST Emission Thresholds

Pollutant	LST @ 50 meters for 2 acres (lb/day)
CO	1,474
PM ₁₀ (Construction)	18
PM ₁₀ (Operation)	5
NO ₂ (Corrected utilizing NO ₂ /NO _x Ratio) Construction and Operation	200

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Table 5-D: Project Emissions

Pollutant	Project Emissions (lb/day)	Threshold	Impact
CO	64.25	1,474	No
PM ₁₀ (Construction)	12.35 (onsite)	18	No
PM ₁₀ (Operations)	1.83	5	No
NO ₂ Construction	86.9	200	No
NO ₂ Operation	3.65	200	No

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

e.

Land uses generally associated with odor complaints include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting operations, refineries, landfills, dairies, fiberglass molding facilities. The project does not contain land uses associated with emitting objectionable odors. Potential odor sources associated with the proposed project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities. However, these activities would be temporary, short-term, and intermittent in nature and would cease upon completion of the project's construction phase. Other potential odor sources associated with the project include the temporary storage of typical solid waste (refuse) associated with the project's long-term operational uses. However, it is expected that project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the City's solid waste regulations. The project would also be required to comply with SCAQMD Rule 402 to prevent occurrences of public nuisances. Therefore, odors associated with the project's construction and operations would be less than significant and no mitigation would be required.

6. TRANSPORTATION/TRAFFIC:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Increase the total daily vehicle miles traveled per service population (population plus employment) (VMT/SP) above the baseline level for the jurisdiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Cause total daily VMT within the study area to be higher than the No Project alternative under cumulative conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Change in air traffic patterns	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Traffic hazards from design features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g. Emergency access | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Conflict with alternative transportation policies | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

a.

Project access is proposed from an existing driveway located on Pronio Circle, approximately 250 feet west of Temescal Canyon Road. A secondary access will be provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Shops at Dos Lagos commercial development south of the project site.

The project is bounded by Temescal Canyon Road to the east and Pronio Circle to the north. Temescal Canyon Road is a north-south, four-lane divided roadway located east of the project site. It is classified as a major arterial street per the General Plan and is required to have an overall right-of-way width that ranges from 106 feet to 120 feet. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, parkway, and sidewalk. No additional widening is required for Temescal Canyon Road. Pronio Circle is a local street and improved with curb and gutter, but has a missing sidewalk adjacent to the project site. The applicant is conditioned to construct the missing sidewalk with the development of the project site. No additional widening is necessary for Pronio Circle. Therefore, the project would not conflict with the city's applicable traffic patterns, ordinance, or policies related to the performance of the city's circulations system, and no mitigation is warranted.

b.

The Corona Annexation No. 94 & Dos Lagos Specific Plan EIR projected 324,428 square feet of general office/business park and 531,432 square feet of light industrial/research and development uses would be developed within the Dos Lagos Specific Plan at buildout. Both land uses permit office use. Currently, Planning Areas 4 and 5 within the Specific Plan are approved for the development of three office buildings totaling 472,705 square feet. With the exception of Planning Area 3 which contains the project site, all other planning areas within the Specific Plan are already developed for commercial retail, residential, light industrial, or recreational (i.e. golf course) uses. There are no other planning areas within the Specific Plan that can accommodate the development of additional offices. Therefore, the amount of offices at that was originally analyzed in the EIR is currently underbuilt by 383,155 square feet. The project is proposing to add 21,400 square feet of office use to the Specific Plan, which would be covered under EIR since office use is underbuilt. The current proposal does not change the analysis that was considered under the EIR because the current proposal intends to develop the project site for office purposes, which is consistent with the Entertainment Commercial zoning of the project site.

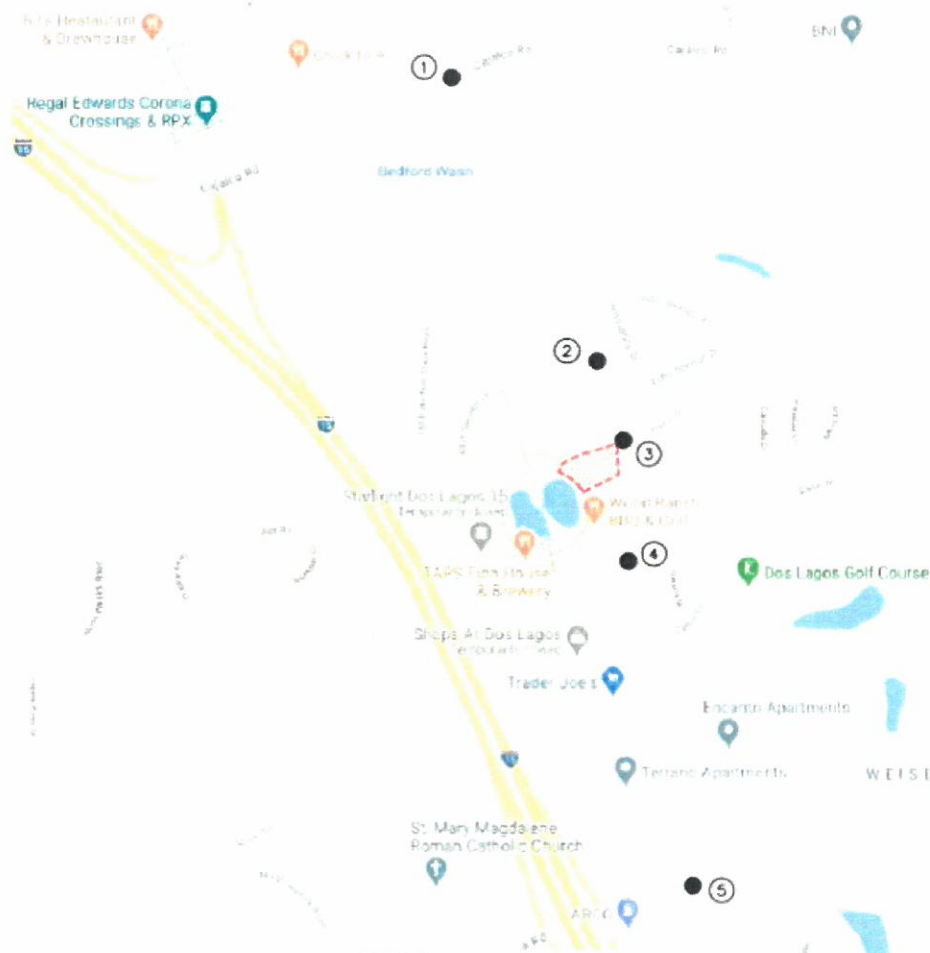
Although the city has adopted VMT thresholds pursuant to SB 743, as explained above, the proposed office project was previously analyzed in the Corona Annexation No. 94 & Dos Lagos Specific Plan EIR. All potential traffic impacts related to office use were analyzed in the EIR, and all necessary traffic mitigation identified in the EIR have been met. Therefore, a VMT analysis was not required for the project.

SB 743 does not prevent local agencies from using Level of Service (LOS) in their General Plan to determine a project's fair share participation the construction of transportation improvements outside of CEQA. The city still utilizes LOS in its General Plan. Although no longer a requirement for CEQA in determining environmental impacts associated with LOS, the city can impose conditions of approval to require construction of certain transportation infrastructure improvements or payment of a fair share toward the cost of such improvements warranted by the project. A focused traffic impact analysis (TIA) was prepared for the project by Linscott, Law & Greenspan (dated April 20, 2020) to analyze the potential LOS impacts associated with the proposed project on the surrounding area of the project site. The city considers LOS D the be minimum acceptable LOS for all intersections that consist of collector and arterial roadways.

The project is forecast to generate 758 net daily trips (one half arriving and one half departing), with 97 net trips (64 inbound, 33 outbound) produced in the AM peak hour and 60 net trips (22 inbound, 38 outbound) in the PM peak hour.

The TIA analyzed five (5) existing nearby street intersections and the project's driveway entrance on Pronio Circle. The study intersections included the following:

1. Temescal Canyon Road at Cajalco Road
2. Temescal Canyon Road at Blue Springs Drive
3. Temescal Canyon Road at Pronio Circle
4. Temescal Canyon Road at Lakeshore Drive
5. Temescal Canyon Road at Dos Lagos Drive



LL&G (April 30, 2020)

In Year 2021 without project traffic conditions, the intersection at the intersection of Temescal Canyon Road and Cajalco Road is forecast to operate at an unacceptable LOS E. In same year with project traffic conditions, the LOS at the same street intersection is also forecast to operate at an unacceptable LOS E. In order to bring the operating condition of the intersection to an acceptable level of service, the developer is required to complete the following improvements: 1) install an eastbound right-turn lane overlap traffic signal, and 2) restrict the northbound U-turn movement with signage. Alternatively, the developer may pay a fair-share cost of the total cost of constructing the recommended roadway improvements, as determined by the traffic impact analysis approved by the City. The improvements are required under Conditions 37 and 38 of the Conditions of Approval for PM 37221.

- Condition 37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.
- Condition 38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.

A queueing analysis was prepared for the left-turn lane at the intersection of Temescal Canyon Road and Pronio Drive. The left-turn lane has an existing vehicle storage of 135 feet. The traffic impact analysis determined that the existing storage of 135 feet is sufficient for Year 2021 with project traffic conditions.

e. The project site is located approximately 7.5 miles southeast of the Corona Municipal Airport. The proposed office buildings are no more than 34 feet in height. Because of the project site's distance from the airport and the proposed height of the buildings, the project would not impact air operations, nor would it cause change to air traffic patterns. Also, the project is not located within an airport land use compatibility zone. Therefore, no impact related to this issue would occur and no mitigation is required.

f.

LL&G evaluated the internal circulation in terms of vehicle-pedestrian conflicts and driveway spacing. Based on the proposed site plan, the overall layout does not create any significant vehicle-pedestrian conflict points as the parking lots are self-contained. Motorists entering and exiting the project site from the existing internal driveway will be able to do so comfortably, safely, and without undue congestion as Pronio Circle provides a circular terminus to accommodate both resident and patron traffic for proper turnaround circulation. The project site also has a secondary access from within The Shops commercial development to the south of the project. Therefore, no impacts related to traffic hazards from design features are expected.



LL&G, April 30, 2020

g.

The project design has been reviewed by the city's Fire and Police Departments for fire and emergency access; therefore no impacts are expected.

h.

The project site is located in an area that is served by the Riverside Transit Agency (RTA) and "Corona Cruiser," a Fixed Route service by the City of Corona. The RTA's Route 206 is the nearest bus line to the project site. Route 206 runs from Corona Transit Center to Promenade Mall, and traverses the project area along Temescal Canyon Road, Cajalco Road, and Dos Lagos Drive. During the AM peak hour, there is one southbound bus, and the PM peak hour, there are two northbound buses and one southbound bus. Route 206 has a bus stop at the corner of Temescal Canyon Road and Pronio Road which is the nearest bus stop to the project site. The Corona Cruiser runs along pre-designated Blue Line and Red Line fixed routes. The Corona Cruiser has a Red Line bus stop located at the intersection of Temescal Canyon Road and Pronio. This route does not traverse any of the study intersections analyzed in this report during weekdays, but the Red Line provides service to the Shops at Dos Lagos on Saturdays via Temescal Canyon Road from the north. The project would not conflict with any of the RTA or Corona Cruiser routes. Therefore, the project would not impact alternative transportation policies and no mitigation is required.

7. BIOLOGICAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Endangered or threatened species/habitat	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Riparian habitat or sensitive natural community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Adversely affects federally protected wetlands	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interferes with wildlife corridors or migratory species	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflicts with local biological resource policies or ordinances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Conflicts with any habitat conservation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., c., e., & f.

The proposed project will not impact biological resources as the project site in which the proposed development will occur was analyzed under the City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, which was a cumulative environmental analysis of the 543 acres within the plan boundary. Per the EIR, the site was historically used for mining operations. The former Owens-Illinois processing plant and silica sand mining operation occupied the central and western portion of the Dos Lagos area. In 2003, the master developer mass and rough graded the Dos Lagos project area in order to begin the construction on the public infrastructure for the entire Specific Plan. The project site was included as part of the mass and rough grading. Presently, the project site contains an asphalt parking lot that is being used by the neighboring recreational and commercial uses.

In accordance with the mitigation measures in the EIR, the master developer obtained all the required regulatory permits from the responsible agencies prior to the initial grading within the Specific Plan boundary. The master developer also mitigated the impacts to biological resources accordingly. As such, the development of the project site will not impact biological resources.

The project site is not located within a MSHCP Subunit or Criteria/Cell Group. Therefore, no Reservation Assembly Analysis is required. The nearest Criteria Cell is Cell 2507, which is located approximately 0.30 miles east of the Project site. The project site is separated from Cell 2507 by existing residential developments and roadway improvements. The project site is not located within a designated assessment area for Narrow Endemic Plant Species, Criteria Area Plant Species, amphibians, mammals, or the burrowing owl.

The applicant is required to pay applicable fees related to Riverside County's Multiple Species Habitat Conservation Plan, or MSHCP. This MSHCP is a habitat conservation plan for Western Riverside County that identifies land to be preserved for habitat for threatened, endangered or key sensitive populations of plant and wildlife species. The applicant is subject to the MSHCP mitigation fee for commercial development. This fee will be used to acquire and preserve vegetation communities and natural areas, which are known to support these sensitive species.

d.

The project site is in a developed area surrounded by a roadway, freeway, and residential and commercial developments. Therefore, developing the project site would not interfere with wildlife movement and no mitigation would be required.

8. MINERAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Loss of mineral resource or recovery site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per Figure 4.2 of the 2020-2040 General Plan Technical Background Report, the project site is not located in an oil, gas or mineral resources site. Therefore, no mitigation is warranted.

9. HAZARDS AND HAZARDOUS MATERIALS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Transport, use or disposal of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Risk of accidental release of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Hazardous materials/emissions within ¼ mile of existing or proposed school	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Located on hazardous materials site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with Airport land use plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Impair emergency response plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase risk of wildland fires	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & d.

A Phase I Environmental Site Assessment (Phase I ESA) was conducted for the project site by Property Solutions, Inc. (August 10, 2009), to evaluate the physical conditions of the project site and to uncover any hazardous wastes that may have previously been used, treated, stored, or disposed on the project site.

The site is not listed in any federal or state-reported environmental databases related to underground storage tanks, hazardous waste generation, or hazardous material releases. A field visit of the site was conducted by Property Solutions, Inc. No pits, ponds, lagoons, swales, or surface impoundments potentially containing hazardous materials were observed on the property. No above or underground storage tanks were observed during the site visit. No other potential issues of concern such as asbestos, PCB-containing materials, solid waste, or hazardous materials were observed. Therefore, impacts related to accidental release of hazardous materials is not expected and no mitigation is required.

c.

The nearest schools to the project site are El Cerrito Intermediate and Wilson Elementary School. El Cerrito Intermediate is located approximately 1.65 miles north of the project site. Wilson Elementary School is located approximately 1.85 miles west of the project site. The schools are separated from the project site by existing residential and commercial developments, highways, and roadways. Also, development of the proposed project would not include any activities that would result in hazardous emissions or handle hazardous materials, substances, or waste in a manner that could result in toxic emissions. Therefore, this would be a non-issue and no mitigation is required.

e.

The nearest airport to the project site is the Corona Municipal Airport, located approximately 7.5 miles northwest of the project site. Based on the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not within any identified safety or compatibility zone and therefore, does not conflict with the ALUCP and no mitigation is warranted.

f & g.

The project site is not located in proximity to the Cleveland National Forest, nor is it considered an area that can be described as a wildland area. The project site is an infill site located within an urbanized area. Due to the urbanized nature of the surrounding area, the proposed development would not be considered at high risk for fire hazards. Furthermore, all development within the City of Corona is required to comply with all fire code requirements associated with adequate fire access, fire flows, sprinklers, and number of hydrants. Therefore, the project would have no impact and no mitigation is required.

10. NOISE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed noise level standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure to excessive noise levels/vibrations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Permanent increase in ambient noise levels	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Temporary increase in ambient noise levels

☐☒☐☐

e. Conflict with Airport Land Use Plan noise contours

☐☐☐☒**Discussion:**

a., b., c., & d.

Long-term noise impacts will be minimal given that the proposed use is office where all operations would be conducted inside the buildings. The long-term noise impacts associated with the project would be generated from parking lot noise, mechanical HVAC equipment, and conversation/outdoor noise. The nearest sensitive area would be the existing residential condominiums across Pronio Circle approximately 60 feet from the project site. The project is subject to the City's noise standards for stationary noise under CMC Section 17.84.040(C) shown below. Thus, the project's long-term noise would have no significant impact and no mitigation is required.

CMC Section 17.84.040(C)

TABLE 1				
STATIONARY NOISE SOURCE STANDARDS				
TYPE OF LAND USE	MAXIMUM ALLOWABLE NOISE LEVELS			
	Exterior Noise Level		Interior Noise Level	
	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.
Single-, Double- and Multi-Family Residential	55 dBA	50 dBA	45 dBA	35 dBA
Other Sensitive Land Uses	55 dBA	50 dBA	45 dBA	35 dBA
Commercial Uses	65 dBA	60 dBA	Not applicable	Not applicable

Short-term impacts are associated with future grading and project construction, and are reduced to a less than significant level by the city's Municipal Code. Per CMC Chapter 17.84, construction activities are prohibited between the hours of 8:00 p.m. to 7:00 a.m. Monday through Saturday, and 6:00 p.m. to 10:00 a.m. on Sundays and federal holidays. This will prevent nuisance noise impacts during sensitive time periods of early morning and nighttime for the residences located north (across Pronio Circle) of the project site. To further reduce the potential for noise impacts, a list of design features are shown below. **(Mitigation Measure 10-A)**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

Mitigation Measures:**MM 10-A**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

e.

Per the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not located in an identified airport land use compatibility zone; therefore, no impact associated within this issue would occur and mitigation is not required.

11. PUBLIC SERVICES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fire protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Police protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Parks & recreation facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Other public facilities or services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The Corona Fire Department (CFD) will provide all emergency and medical aid calls to the project site. Station 7 will provide first response and is located on Bedford Canyon Road, near Interstate 15, approximately 1.1 miles from the project site. Station 7 is located approximately 1.1 miles from the project site and should generate quick response times to the project site. Therefore, response times to the project site will not be impacted and the project site does not require the construction of new fire protection facilities.

b.
The City of Corona Police Department will provide patrol and emergency response to the project site. The Police Department presently has over 200 employees, including officers and support staff and is stationed at 730 Public Safety Way, which is approximately 6.15 miles from the project site. The City's police patrol officers work assigned zones throughout the city; therefore, officers responding to the project site can come from either the city's police station or from their assigned zone while on patrol. Therefore, police services are not anticipated to be impacted by the proposed project and the project does not require the construction of new police protection facilities.

c.
The proposed project is commercial and will not result in residential development that would lead to the generation of additional students. The applicant is required to pay the applicable development impact mitigation school fees. Therefore, no further mitigation is warranted.

d.
The development of the project site does not require the construction of new public facilities. The developer however is required to pay the city's Development Impact Fees prior to the issuance of building permits. This is enforced by city ordinance (CMC Chapter 16.23); therefore, no mitigation is warranted with respect to impacts on City and public services.

12. UTILITIES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed wastewater treatment requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Involve construction/expansion of water or wastewater treatment facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Involve construction/expansion of storm drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Sufficient water supplies/compliance with Urban Water Management Plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Adequate wastewater treatment capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Adequate landfill capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Comply with solid waste regulations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & e.
As required for all projects by the City's Utilities Department, the project is required to construct or guarantee the construction

of all necessary public water and sewer facilities needed to serve the project. All water and sewer facilities are required to be designed per the standards of the Utilities Department and Riverside County Department of Health Services and will be reviewed by the Utilities Department during the plan check process. This would reduce the impacts to less than a significant level and therefore, no further mitigation would be required.

c.

The project does not require the construction of additional storm drains or expansion of existing storm drains. The city's existing storm drains have sufficient capacity to receive flows from the project site. Therefore, no impacts are expected.

d.

As discussed under the Hydrology and Water Quality section, a preliminary WQMP was prepared for the project. As part of the project's grading permit process, the applicant is required to submit a final WQMP and the city's Public Works inspector also inspects the project site for compliance with the final approved WQMP during the on-site grading process and at time of project completion. Therefore, the project would not impact water quality or violate water quality standards and no mitigation is required.

f. & g.

Waste Management (WM) is contracted by the City of Corona as the sole hauler of solid waste and provider of recycling services. WM provides refuse collection to residential, commercial, and industrial customers. Based on the solid waste generation identified in Table 12-A, solid waste from the project would be transported to the El Sobrante landfill located at 10910 Dawson Canyon in Corona. The El Sobrante landfill accepts a maximum 16,054 tons of waste per day and has a remaining capacity of 143,977,170 tons and an estimated closure date of 2051.

TABLE 12-A

Landfill	Location	Remaining Capacity (cubic yards)	Estimated Closure Date	Maximum Daily Permitted Tonnage	Actual Average Daily Disposal, tons ¹	Residual Disposal Capacity, tons per day
El Sobrante	10910 Dawson Canyon Road Corona, CA 91719	143,977,170 ¹	2051	16,054	5,599 ⁴	10,455
Olinda Alpha	1942 North Valencia Avenue Brea, CA 92823	34,200,000 ²	2021	8,000	3,638 ⁵	4,362
Total		178,177,170	NA	24,054	9,237	14,817

Source: Table 5.19-10 Environmental Analysis – Utilities and Service System - Solid Waste of General Plan Technical Update of Corona General Plan Final Environmental Impact Report, December 2019

Per the General Plan Technical Update EIR, the County of Riverside is required to maintain 15 years identified disposal capacity or have a plan to transform or divert its waste, pursuant to AB 939. There is adequate landfill capacity in the region for solid waste that would be generated by the 2020-2040 General Plan buildout. Furthermore, new developments approved by the City would be required to contain storage areas for recyclable materials in conformance with California Public Resources Code Sections 42900 et seq., and the City of Corona Municipal Code Chapter 8.20 (Collection of Refuse and Recyclable Materials). Solid waste diversion program would continue operating and would have adequate capacity to accept all future wastes and recyclables to reduce landfilled waste. Additionally, solid waste service fees would be charged to individual property owners when services are initiated to offset operation costs associated with solid waste collection and disposal. Therefore, the project is anticipated to create a less than significant impact to landfill capacity and no mitigation would be required.

13 AESTHETICS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Scenic vista or highway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Degrade visual character of site & surroundings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Scenic resources (forest land, historic buildings within state scenic highway)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Light or glare	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

Per Figure 4-5 of the 2020-0040 City of Corona General Plan Technical Background Report, Temescal Canyon Road is not a scenic vista or highway. Development of the site will be subject to the development standards and architectural guidelines of the Dos Lagos Specific Plan which permit commercial buildings up to a maximum height of 60 feet. The buildings proposed on the project site would have the one-story corner building at a height of approximately 23 feet with the two-story lakeview terrace building at approximately 30 feet in height. Both buildings have brick and plaster finishes. The windows are tinted glass with metal awnings. Rooftop mechanical equipment will be screened from street view by parapet walls. The buildings overall are aesthetically pleasing and attractive and would not cause degradation to the area. Therefore, no mitigation with respect to the aesthetics of the development is required.

c.

The project site is not located immediately adjacent to any forest lands. There are no historic buildings located in the vicinity of the project site. No state-designated scenic highway is located within the vicinity of the project site. Therefore, the project would not impact scenic resources and no mitigation is required.

d.

A photometric analysis was prepared by Gouvis Engineering Consulting Group, Inc. to analyze the project's on-site lighting for compliance with the city's performance standard for glare and to ensure that the on-site lighting will not be a nuisance to the existing residential buildings located in the vicinity of the project site. The exterior lighting proposed for the development consists of LED wall lights on the buildings and parking lot light poles. The lighting is designed to provide vertical light distribution, reduced offsite visibility, and reduced on-site glare while providing effective security light levels.

The analysis demonstrates the project's compliance with the city's regulations pertaining to glare per Section 17.84.070 of the Corona Municipal Code, which states that "all areas of exterior lighting shall be designed to direct light downward with minimal spillover onto adjacent residences, sensitive land uses, and open space." The nearest sensitive land uses are live/work units which are located approximately 60 feet north of the project site across Pronio Circle. The analysis shows that the project's exterior lighting would result in minimal glare spillover onto Pronio Circle and the surrounding land uses. The project's lighting would not result in a significant change to the area because the project is located in an urban area that already has a significant amount of ambient lighting from street light poles and commercial and residential lighting. Furthermore, the project's proposed parking lot light poles are designed with a hood that directs light downwards. Therefore, glare effects from the project is not expected to be an issue and no mitigation is warranted.

14. CULTURAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Historical resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Archaeological resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Paleontological resource or unique geologic feature	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Disturb human remains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., & c.

Since the site was previously mass graded during the development of the Dos Lagos community, it is highly unlikely that the site would contain historical, archaeological, or paleontological resources. Also, per the paleontological resources study conducted for the project site by Cogstone (March 2016), no fossils were observed on the site during Cogstone's field survey

However, if unanticipated fossils are unearthed during construction, work should be halted in that area until a quantified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find. Also, the project is required to comply with Mitigation Measure 7 under the **Tribal Cultural Resources** section, which addresses the disturbance of human remains. Compliance with these requirements would reduce impacts to cultural resources to less than significant. (MM 14-A and MM 17-F)

Mitigation Measure:

MM 14-A If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
15. AGRICULTURE RESOURCES:				
a. Williamson Act contract	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conversion of farmland to nonagricultural use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The California Land Conservation Act of 1965, commonly referred to as the Williamson Act, enables local governments to enter into contracts with private landowners for the purpose of restricting specific parcels of land to agricultural or related open space use. In return, landowners receive property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value. The purpose of the Act is to encourage property owners to continue to farm their land, and to prevent the premature conversion of farmland to urban uses. The project site is not located within a Williamson Act contract area. Therefore, no impact to Williamson Act lands will result from the proposed development and no mitigation is required.

b.
The project site is not a designated farmland per the farmland maps compiled by the California Department of Conservation, Farmland Mapping and Monitoring Program (FMMP). For this reason, development of the project site would not result in the conversion of farmland to nonagricultural uses; therefore, there would be no impacts and no mitigation would be required.

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
16. GREENHOUSE GAS:				
a. Generate greenhouse gases	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with a plan, policy or regulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.
The City of Corona adopted the City of Corona Climate Action Plan (CAP) in 2019 which utilizes the *Greenhouse Gas Emissions CEQA Thresholds and Screening Tables* to determine whether or not a project would have a significant impact on greenhouse gas emissions. The screening tables are to provide guidance in measuring GHG reductions attributable to certain design and construction measures incorporated into development projects. Projects that garner at least 100 points will be consistent with the reduction quantities anticipated in the City's CAP and would thus be considered less than significant. Utilizing the screening tables would also allow the City to meet its GHG emissions target for year 2020.

Per the CAP, small projects that are expected to emit GHG emissions that are less than 3,000 MtCO₂e (metric tons of CO₂e equivalent) are not required to utilize the screening tables as they would be expected to have a less than significant individual and cumulative impact for GHG emissions. Office projects that typically emit more than 3,000 MtCO₂e would need to have a building area of at least 162,000 square feet. Since the proposed office project's total building area is 21,400 square feet, it is anticipated that the project's GHG emissions would be less than 3,000 MtCO₂e. Therefore, the project would not need to utilize the CAP's screening tables as no impacts are expected. The project would be in compliance with the CAP and no mitigation would be required.

17. TRIBAL CULTURAL RESOURCES

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a.
The project is not located on the California Register of Historical Resources or on the City's register of historic resources and would have no impacts to the state's or city's historic resources.
- b.
The project is subject to tribal consultation under AB 52. The purpose of AB 52 is to ensure that local and triable governments, public agencies, and project components have information available, early in the planning process to identify and address potential adverse impacts to tribal cultural resources. The Planning and Development Department initiated the process by notifying the local Native American tribes of the proposed project through a letter of transmittal dated October 12, 2020. The Planning and Development Department received written responses from the Rincon Band of Luiseño Indians and the Soboba Band of Luiseño Indians requesting consultation on the project.

Consultation was held between the Planning and Development Department staff and Cheryl Madrigal, representative of Rincon Band of Luiseño Indians Soboba Tribe on January 6, 2021, and February 25, 2021. On March 4, 2021, Ms. Madrigal closed consultation because the project was already analyzed in the Dos Lagos Environmental Impact Report (EIR).

On January 7, 2021, consultation began with Jessica Valdez, representative for the Soboba Band of Luiseno Indians and continued until March 6, 2021. There was no further response from the tribe until Joseph Ontiveros, representative for the Soboba Tribe, responded for Ms. Valdez on August 12, 2021, requesting to continue the consultation process. Mr. Ontiveros expressed concerns with the site potentially containing tribal cultural resources due to the site being located in the vicinity of other identified tribal cultural resources, and thus, requested tribal monitoring in order to reduce impacts to tribal cultural resources. Mitigation Measures 17-A through 17-G would reduce impacts to less than significant. **(Mitigation Measures 17-A through 17-G)**

Mitigation Measures

- MM 17-A Tribal Monitoring:** Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.
- MM 17-B Archaeological Monitoring:** At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.
- a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include:
 - i. Project grading and development scheduling;
 - ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling,

safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists;

- iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources' evaluation.

MM 17-C Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Monitored grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:

- a. **Temporary Curation and Storage:** During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and
- b. **Treatment and Final Disposition:** The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Planning and Development Department with evidence of same:
 - i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;
 - ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;
 - iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and
 - iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.

MM 17-D For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.

MM 17-E Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.

MM 17-F Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by

California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.

The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).

MM 17-G Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:

- a. The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques.
- b. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens.

18. MANDATORY FINDING OF SIGNIFICANCE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fish/ wildlife population or habitat or important historical sites	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cumulatively considerable impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantial adverse effects on humans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Short-term vs. long-term goals	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., c., & d.

Based on the Initial Study, development of the proposed project would have either no impact, or potential effects of the proposal are substantiated at or mitigated to levels below thresholds of significance. Based on the analysis presented in the preceding checklist, the project has the potential to result in significant impacts under the following environmental topics:

- Noise
- Cultural Resources; and
- Tribal Cultural Resources.

However, appropriate mitigation measures have been developed. **Mitigation Measures 10-A through 17-G** successfully mitigate all identified potential impacts to less than significant levels. Therefore, project impacts to fish/wildlife population or habitat, important historical sites, cumulatively considerable impacts, substantial adverse effects on humans, or short-term vs. long-term goals are considered less than significant.

19. WILDFIRE:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Substantially impair an adopted emergency response plan or emergency evacuation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Due to slope, prevailing wind, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability or drainage changes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion

a. & b.

The project site is not located within a high fire hazard severity zone. The project site is also not adjacent to other properties that are within a high fire hazard severity zone. There are no slopes, prevailing winds, or other factors that would exacerbate wildfire risks and expose project occupants to pollutant concentrations from wildfire. Therefore, no impacts are expected as it relates to wildfire.

The properties to the south and west have also been developed for commercial purposes and developed to commercial standards that include paved concrete surfaces, paved access and commercial buildings. The proposed commercial buildings will also be constructed in accordance with the California Building Standards Code and California Fire Code which will require adequate fire suppression measures such as fire sprinklers and adequate water pressure for fire hydrants serving the project. Therefore, no impacts are expected.

c.

Paved roadway access is provided to the project from two public streets, Temescal Canyon Road and Pronio Circle. A secondary access is provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Dos Lagos Shops commercial development south of the project site. Therefore, the site has adequate access in the event to an evacuation or fire-related emergency.

d.

The project site is relatively flat and completely surrounded by urban development. The site has no significant slopes nor is it located nearby any slopes. The site is also not located in a downstream flood area. Therefore, development of the project would not expose people or structures to risks related to landslides or flooding that could occur post-fire. No impacts are expected.

20. ENERGY:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Conflict with or obstruct a state or local plan for renewable energy or energy efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

During construction, the proposed project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. Fossil fuels used for construction vehicles and other energy-consuming equipment would be used

during site preparation, grading, paving, and building construction. The types of equipment could include gasoline- and diesel-powered construction and transportation equipment, including trucks, tractors, loaders, backhoes, excavators, graders, bulldozers, rollers, forklifts, and cranes.

Other equipment could include construction lighting, field services (office trailers), and electrically driven equipment such as pumps and other tools. Singlewide mobile office trailers, which are commonly used in construction staging areas, generally range in size from 160 square feet to 720 square feet. A typical 720-square-foot office trailer would consume approximately 9,700 kilowatt-hour (kWh) during the approximately 1.1-year construction period. Due to the temporary nature of construction and the financial incentives for developers and contractors to use energy consuming resources in an efficient manner, the construction phase of the proposed project would not result in wasteful, inefficient, and unnecessary consumption of energy. Therefore, the construction related impacts related to electricity and fuel consumption would be less than significant and no mitigation is required.

The proposed project will not conflict with or obstruct a State or Local plan for renewable energy or energy efficiency. The project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. California Code of Regulations Title 13, Sections 2449 and 2485, limit idling from both on-road and off-road diesel-powered equipment and are enforced by California Air Resources Board. The project would comply with these regulations. There are no policies at the local level applicable to energy conservation specific to the construction phase. Thus, it is anticipated that construction of the proposed plan would not conflict with or obstruct a State or local plan for renewable energy or energy efficiency. Therefore, construction-related energy plan consistency impacts would be less than significant, and no mitigation is required.

California's Renewables Portfolio Standard (RPS) requires that 33 percent of electricity retail sales be served by renewable energy sources by 2020. The proposed project would be served with gas provided by SoCalGas. SoCalGas offers renewable natural gas captured from sources like dairies, wastewater treatment plants and landfills. The proposed project would be served with electricity provided by Southern California Edison (SCE). SCE's 2017 power mix included 32 percent eligible renewable (biomass and biowaste, geothermal, eligible hydroelectric, solar, and wind), 34 percent unspecified sources of power, 20 percent natural gas, 8 percent large hydroelectric, and 6 percent nuclear. SCE also offers a Green Rate 50 percent option that sources 66 percent of its power mix from eligible renewable energy sources, and a Green Rate 100 percent option that sources 100 percent of its power mix from eligible renewable energy sources. SCE is on track to meet the California RPS of 33 percent by 2020 mandate.

Part 11, Chapter 5, of the State's Title 24 energy efficiency standards establishes mandatory measures for non-residential buildings, including material conservation and resource efficiency. The project would be required to comply with these mandatory measures. The project would also comply with the California Building Standards Code requiring proposed commercial buildings to be solar ready. Policy IU-7.7 encourages the reduction of energy consumption through passive solar building orientation as well as the installation of rooftop solar energy systems and energy-efficient technologies. The proposed project would be encouraged to comply with this policy. Other policies that promote energy conservation at the local level are voluntary. Compliance with the aforementioned mandatory measures would ensure that the proposed project would not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing energy use or increasing the use of renewable energy. Therefore, operational energy efficiency and renewable energy standards consistency impacts would be less than significant, and no mitigation is required.

21. PREVIOUS ENVIRONMENTAL ANALYSIS:

Earlier analysis may be used when one or more of the environmental effects have been adequately analyzed in an earlier EIR or Negative Declaration (Section 15063).

DOCUMENTS INCORPORATED BY REFERENCE:

1. City of Corona General Plan 2020-2040
2. City of Corona Technical Background Update EIR, 2019
3. Dos Lagos Specific Plan 99-03, June 21, 2000
4. City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, certified June 21, 2000
5. Phase 1 ESA prepared by Property Solutions, Inc. dated August 10, 2009
6. Preliminary Project Specific WQMP, prepared by Land Development Design Company, LLC. dated April 17, 2019
7. Geotechnical Update, prepared by South Shore Testing & Environmental, December 14, 2020
8. Air Quality Screening Letter by Ldn Consulting, Inc. dated April 20, 2020
9. Focused Traffic Impact Analysis Report, prepared by Linscott Law & Greenspan, April 30, 2020
10. Paleontological Resources Technical Report For The Rexco Properties, prepared by Cogstone, March 2016



MITIGATION MONITORING AND REPORTING PROGRAM CITY OF CORONA

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
	NOISE					
MM 10-A	<p>1. No impact pile driving activities shall be allowed on the project site.</p> <p>2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.</p> <p>3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.</p> <p>4. Obtain a construction work permit from the City of Corona prior to starting construction.</p>	Condition of approval	Submittal of Grading and Construction Plans	During Grading and Construction	Planning and Land Development Divisions	
	CULTURAL RESOURCES					
MM 14-D	If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.	Condition of approval	Submittal of documentation	During grading and construction	Planning Division	
	TRIBAL CULTURAL RESOURCES					
MM 17-A	Tribal Monitoring: Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.	Condition of approval	Submittal of agreements	Prior to issuance of a grading permit	Planning Division	

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-B	<p>Archaeological Monitoring: At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.</p> <ul style="list-style-type: none"> a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include: <ul style="list-style-type: none"> i. Project grading and development scheduling; ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archaeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling, safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists; iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation. 	Condition of approval	Submittal of documentation showing that an archeologist has been retained for the project.	Prior to issuance of a grading permit	Planning and Development Dept.	Condition of approval

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C	<p>Mitigation Measures</p> <p>Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <p>a. Temporary Curation and Storage: During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and</p> <p>b. Treatment and Final Disposition: The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Corona Community Development Department with evidence of same:</p> <p>i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C Cont'	<p>ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;</p> <p>iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and</p> <p>iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-D	For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.	Condition of approval	Submittal of Phase IV monitoring report or other documentation as applicable	Within 60 days of completion of grading	Planning and Development Dept.	
MM 17-E	Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-F	Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-F Cont'	<p>The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).</p> <p>According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).</p>	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-G	<p>Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:</p> <ol style="list-style-type: none"> The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens. 	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

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City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Minutes - Draft

Monday, October 11, 2021

Council Chambers - 6:00 p.m.



**Craig Siqueland, Chair
Karen Alexander, Vice Chair
Diana Meza, Commissioner
Bridget Sherman, Commissioner
Matt Woody, Commissioner**

ROLLCALL

- Present** 3 - Vice Chair Karen Alexander, Commissioner Diana Meza, and Commissioner Bridget Sherman
- Absent** 2 - Chair Craig Siqueland, and Commissioner Matt Woody

CALL TO ORDER

Vice Chair Alexander called the meeting to order.

PLEDGE OF ALLEGIANCE

Commissioner Meza led the Pledge of Allegiance.

COMMUNICATIONS FROM THE PUBLIC

None.

MEETING MINUTES

These minutes were approved.

1. [21-0908](#) Approval of minutes for the Planning and Housing Commission meeting of August 23, 2021.

Attachments: [08232021 - Planning and Housing Comm minutes - DRAFT](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that these Minutes be approved. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

CONSENT ITEMS

2. [21-0870](#) PPE2021-0002: Application requesting a 2-year extension of time for Precise Plan 2018-0005 (PP2018-0005) for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street. (Applicant: Greg Gill).

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2576](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Staff Report for PP2018-0005](#)[Exhibit 3.B - Site Plan, approved August 26, 2019](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Applicant's letter, dated July 29, 2021](#)

Vice Chair Alexander asked to pull consent item PPE2021-0002. She asked Staff if the original conditions of approval for the project would still stand once the extension gets approved. Staff confirmed that the time extension will not alter the conditions of approval that were originally approved for the project. She also asked about the timing of when the applicant filed his paperwork, and the need to toll the project deadline. Staff clarified that the City's practice is to toll the deadline as long as a complete application is submitted before the deadline occurs.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt Resolution No. 2576 granting a two-year extension of time for PP2018-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

3. [21-0901](#) PPE2021-0001: Application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street. (Applicant: Aaron Packard)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2579](#)[Exhibit 2 - Locational & Zoning Map](#)[Exhibit 3.A - Staff Report for PPM2019-0005](#)[Exhibit 3.B - Site Plan, Approved January 21, 2020](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Letter Submitted by KWC Engineers on behalf of the Applicant](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2579 granting a two-year extension of time for PPM2019-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

PUBLIC HEARINGS

4. [21-0897](#) GPA2021-0001: General Plan Housing Element Update for Planning

Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. (Applicant: City of Corona)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2578](#)

[Exhibit 2 - Housing Element Update Draft 2021-2029](#)

[Exhibit 3- Housing Programs Revised Redlined Version](#)

[Exhibit 4 - General Plan EIR Addendum](#)

Joanne Coletta, Director, reviewed her staff report and exhibits for GPA2021-0001. She indicated that there is no significant change in the Draft Housing Element from what was presented in June. Ms. Coletta discussed the RHNA obligation and proposed locations for housing, including revisions to meet HCD and State requirements, which required staff to change from two to one housing overlay, and revisions to densities. She clarified the timeline for Housing Element approval and rezoning of housing sites, and stressed the tight timeline mandated by the State. Discussion ensued with City staff and the Commissioners regarding the timeline to meet the Housing and Community Development criteria and the Affordable Housing Overlay Zone sites. Vice-Chairman Alexander expressed concern with having additional housing to meet a buffer requirement suggested by HCD, expressing that she thinks we should just meet the minimum mandate.

Speakers Juan Munoz and Julio Flores, members of the Southwest Regional Council of Carpenters, commented that the City should require locally skilled trade work force. Joe Morgan, resident, commented on mobile home parks.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environment Impact Report (SCH#2018081039) and approval of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029. The motion carried by the following vote:

Aye: 2 - Commissioner Meza, and Commissioner Sherman

Nay: 1 - Vice Chair Alexander

5. [21-0862](#) PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Haupt of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Locational and Zoning Map](#)[Exhibit 2.A - Parcel Map](#)[Exhibit 2.B - Conditions of Approval](#)[Exhibit 2.C - Site Plan](#)[Exhibit 2.D - Applicant's letter dated October 7, 2020](#)[Exhibit 3 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for PM 37221, as well as the subsequent agenda item, PP2020-0006. Discussion ensued between City staff, the Commissioners and Applicant Griffin Hauptert regarding the probability of the center having retail uses. Vice Chair Alexander and Commissioner Meza shared their support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission recommend adopting the Mitigated Negative Declaration and Mitigated Plan and approval of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

6. [21-0861](#) PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2575](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Site Plan](#)[Exhibit 3.B - Conditions of Approval](#)[Exhibit 3.C - Parcel Map](#)[Exhibit 3.D - Grading Plan](#)[Exhibit 3.E - Elevations for Building 1](#)[Exhibit 3.F - Elevations for Building 2](#)[Exhibit 3.G - Floor Plan](#)[Exhibit 3.H - Signage](#)[Exhibit 3.I - Conceptual Landscape Plan](#)[Exhibit 3.J - Applicant's letter dated October 7, 2021](#)[Exhibit 4 - Environmental Documentation](#)

A staff report and discussion of this item was provided with the preceding agenda item, PM 37221, which is related to the project and is being processed concurrently.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 approving PP2020-0006 based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

7. [21-0905](#) V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. (Applicant: Ralph Cervantes of Pettit Engineering)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2577](#)

[Exhibit 2- Locational & Zoning Map](#)

[Exhibit 3.A - Site Plan & Patio Details](#)

[Exhibit 3.B - Conditions of Approval](#)

[Exhibit 3.C - Photographs of the site and vicinity](#)

[Exhibit 3.D - Applicant's letter dated September 20, 2021](#)

[Exhibit 4 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for V2021-0001. Vice Chair Alexander shared her support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2577 granting V2021-0001, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

WRITTEN COMMUNICATIONS

None.

ADMINISTRATIVE REPORTS

None.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

ADJOURNMENT

Vice Chair Alexander adjourned the meeting at 7:16 p.m. to the Planning and Housing Commission meeting of Monday, October 25, 2021, commencing at 6:00 p.m. in the City Hall Council Chambers.



Staff Report

File #: 21-0966

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/03/2021

TO: Honorable Mayor and City Council Members

FROM: Planning and Development Department

SUBJECT:

Variance 2021-0001 is an application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street.

EXECUTIVE SUMMARY:

Variance 2021-0001 (V2021-0001) proposes to remove the minimum five-foot street side yard setback required for a patio cover in order to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property.

RECOMMENDED ACTION:

That the City Council:

- a. Take no action, thereby affirming the Planning and Housing Commission's action granting V2021-0001, based on the findings contained in the staff report and conditions of approval.

OR

- b. Set the item for review at a subsequent

BACKGROUND & HISTORY:

The Harrison Emergency Shelter is a City-owned homeless shelter located at 420 W. Sheridan Street. The property is currently undergoing Phase II improvements, which includes interior improvements of the existing shelter, upgrades to the security system, and the addition of a new 380-square-foot patio cover for a dog run. The improvements align with the City's Homeless Strategic Plan to create a facility that will provide homeless individuals (clients) emergency shelter and necessary services, such as medical, behavioral health, dental, workforce development, etc.

ANALYSIS:

V2021-0001 is a variance application that seeks to eliminate the proposed patio cover's five-foot setback requirement. The setback requirement can only be eliminated with approval of a variance by the Planning and Housing Commission. Corona Municipal Code (CMC) section 17.96.020 requires the Planning Commission to make the following finding:

Section 17.96.020

(A) Neither the Commission nor the Council may grant a variance from the terms of this title, including any requirement provided therein, unless it has first found from the evidence admitted during the hearing before the Commission or Council that because of special circumstances, applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the terms of the zoning regulations from which the variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

Staff supports the variance because the property has a long rectangular shape, which offers limited flexibility in terms of site design and layout. Furthermore, the property is developed with a building and parking lot, which cannot be relocated or reduced in area without impacting project feasibility, utilities, setbacks, or necessary improvements. Additionally, the existing recreation area next to the patio cannot be relocated or reduced in area without diminishing the areas where clients enjoy the outdoors and time with their pets. Any reduction to the recreation area would impact its functionality and useability.

Aside from the setback along Harrison Street, the patio structure complies with all other applicable setbacks. Also, the patio has been reviewed by staff to ensure that its location will not impact or impair vehicle or pedestrian visibility at the driveway on Harrison Street. The variance will not adversely affect the property or uses in the vicinity of the project site.

The proposed patio cover encroaches into an existing six-foot wide city utility easement that extends along the north perimeter of the property. The applicant is aware that the patio structure may be removed if the city needs to access the underground utilities.

Approval of the variance contributes to the Harrison Emergency Homeless Shelter and helps fulfill the City's Homeless Strategic Plan. It also supports General Plan Policy H-2.4, which states:

Provide emergency shelter with transitional support for city residents, including disadvantage groups.

FINANCIAL IMPACT:

The variance is an application by the City; therefore no fees are associated with this request.

ENVIRONMENTAL ANALYSIS:

Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), a

Notice of Exemption has been prepared for the project because the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density, and it does not result in the creation of a new parcel.

PLANNING AND HOUSING COMMISSION ACTION:

At its meeting of October 11, 2021, the Planning and Housing Commission considered the subject matter and took the following action:

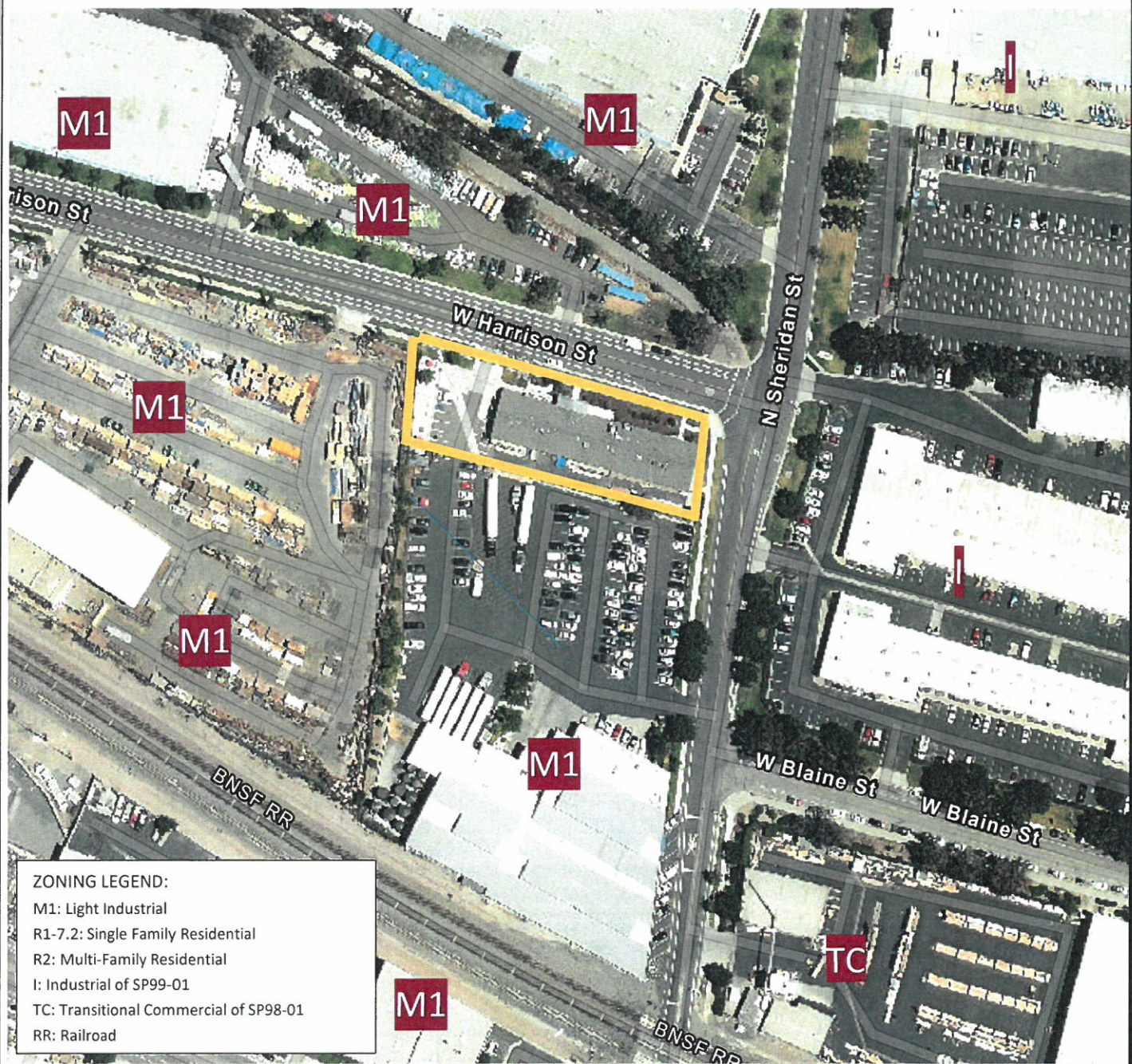
Motion was made, seconded (Sherman/Meza) and carried unanimously, that the Planning and Housing Commission adopt Resolution No. 2577 granting V2021-0001 based on the findings contained in the staff report and conditions of approval. The minutes of the Planning and Housing Commission meeting are included as Exhibit 4.

PREPARED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

Attachments:

1. Exhibit 1 - Locational and zoning map
2. Exhibit 2 - Site Plan for V2021-0001
3. Exhibit 3 - Planning and Housing Commission Staff Report
4. Exhibit 4 - Draft Minutes of the Planning and Housing Commission meeting of October 11, 2021

AERIAL & LOCATIONAL MAP



V2021-0001
420 W. HARRISON STREET





Staff Report

File #: 21-0905

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 10/11/2021
TO: Honorable Chair and Commissioners
FROM: Planning and Development Department

APPLICATION REQUEST:

V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. (Applicant: Ralph Cervantes of Pettit Engineering, 1787 Pomona Road Suite D, Corona, CA 92878)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2577 GRANTING V2021-0001, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 29,077 square feet (0.67 acres)

Existing Zoning: M-1 (Light Manufacturing)

Existing General Plan: LI (Light Industrial)

Existing Land Use: Emergency homeless shelter

Proposed Land Use: Emergency homeless Shelter

Surrounding Zoning/Land Use:

N: M-1 (Light Manufacturing) zone / W. Harrison Street and industrial buildings

E: I (Industrial) designation within the North Main Street Specific Plan / N. Sheridan Street and industrial buildings

S: M-1 (Light Manufacturing) zone / Industrial buildings

W: M-1 (Light Manufacturing) zone / Industrial building with lumber yard

BACKGROUND

The Harrison Emergency Shelter is a City-owned homeless shelter located at 420 W. Sheridan Street. The property is currently undergoing Phase II improvements, which were approved by the City Council on June 2, 2021. Phase II includes interior improvements of the existing shelter, upgrades to

the security system, and the addition of a new 380-square-foot patio cover for a dog run. The improvements are part of the City's Homeless Strategic Plan to create a facility that will provide homeless individuals (clients) emergency shelter and necessary services, such as medical, behavioral health, dental, workforce development, etc.

V2021-0001 is a variance application that seeks to eliminate the proposed patio cover's five-foot setback requirement. The setback requirement can only be eliminated with approval of a variance by the Planning and Housing Commission. Corona Municipal Code (CMC) section 17.96.020 requires the Planning Commission to make the following finding:

Section 17.96.020

(A) Neither the Commission nor the Council may grant a variance from the terms of this title, including any requirement provided therein, unless it has first found from the evidence admitted during the hearing before the Commission or Council that because of special circumstances, applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the terms of the zoning regulations from which the variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

PROJECT DESCRIPTION

As shown on the applicant's plans in Exhibit 3.A, the property is currently developed with a building and parking lot. An outdoor recreation area is located on the western portion of the property. A dog run is located at the northwest corner of the property, near Harrison Street. The proposed patio cover will shade a portion of the dog run and the recreation area. It is anticipated that some clients of the shelter will have pets and service animals, and the patio cover is intended to provide their pets shade and protection from inclement weather.

The patio structure is comprised of four posts and a solid roof constructed of duralumin, a material similar to aluminum. The overall height of the structure is 9 feet, with a cover measuring 18 feet by 20 feet.

CMC Section 17.66.015 requires patio covers to be set back a minimum of five feet from side and rear lot lines adjacent to a street. Although the shelter's entrance faces north, Harrison is a side street because the Code determines the front street based on a property's narrowest frontage (e.g., N. Sheridan Street is the project's frontage). V2021-0001 seeks to eliminate the required five-foot setback required by CMC Section 17.66.015 and allow a zero street-side setback for the patio cover, as reflected in the submitted plans.

ENVIRONMENTAL ANALYSIS

Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), a Notice of Exemption has been prepared for the project because the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density, and does not result in the creation of a new parcel (Exhibit 4).

FISCAL IMPACT

There is no fiscal impact to the city associated with this application.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

Per CMC Section 17.96.020, a variance can only be granted by the Planning and Housing Commission if there are special circumstances applicable to the property that deprive the property of privileges otherwise enjoyed by other properties in the vicinity that have identical zoning. Per state law, the special circumstances applicable to the property would include the size, shape, topography, location or surroundings.

Staff supports the variance because the property has a long rectangular shape, which offers limited flexibility in terms of site design and layout. Furthermore, the property is developed with a building and parking lot, which cannot be relocated or reduced in area without impacting project feasibility, utilities, setbacks, or necessary improvements. Additionally, the existing recreation area next to the patio cannot be relocated or reduced in area without diminishing the areas where clients enjoy the outdoors and time with their pets. Any reduction to the recreation area would impact its functionality and useability.

Aside from the setback along Harrison Street, the patio structure complies with all other setbacks applicable to the patio. Also, the patio has been reviewed by staff to ensure that its location will not impact or impair vehicle or pedestrian visibility at the driveway on Harrison Street. The variance will not adversely affect the property or uses in the vicinity of the project site.

The proposed patio cover encroaches into an existing six-foot wide city utility easement that extends along the north perimeter of the property. The applicant is aware that the patio structure may be removed if the city needs to access the underground utilities.

Approval of the variance contributes to the Harrison Emergency Homeless Shelter and helps fulfill the City's Homeless Strategic Plan. It also supports General Plan Policy H-2.4, which states:

Provide emergency shelter with transitional support for city residents, including disadvantage groups.

The Planning Division recommends approval of V2021-0001 based on the findings listed below and staff's recommended conditions of approval.

FINDINGS FOR APPROVAL OF V2021-0001

1. A preliminary exemption assessment has been conducted by the City of Corona and it has

shown that this project does not require further environmental assessment because the project qualifies as a Class 5 Categorical Exemption under the CEQA Section 15305 (Minor Alterations in Land Use Limitations including setback variances), as the project consists of a variance to eliminate the side-yard setback for a proposed patio cover.

2. The strict application of the terms of the zoning regulations from which the Variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications because of the following special circumstances applicable to the property related to size, shape, topography, location or surroundings.
 - a. *The property is constrained by its shape and the existing improvements on-site. The property is long and rectangular-shaped, which offers little flexibility in terms of site design and layout. The property is developed with an existing building and parking lot, which cannot be relocated or reduced in area without impacting other necessary and existing improvements. The existing recreation area next to the dog run and patio cover also cannot be relocated or reduced without impacting its functionality and useability. The use of the property is unique as there are no other emergency shelters in the area. All of the components of the property including the shelter, parking lot, recreation area, dog run, and patio are necessary for the shelter to operate effectively.*
3. Approval of V2021-0001 does not constitute the granting of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which subject property is located for the following reason:
 - a. *Approval of the variance would not be a granting of special privileges because the applicant has demonstrated that the physical characteristics of the property pose special circumstances that apply to the subject site.*
4. The Variance will not adversely affect property and the use thereof in the vicinity of the subject property or the public health, safety, and general welfare for the following reason:
 - a. *The subject setback will not adversely affect the property or uses in the vicinity of the project site, because no portions of the patio structure will extend beyond the property lines of the property. The patio structure will not impair vehicular or pedestrian visibility at the project entrance on Harrison Street.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING AND DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2577
2. Locational and Zoning Map
- 3.A - Site Plan and Patio Details
- 3.B - Conditions of Approval
- 3.C - Photographs of the site and vicinity
- 3.D - Applicant's letter dated September 20, 2021
4. Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2577

APPLICATION NUMBER: V2021-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A VARIANCE TO ELIMINATE THE MINIMUM FIVE-FOOT STREET SIDE YARD SETBACK (CORONA MUNICIPAL CODE SECTION 17.66.015) TO ACCOMMODATE A 380 SQUARE-FOOT PATIO COVER AT THE HARRISON EMERGENCY SHELTER PROPERTY LOCATED AT 420 W. HARRISON STREET IN THE M-1 (LIGHT MANUFACTURING) ZONE. (APPLICANT: RALPH CERVANTES OF PETTIT ENGINEERING)

WHEREAS, the application to the City of Corona, California, for a Variance under the provisions of Corona Municipal Code Chapter 17.96 has been duly submitted to said City's Planning and Housing Commission, requesting the elimination of the minimum five-foot street side yard setback required by Corona Municipal Code Section 17.66.015, in order to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property located at 420 W. Harrison street.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for V2021-0001 on October 11, 2021, as required by law; and

WHEREAS, the Planning and Housing Commission finds that this project is a Class 5 categorical exemption from CEQA pursuant to Section 15305(a) of the State CEQA Guidelines and Section 3.22 of the City of Corona Local Guidelines for Implementing CEQA, as the project is a setback variance that does not change the site's land use or density, and does not result in the creation of a new parcel.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Variance as set forth in Corona Municipal Code Section 17.96.020 do exist in reference to V2021-0001 based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the V2021-0001 on certain conditions of approval and the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this V2021-0001, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as a Class 5 categorical exemption under CEQA per Section 15305(a) of the State Guidelines and Section 3.22 of the City of Corona adopted Local Guidelines for implementing CEQA, as the project is a setback variance that does not change the site's land use or density, does not result in the creation of a new parcel, and there is no evidence that the granting of the variance will have any significant effects on the environment.

SECTION 2. Variance Findings. Pursuant to Corona Municipal Code ("CMC") section 17.96.020 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. The strict application of the terms of the zoning regulations from which the Variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications because of the following special circumstances applicable to the property related to size, shape, topography, location or surroundings:
 - a. *The property is constrained by its shape and the existing improvements on-site. The property is long and rectangular-shaped, which offers little flexibility in terms of site design and layout. The property is developed with an existing building and parking lot, which cannot be relocated or reduced in area without impacting other necessary and existing improvements. The existing recreation area next to the dog run and patio cover also cannot be relocated or reduced without impacting its functionality and useability. The use of the property is unique as there are no other emergency shelters in the area. All of the components of the property including the shelter, parking lot, recreation area, dog run, and patio are necessary for the shelter to operate effectively.*
2. Approval of V2021-0001 does not constitute the granting of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which subject property is located for the following reason:
 - a. *Approval of the variance would not be a granting of special privileges because the applicant has demonstrated that the physical characteristics of the property pose special circumstances that apply to the subject site.*

3. The Variance will not adversely affect property and the use thereof in the vicinity of the subject property or the public health, safety, and general welfare for the following reason:

- a. No portions of the patio structure will extend beyond the property lines of the property. The patio structure will not impair vehicular or pedestrian visibility at the project entrance on Harrison Street.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Variance.

Adopted this 11th day of October, 2021.



Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES: Alexander, Meza & Sherman

NOES: None

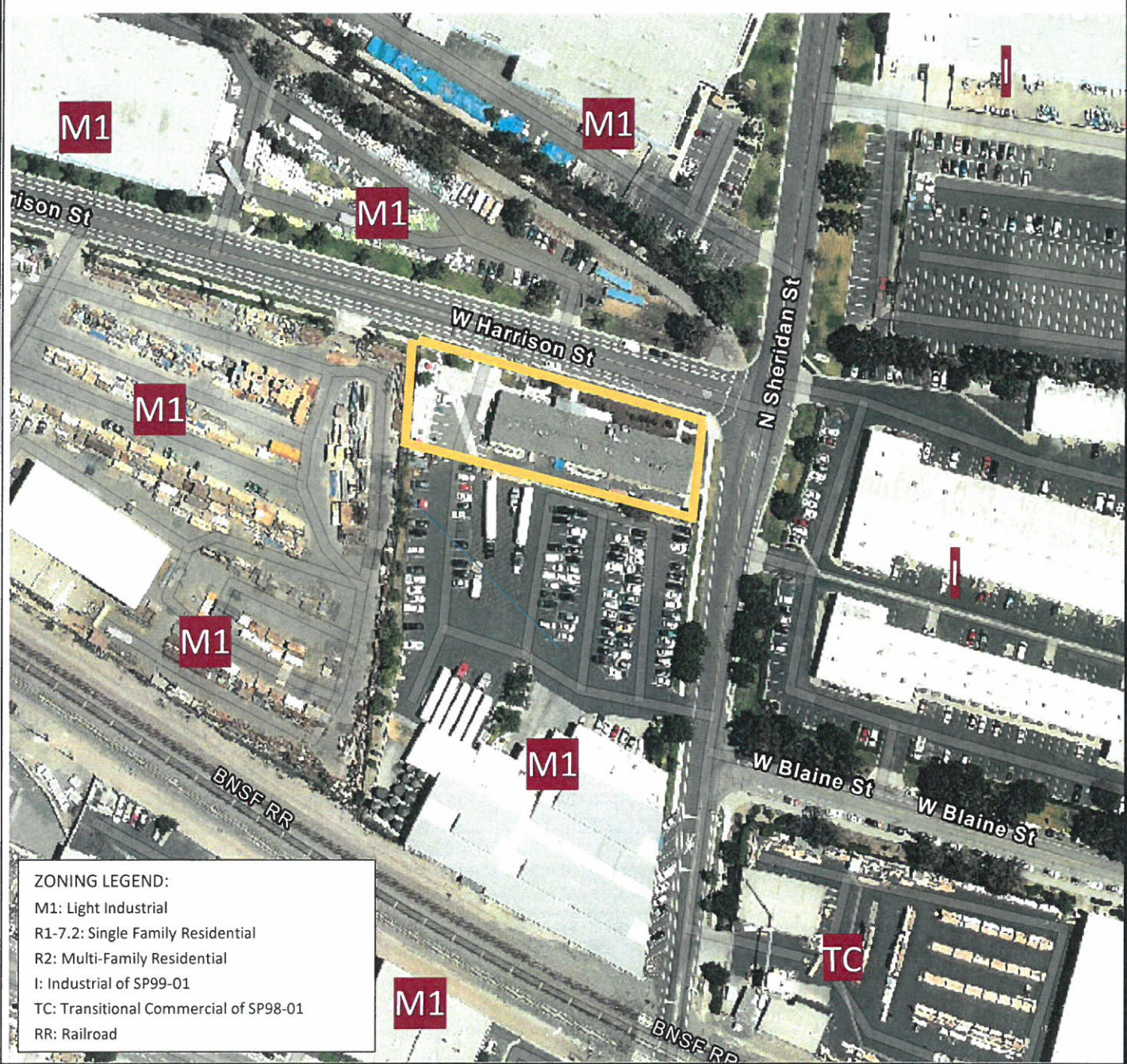
ABSENT: Siqueland & Woody

ABSTAINED: None



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

AERIAL & LOCATIONAL MAP



ZONING LEGEND:
M1: Light Industrial
R1-7.2: Single Family Residential
R2: Multi-Family Residential
I: Industrial of SP99-01
TC: Transitional Commercial of SP98-01
RR: Railroad



V2021-0001
420 W. HARRISON STREET



City of Corona\21027 - Harrison Shelter Ph 2 Mods\21027-1 - Variance\Arch\A-1.0_21-051.dwg, 9/21/2021 2:18:34 PM, Adobe PDF



Project Conditions City of Corona

Project Number: V2021-0001

Description: Variance to remove minimum side yard setback for patio cover

Applied: 8/23/2021

Approved:

Site Address: 420 W HARRISON ST CORONA, CA 92880

Closed:

Expired:

Status: COMPLETE

Applicant: RALPH CERVANTES

Parent Project:

Details: Major Variance to remove minimum 5-foot side yard setback for the placement of a patio cover at size (19'x20'x9'H) on W. Harrison Street for the Emergency Homeless Shelter, under Phase 2.

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
PLANNING	Rafael Torres
<ol style="list-style-type: none">1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.3. This variance permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, or compliance with all conditions on the granting of this variance within two (2) years after the effective date thereof, and if they are not utilized, or construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege, permit, or variance granted shall be deemed to have lapsed.	

Variance Major Submittal Photo Log

Photos of Site



09 – Looking South-East



10 – Looking South. Proposed Patio Cover Area



11 – Looking South



12 – Looking South-West



13 – Looking South-East



14 – Looking West



15 – Looking North-West

September 20, 2021

City of Corona
Planning Department
400 S. Vicentia Ave.
Corona, CA 92880

REFERENCE: **Variance Major Submittal Application**
For Harrison Emergency Shelter
420 W. Harrison Street
Corona, CA 92880

Variance Letter

The City of Corona wishes to apply for a Variance for its proposed canopy cover that encroaches into the street side yard setback and public utility easement. The street side yard setback is 15'-0" and the public utility easement is 6'-0". Both run parallel to Harrison Street.

The existing site is zoned M-1, Light Manufacturing, and the land use is C, (Commercial). The Harrison Emergency Shelter will provide emergency shelter, medical, behavioral health, dental, workforce development, life skills and many other services to facilitate crisis stabilization and a quick path to permanent housing. Development of an emergency shelter/multi-service center fulfills one of the goals in the City's Homeless Strategic Plan. The purpose of the Homeless Strategic Plan is to facilitate a systems-oriented approach to address homelessness more effectively in Corona.

The overall quality of life in the City of Corona will improve for businesses and residents that are impacted by unsheltered homeless living on the streets. In addition, Corona's homeless neighbors will have access to a complete system of services including outreach/engagement, crisis stabilization shelter, a wide variety of supportive services, and permanent housing. Corona's homeless system of services includes best practice interventions that are effective in addressing chronic and situational homelessness.

The Harrison Shelter will accommodate homeless clients with pets and service animals. The newly installed dog run does not have a shade cover. Staff has identified a need for a shade structure to protect pets from heat and inclement weather. The existing Dog Run is located at the north-west end of the site. The proposed canopy cover is placed to serve the best location for the existing Dog Run. Unfortunately, the proposed location is within the street side yard setback and public utility easement. This location was selected instead of the Recreation Area because it will cover a portion of the Dog Run and a portion of the Recreation Area. The intent of the proposed cover is to allow dog owners to be next to their canine companions as they play in the Dog Run. The proposed canopy cover will be 18'-0" x 20'-0" x 9'-0" high and will not extend beyond the property limits. Duralum is the proposed manufacturer and the top cover will be solid to give the residents and their canine companions protection against rainy weather or extreme sun. The material is aluminum to look like wood and the color will be tan to match the existing patio covers that were recently installed in the Phase 1 project.

From Harrison Street, the proposed canopy cover will sit in between two existing trees and in front of one existing tree. The low profile (9'-0" high) will not obstruct the scenery of the existing trees. An existing 5'-11" screened wrought iron fence will be in front of the canopy cover and

PETTIT

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hide it even more. There will only be a small section of the proposed canopy visible from the street. The canopy will encroach upon the existing 6' public utilities easement dedicated to City of Corona Utilities Department formally known as Department of Water and Power. The owner acknowledges that for any planned utilities installation in the easement the owner will remove the structure in order to provide the City access to install any planned utilities. It is also understood that City of Corona Utilities Department will remove the structure in case of emergency repair and will not be held responsible for re-installation of the canopy.

The City of Corona firmly believes the benefits of the proposed canopy cover out way the disadvantages and will give their residents and canine companions a higher and safer quality of life.

If you require any additional information, please feel free to contact me at (951) 736-8161. Thank you.

Sincerely,



Ralph Cervantes
Lead Project Designer for the City of Corona



CITY OF CORONA

PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

Name, Description and Location of Project: V2021-0001

A variance application to eliminate the minimum five-foot street side yard setback (Corona Municipal Code Section 17.66.015) to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street (APN: 119-290-490).

Entity or Person Undertaking Project:

☐ A. Public Agency:

☒ B. Other (private):

Name: Ralph Cervantes of Pettit Engineering.
Address: 1787 Pomona Road, Suite D
Telephone No.: (951) 736-8161

Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- ☐ A. The proposed action does not constitute a project under CEQA.
- ☐ B. The project is a Ministerial Project.
- ☐ C. The project is an Emergency Project.
- ☐ D. The project constitutes a feasibility or planning study.
- ☒ E. The project is categorically exempt: **Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density and does not result in the creation of a new parcel.**
- ☐ F. The project is a statutory exemption. Code section number:
- ☐ G. The project is otherwise exempt on the following basis:
- ☐ H. The project involves another public agency, which constitutes the lead agency. Name of Lead Agency:

Date: _____

Rafael Torres, Assistant Planner
Lead Agency Representative



NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF
SUPERVISORS COUNTY OF RIVERSIDE

FROM: CITY OF CORONA
COMMUNITY DEVELOPMENT DEPARTMENT
400 S. VICENTIA AVE, SUITE 120
CORONA, CA 92882

1. Project title: V2021-0001
2. Project location (specific): 420 W. Harrison Street (APN: 119-290-490).
3. a. Project location - City of Corona
b. Project location - County of Riverside
4. Description of nature, purpose and beneficiaries of project:

A variance application to eliminate the minimum five-foot street side yard setback (Corona Municipal Code Section 17.66.015) to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street.

5. Name of public agency approving project: **City of Corona**
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity: **Ralph Cervantes of Pettit Engineering, 1787 Pomona Road, Suite D, Corona, CA 92878.**
7. Exempt Status (check one):
 - a. ☐ Ministerial Project
 - b. ☐ Not a project
 - c. ☐ Emergency project
 - d. ☒ Categorical Exemption. State type and class number: **Section 15305(a) (Minor Alteration in Land Use Limitations including variances).**
 - e. ☐ Declared Emergency
 - f. ☐ Statutory Exemption. State code section number:
 - g. ☐ Other: Explain:

8. Reasons why the project is exempt:

Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density and does not result in the creation of a new parcel.

9. Contact Person/Telephone No.: Rafael Torres, Assistant Planner (951) 739-4973
10. Attach Preliminary Exemption Assessment (Form "A") before filing.

Date received for filing: _____

Signature: _____
Rafael Torres, Assistant Planner
Lead Agency Representative

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Minutes - Draft

Monday, October 11, 2021

Council Chambers - 6:00 p.m.



**Craig Siqueland, Chair
Karen Alexander, Vice Chair
Diana Meza, Commissioner
Bridget Sherman, Commissioner
Matt Woody, Commissioner**

ROLLCALL

- Present** 3 - Vice Chair Karen Alexander, Commissioner Diana Meza, and Commissioner Bridget Sherman
- Absent** 2 - Chair Craig Siqueland, and Commissioner Matt Woody

CALL TO ORDER

Vice Chair Alexander called the meeting to order.

PLEDGE OF ALLEGIANCE

Commissioner Meza led the Pledge of Allegiance.

COMMUNICATIONS FROM THE PUBLIC

None.

MEETING MINUTES

These minutes were approved.

1. [21-0908](#) Approval of minutes for the Planning and Housing Commission meeting of August 23, 2021.

Attachments: [08232021 - Planning and Housing Comm minutes - DRAFT](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that these Minutes be approved. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

CONSENT ITEMS

2. [21-0870](#) PPE2021-0002: Application requesting a 2-year extension of time for Precise Plan 2018-0005 (PP2018-0005) for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street. (Applicant: Greg Gill).

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2576](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Staff Report for PP2018-0005](#)[Exhibit 3.B - Site Plan, approved August 26, 2019](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Applicant's letter, dated July 29, 2021](#)

Vice Chair Alexander asked to pull consent item PPE2021-0002. She asked Staff if the original conditions of approval for the project would still stand once the extension gets approved. Staff confirmed that the time extension will not alter the conditions of approval that were originally approved for the project. She also asked about the timing of when the applicant filed his paperwork, and the need to toll the project deadline. Staff clarified that the City's practice is to toll the deadline as long as a complete application is submitted before the deadline occurs.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt Resolution No. 2576 granting a two-year extension of time for PP2018-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

3. [21-0901](#) PPE2021-0001: Application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street. (Applicant: Aaron Packard)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2579](#)[Exhibit 2 - Locational & Zoning Map](#)[Exhibit 3.A - Staff Report for PPM2019-0005](#)[Exhibit 3.B - Site Plan, Approved January 21, 2020](#)[Exhibit 3.C - Conditions of Approval](#)[Exhibit 3.D - Letter Submitted by KWC Engineers on behalf of the Applicant](#)

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2579 granting a two-year extension of time for PPM2019-0005, based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

PUBLIC HEARINGS

4. [21-0897](#) GPA2021-0001: General Plan Housing Element Update for Planning

Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. (Applicant: City of Corona)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2578](#)

[Exhibit 2 - Housing Element Update Draft 2021-2029](#)

[Exhibit 3- Housing Programs Revised Redlined Version](#)

[Exhibit 4 - General Plan EIR Addendum](#)

Joanne Coletta, Director, reviewed her staff report and exhibits for GPA2021-0001. She indicated that there is no significant change in the Draft Housing Element from what was presented in June. Ms. Coletta discussed the RHNA obligation and proposed locations for housing, including revisions to meet HCD and State requirements, which required staff to change from two to one housing overlay, and revisions to densities. She clarified the timeline for Housing Element approval and rezoning of housing sites, and stressed the tight timeline mandated by the State. Discussion ensued with City staff and the Commissioners regarding the timeline to meet the Housing and Community Development criteria and the Affordable Housing Overlay Zone sites. Vice-Chairman Alexander expressed concern with having additional housing to meet a buffer requirement suggested by HCD, expressing that she thinks we should just meet the minimum mandate.

Speakers Juan Munoz and Julio Flores, members of the Southwest Regional Council of Carpenters, commented that the City should require locally skilled trade work force. Joe Morgan, resident, commented on mobile home parks.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environment Impact Report (SCH#2018081039) and approval of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029. The motion carried by the following vote:

Aye: 2 - Commissioner Meza, and Commissioner Sherman

Nay: 1 - Vice Chair Alexander

5. [21-0862](#) PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Haupt of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Locational and Zoning Map](#)[Exhibit 2.A - Parcel Map](#)[Exhibit 2.B - Conditions of Approval](#)[Exhibit 2.C - Site Plan](#)[Exhibit 2.D - Applicant's letter dated October 7, 2020](#)[Exhibit 3 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for PM 37221, as well as the subsequent agenda item, PP2020-0006. Discussion ensued between City staff, the Commissioners and Applicant Griffin Hauptert regarding the probability of the center having retail uses. Vice Chair Alexander and Commissioner Meza shared their support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission recommend adopting the Mitigated Negative Declaration and Mitigated Plan and approval of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

6. [21-0861](#) PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC.)

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2575](#)[Exhibit 2 - Locational and Zoning Map](#)[Exhibit 3.A - Site Plan](#)[Exhibit 3.B - Conditions of Approval](#)[Exhibit 3.C - Parcel Map](#)[Exhibit 3.D - Grading Plan](#)[Exhibit 3.E - Elevations for Building 1](#)[Exhibit 3.F - Elevations for Building 2](#)[Exhibit 3.G - Floor Plan](#)[Exhibit 3.H - Signage](#)[Exhibit 3.I - Conceptual Landscape Plan](#)[Exhibit 3.J - Applicant's letter dated October 7, 2021](#)[Exhibit 4 - Environmental Documentation](#)

A staff report and discussion of this item was provided with the preceding agenda item, PM 37221, which is related to the project and is being processed concurrently.

A motion was made by Commissioner Meza, seconded by Commissioner Sherman, that the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 approving PP2020-0006 based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

7. [21-0905](#) V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. (Applicant: Ralph Cervantes of Pettit Engineering)

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2577](#)

[Exhibit 2- Locational & Zoning Map](#)

[Exhibit 3.A - Site Plan & Patio Details](#)

[Exhibit 3.B - Conditions of Approval](#)

[Exhibit 3.C - Photographs of the site and vicinity](#)

[Exhibit 3.D - Applicant's letter dated September 20, 2021](#)

[Exhibit 4 - Environmental Documentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for V2021-0001. Vice Chair Alexander shared her support for the project.

A motion was made by Commissioner Sherman, seconded by Commissioner Meza, that the Planning and Housing Commission adopt Resolution No. 2577 granting V2021-0001, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Vice Chair Alexander, Commissioner Meza, and Commissioner Sherman

WRITTEN COMMUNICATIONS

None.

ADMINISTRATIVE REPORTS

None.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

ADJOURNMENT

Vice Chair Alexander adjourned the meeting at 7:16 p.m. to the Planning and Housing Commission meeting of Monday, October 25, 2021, commencing at 6:00 p.m. in the City Hall Council Chambers.



Staff Report

File #: 21-1010

REQUEST FOR CITY COUNCIL ACTION

DATE: 11/3/2021

TO: Honorable Mayor and City Council Members

FROM: Vice Mayor Wes Speake

SUBJECT: Appointment to the Library Board of Trustees.

Vacancy to the Library Board of Trustees was posted pursuant to Section 54972 of the Government Code. I will announce my appointment at the November 3, 2021 City Council meeting.